

AGENDA
CITY OF TAYLOR, TEXAS
PLANNING & ZONING COMMISSION MEETING
CITY HALL COUNCIL CHAMBERS
400 PORTER STREET
TAYLOR, TX 76574
FEBRUARY 10, 2026, 6:00 PM

For Citizens Communication and to speak during the public hearings, please contact the Development Services office at 512-365-3863 prior to 5:30 p.m. on Tuesday, February 10, 2026.

The agenda packet is on the [City of Taylor's website](#).

I. CALL TO ORDER AND DECLARE A QUORUM

II. CITIZEN COMMUNICATION

(The Commission welcomes public comment on items not listed on the agenda. However, the Commission cannot respond until the item is posted on a future agenda. All public comments are limited to 3 minutes.)

III. CONSENT AGENDA

(The Consent Agenda includes non-controversial and routine items that the Commission or Board may act on with a single vote. The Chairman or a Board member may pull any item from the Consent Agenda to discuss and act upon it Individually as part of the Regular Agenda.)

1. Review and approve minutes from the meeting held on January 13, 2026

IV. REGULAR AGENDA

V. PUBLIC HEARINGS

2. **PZ 2025-2635** Hold a public hearing and consider making a recommendation regarding a request for a Place Type Amendment from P2: Rural to P2C: Rural Commercial for property generally located at 600 Potomac St, legally described as Washington Heights, Part of Block 52 and part of Block 58, consisting of approximately 2.5 acres of land, more particularly described by Williamson Central Appraisal District Parcel R018516, Taylor, Williamson County, Texas. *Joe Ducay*
3. **PZ 2025-2636** Hold a public hearing and consider making a recommendation regarding a request for a Special Use Permit to allow 326 multifamily residential dwellings for a Planned Development referred to as Gateway, generally located at 505 Carlos G Parker Blvd SW, legally described as approximately 38.099 acres of land situated in the G.M Reese Survey, Abstract No. 533, more particularly described by Williamson Central Appraisal District Parcel's R019657, R020063 and R331030, Taylor, Williamson County, Texas. *Joe Ducay*
4. **PZ 2025-2637** Hold a public hearing and consider making a recommendation regarding a request for a Place Type Amendment from P4:Mix to P3M:Manufactured Housing for property generally located at 1025 Scott Street, legally described as approximately 0.15 acres of land situated in the P. Coursey Survey, Abstract 131, Block 317, Tract 12, more particularly

described by Williamson Central Appraisal District Parcel R018962, Taylor, Williamson County, Texas. *Joe Duca*

5. **PZ 2025-2606** Hold a public hearing and consider making a recommendation regarding a request for an Employment Center Plan referred to as Oncor Muscovy Switch, generally located at Hwy 79, legally described as approximately 51.19 acres of land in the J C Eaves Survey, Abstract No. 213, more particularly described by the Williamson Central Appraisal District Parcels R565218, Taylor, Williamson County, Texas. *Joe Duca*

VI. DISCUSSION ITEMS

6. Update regarding City Council actions on items referred by the Planning and Zoning Commission.
7. Quorum call for planning and zoning commission meeting for March 10, 2026 meeting

VII. ADJOURN

The Commission may vote and/or act upon each of the items listed in this Agenda. The Commission reserves the right to retire into executive session concerning any of the items listed on this Agenda, whenever it is considered necessary and legally Justified under the Open Meetings Act.

I certify that the notice of this meeting was posted in the City of Taylor Hall Lobby continuously for three business days before the date of said meeting. I further certify that the following news media was notified of this meeting: Taylor Daily Press.

Posted by: Beverley Ashton Date: February 4, 2026
Beverley Ashton, Planning Technician



City Council Meeting February 10, 2026 Transmittal Letter

STRATEGIC PILLAR

Agenda Item Number: 1.

Agenda Title: Review and approve minutes from the meeting held on January 13, 2026

Council Action to be Taken:

Department Submitted:

Staff Contact:

1. PURPOSE / DESCRIPTION

2. STAFF ANALYSIS / BACKGROUND / PRIOR COUNCIL ACTIONS

3. PROS and CONS

<u>PROS</u>	<u>CONS</u>
•	•

4. RECOMMENDATION

5. FUNDING SOURCE

6. TIMELINE

7. OTHER OPTIONS

8. ATTACHMENTS

1. P&Z Minutes 01.13.2026

MINUTES

CITY OF TAYLOR, TEXAS

PLANNING AND ZONING COMMISSION MEETING

January 13, 2026, at 6:00 P.M.

City Hall Council Chambers

400 Porter Street, Taylor, TX 76574

PRESENT

Amy Everhart
Nora Roy
Barbara Aviles-Toresberg
Jim Buzan
Annette Maruska
Donna Frazier
Jim Newman
Joseph Gonzales

ABSENT

STAFF PRESENT

Courtney Peres, Asst. Director
Joseph Ducay, Planning Manager
Preston Gunn, Planner
Parker McDowell, Consultant Senior
Planner
Brian LaBorde, City Manager

I. CALL TO ORDER AND DECLARE A QUORUM

- *Chair, Amy Everhart, called the meeting to order and declared a quorum at 6:00 P.M.*

II. CITIZENS COMMUNICATION

(The Planning and Zoning Commission welcomes public comments on items not listed on the Agenda. However, the Commission cannot respond until an item is posted on a future meeting Agenda. Registration forms are available at the sign in table.)

- *Frankie Gardiola – spoke regarding project PZ 2025-2467 and PZ 2025-2574 – note that PZ 2025-2574 is not on this agenda.*
- *Stacey Stork - donated her time to Frankie Gardiola.*
- *Buddy Mikner, Harry Shroeder, Becky Ruzika – spoke regarding project PZ 2025-2574: a proposed project referred to as Kent Court not on this agenda.*

III. CONSENT AGENDA

(The Consent Agenda includes non-controversial and routine items that the Commission may act on with one single vote. The Chair or a Commissioner may pull any item from the Consent Agenda to discuss and act upon it individually as part of the Regular Agenda.)

1. Review and approve minutes from the meeting held on December 09, 2025.
 - *Joseph Gonzales made a motion to Approve the minutes as presented. Donna Frazier seconded the motion. Motion passed (8-0).*

IV. REGULAR AGENDA – REVIEW/DISCUSS AND CONSIDER ACTION

1. **PZ-2025-2622** – Consider Disapproval of the Castlewood Phases 2&3 Subdivision Replat (expand on this “Block A, Lot1”), generally located at FM 973 and W Wesley Miller Lane and Streamwood Trail, consisting of 4.5156 acres of land in the Castlewood Phase 2 & 3, Block 9, Lot 1, more particularly described by Williamson Central Appraisal District Parcel R630334, Taylor, Williamson County, Texas. (Preston)
 - *Assistant Director of Development Services, Courtney Peres, presented a brief presentation introducing the Replat and provided staff’s recommendation.*
 - *Annette Maruska motioned to Disapprove the Replat as presented. Nora Roy seconded the motion. Motion passed (8-0).*

V. PUBLIC HEARINGS

1. **PZ-2025-2465** Hold a public hearing and consider making a recommendation regarding a request for a Neighborhood Plan referred to as Sonora Bank, generally located at 602 SW Carlos G. Parker Boulevard, legally described as approximately 9.730 acres of land in the G.M. Reese Survey, Abstract No. 533, more particularly described by the Williamson Central Appraisal District Parcels R019660 and R311755, Taylor, Williamson County, Texas.
 - *Assistant Director, Courtney Peres introduced the case and provided staff’s recommendation.*
 - *David Kautz – Spoke about concerns the development might have with the adjacent farmland that Mr. Kautz owns.*
 - *Patty Kautz - Donated her time to Mr. Kautz*
 - *Applicant Tanner White- SEC Planning – Spoke to address the concerns of Mr. Kautz*
 - *Gary J - SEC Planning – Spoke to address the concerns of Mr. Kautz*
 - *Chair Everhart closed the public hearing at 6:37 P.M*
 - *Jim Newman motioned to Approve the request. Jim Buzan seconded the motion. Motion passed (8-0)*
2. **PZ-2025-2467** Hold a public hearing and consider making a recommendation regarding a request for a Neighborhood Plan referred to as Taylor Commons, generally located at 709 NW Carlos G. Parker Boulevard, legally described as approximately 8.607 acres of land in the William J Baker Survey, Abstract No. 65, and Stellata Business, Block 1, lot

1, more particularly described by the Williamson Central Appraisal District Parcels R319187, R508207 and R622658, Taylor, Williamson County, Texas.

- *Assistant Director, Courtney Peres introduced the case and provided staff's recommendation.*
- *Applicant Adam Hughes – Sandlin Services – Spoke to address commission questions*
- *Sam Dowdy – property owner – spoke regarding the project.*
- *Jim Buzan Recused himself*
- *Joseph Gonzales motioned to Approve the request. Donna Fraizer seconded the motion. Motion passed (6-1)*

3. **PZ 2025-2642** Hold a public hearing and consider making a recommendation regarding a request for a Special Use Permit to allow for light electronics disposal services as part of a commercial retail use generally located at 601 W 2nd Street, legally described as approximately 2.3123 acres of land in the City of Taylor, Block 69, Lot 1-10, ABAN, more particularly described by Williamson Central Appraisal District Parcel R015371, Taylor, Williamson County, Texas.

- *Assistant Director, Courtney Peres introduced the case and provided staff's recommendation.*
- *Applicant – Scott Heselmeyer - Spoke to address commission questions*
- *Chair Everhart closed the public hearing at 7:37 PM*
- *Nora Roy motioned to Approve the request. Barbara Aviles-Toresberg seconded the motion. With a recommendation for an amendment to the length of the Special Use Permit for 5 years instead of 3 years. Motion passed (8-0)*

4. **POSTPONED** Hold a public hearing, discuss and consider action on a proposed Historic Overlay District to be applied over the historic downtown of the City of Taylor.

- *Downtown Director, Niecy Baum, introduced the proposed Historic Overlay District to the Commission*
- *Stacey Stork from Meadow Lane, spoke in approval of a proposed Historic Overlay District.*

VI. DISCUSSION ITEMS

5. Update regarding City Council actions on items referred by the Planning and Zoning Commission.

- *Assistant Director, Courtney Peres, gave an update on several past agenda items.*
- *Assistant Director, Courtney Peres, introduced new planning manager Joseph Ducay to the Development Services Team effective January 5, 2026.*

- 6. Quorum call for planning and zoning commission meeting for February 10, 2026 meeting

VII. ADJOURN Meeting was adjourned at 7:50 PM

Approved by Chair:	
	<i>Amy Everhart, Chair</i>
Date:	
Attest by City Staff:	
	<i>City Staff -</i>
Date:	

DRAFT

City of Taylor
PZ-2025-2635
Place Type Amendment
Staff Report

Item Details

Request:	A request to amend the Place Type from P2 Rural to P2C Rural Commercial for a property generally located at 600 Potomac Street
Legal Description:	Legally described as 2.5 acres out of the Washington Heights subdivision part of Block 52 and part of Block 58 more particularly described by the Williamson County Appraisal District as Parcel R018516 Taylor, Williamson County, Texas.
Applicant/ Property Owner:	Amanda Brown, H.D Brown Consulting / Danny Filla
Responsible Staff:	Preston Gunn

Overview & Background

The applicant is requesting a Place Type Amendment (zoning change) from P2: Rural to P2C: Rural Commercial. They are requesting this so they can develop the lot into a convenience store with gasoline service stations (Gas Station). The Gas station is intended to serve both heavy trucks (commercial trucks) and commuter vehicles traveling along Carlos G Parker.

The property is located directly south of the Mustang Creek Golf Course and has frontage on Carlos G Parker Boulevard. To the east and west there are residences on properties greater than 1 acre. Due to the sizes of the adjacent residential properties the applicant believes that the property is sufficiently buffered and would not negatively affect them.



The Subject Property has a rural residential zoning that can also be seen as a transitional zoning. The Comprehensive plan also indicates this area as underutilized by the future land use and growth sector map. The future land use is Neighborhood Greenfield, and the growth sector is Intended Growth Sector (G-3). They encourage the development or redevelopment of these as mixed-use extension of Taylor urban fabric.

If approved the properties' next step would be re-platting the property as it is currently a non-conforming lot.

Property Details

Location:

The subject property fronts Carlos G. Parker to the north and Potomac Street to the east. To the south, it adjoins Mustang Creek Golf Course, zoned P2 Rural. To the west, the subject property adjoins a P2 Rural lot for agricultural use, that encompasses a smaller P3: Neighborhood lot containing a single-family home.

Physical and Natural Features:

The Property contains a vacant single-family residence on the east side of the property fronting Potomac St. The lot is generally sloped down from east to west and has a large concentration of trees around the vacant single-family residence. This property does is not in the floodplain.

Land Use & Zoning

The subject properties are located within the **Intended Growth Sector (G-3)**, which consists of areas with access to existing or planned transportation / infrastructure and are on the periphery of existing developed areas. G-3 identified properties are primarily vacant, underutilized, or poorly developed commercial areas adjacent to existing centers and service areas. Growth policies should encourage the development or redevelopment of these areas as compact residential and mixed-use development

The subject property is assigned the **Future Land Use designation of Neighborhood Greenfield** which is envisioned as a wide mix of residential uses and neighborhood services. Greenfield development should be developed as an extension of the existing urban fabric in Taylor.

The **current zoning is P2 Rural Place Type**, which regulates mainly large, sparsely settled land used for agricultural purposes and food production. This Place Type is intended to preserve Taylor's natural beauty and agricultural history. Rural living and sparsely settled lands are to be located in a manner that does not cause a nuisance to more intensely inhabited areas. The Rural Place Type serves as an interim designation for newly annexed areas and neighborhoods that have not yet received a Place Type allocation.

Transportation

The property has two frontages. The City of Taylor Master Transportation Plan identifies Carlos G Parker as a Regional Road, Potomac Street is not identified within the plan. Sidewalks are not existing along Potomac Street.

Utilities

The property is currently served by a 6" water line along Potomac Street and a 6" waste waterline at the rear of the property. The water line along Potomac Street is currently called out in the 5-year Capital Improvement plan to be upside to an 8" line.

Surrounding Area Characteristics

Direction	Zoning District	Growth Sector	Future Land Use	Existing Land Use
North	P2 Rural	Infill Neighborhood Sector (G-4)	Infill Neighborhood Sector (G-4)	Golf Course
South	P4 Mix & P3 Neighborhood	Infill Neighborhood Sector (G-4)	Infill Neighborhood Sector (G-4)	Carlos G Parker Blvd
East	P2 Rural	Infill Neighborhood Sector (G-4)	Intended Growth Sector (G-3)	Potomac Street
West	P2 Rural	Infill Neighborhood Sector (G-4)	Intended Growth Sector (G-3)	Single Family Residence

Public Notification

As required by the Local Government Code and the City of Taylor Code of Ordinances, all property owners within a 200-foot radius of the subject property were notified of the zoning map amendment request. Five (5) notices were mailed to the property owners and a legal notice advertising the public hearing was placed in the Taylor Press on Sunday, January 25, 2026.

As of the date of this report, staff has heard from one resident in favor for this request and none opposed.

Staff Analysis

Upon analyzing the request for a Place Type Amendment from P2: Rule to P2C: Rural Commercial, the proposed request is consistent with the surrounding Place Types and is consistent with the Future Land Use and Growth Sector from the Comprehensive Plan.

The request is consistent with the following Land Use Policies outlined in the Envision Taylor Comprehensive Plan:

- LU4 – New development and growth should not increase the flood hazards or other risks associated with climate change in existing neighborhoods.
 - The development is not located in an area that contains a floodplain
- LU9 – Promote development patterns that maximize the use of existing infrastructure and land before expanding infrastructure to underdeveloped areas.
 - The development is already served by existing infrastructure.

Staff Recommendation

The Planning and Zoning Commission is charged with reviewing all requests for rezonings and recommends to City Council either in favor of or opposition to each request. In determining a recommendation on a rezoning request, the Planning and Zoning Commission members consider the following factors:

1. Is the Place Type Amendment consistent with the Comprehensive Plan?
 - a. The request is consistent with the Comprehensive Plan Land Use policy and the Future Land Use and Growth Sectors. The proposed development would use existing infrastructure and increase density in the area
2. Is the Place Type Amendment compatible with the surrounding area?
 - a. The Place Type is compatible with the current adjacent uses. There is no conflict with the golf course to the north. To the south, Carlos G. Parker provides a buffer between the subject property and the residential homes. To the east, Potomac St. and the adjacent land provide a buffer from the Rural residential home. To the west, the land provides a buffer from the Rural residential home. Both adjacent residential properties exceed the 1-acre minimum lot size.
3. Does the Place Type Amendment promote public health, safety, or general welfare?
 - a. Staff analysis determined that the proposed change for the subject property will likely promote public health, safety, and general welfare.
4. Is adequate infrastructure available or planned to meet the needs of the proposed land use?
 - a. The property is currently served by water and wastewater.
5. Do current conditions indicate that a Place Type Amendment is necessary?
 - a. The property is currently zoned P2 Rural, and the proposed use is not consistent with the current place type zoning. The place type amendment is needed to allow the use to be compliant with the Land Development Code.

Attachments:

- a. Letter of Intent
- b. Location Map
- c. Notification Map
- d. Future Land Use
- e. Growth Sector Map
- f. Current Zoning Map
- g. Draft Ordinance
 - a. Survey – Exhibit A
 - b. Proposed Zoning Map – Exhibit B

Courtney Peres, CNU-A
City of Taylor
Development Services Department
Taylor, Texas 76574

Via Electronic Submittal

RE: Rezoning application; 600 Potomac; 3.2 ± Acres; WCAD Parcel R018516 (the “Property”)

Dear Ms. Peres,

As representative of the Property owner, I respectfully submit a request to rezone 600 Potomac from P2 (Rural place type) to P2C (Rural Commercial place type) to allow redevelopment of the site with a convenience store and associated fuel sales. The following statements address the required criteria for Place Type Zoning Map Amendments.

1. Is the Place Type Zoning Map amendment (re-zoning) consistent with guiding documents such as the Comprehensive Plan and Land Development Code?

The requested zoning district is consistent with the City’s Comprehensive Plan and Land Development Code. The Future Land Use Map (“FLUM”) designates the Property as Neighborhood Greenfield, which supports neighborhood-serving commercial uses that meet local needs. A convenience store with fuel sales is consistent with this designation by providing everyday services within close proximity to surrounding residential areas.

2. Is the Place Type Zoning Map Amendment (re-zoning) compatible with the surrounding area?

The Property is located along Carlos G. Parker Blvd (Hwy 79) and is set back from residential homes. This location provides an appropriate buffer between residential areas and the proposed commercial use. Carlos G. Parker Blvd (Hwy 79) also serves as a major regional corridor capable of accommodating the traffic generated by a convenience store with fuel sales. The proposed zoning will therefore offer needed commercial services along a well-traveled corridor without creating disruptive impacts to nearby residents due to distance, orientation of the site, and the highway’s existing traffic capacity.

3. Does the Place Type Zoning Map Amendment (re-zoning) promote health, safety, and general welfare?

The proposed zoning promotes health, safety and general welfare for the City at large by providing a much needed commercial service along an existing, well-traveled major corridor. A service station does not currently exist on Carlos G. Parker Blvd (Hwy 79). This will allow for patrons passing through Taylor to use the service station along Carlos G. Parker Blvd, instead of accessing a similar service from an existing facility on Business 79, which may create safety issues in the Urban Center. Additionally, the neighborhood-serving retail use will provide convenient access to fuel and daily necessities, reducing vehicle miles traveled for local residents.

4. Is infrastructure available for future development of this site for uses allowed in the proposed Place Type zoning district(s)?

The Property is served by two existing roadways: Carlos G. Parker Blvd (Hwy 79) and Potomac St. A 6' water and wastewater line exists adjacent to the property and can support a convenience store with fuel sales.

5. Are there changed conditions that make the Place Type Zoning Map Amendment (re-zoning) necessary?

This area of Taylor has experienced increased residential growth and reinvestment, creating a need for conveniently located retail and service uses. The existing zoning does not support the intended use, and the P2C designation provides a more appropriate tool to guide redevelopment while ensuring compatibility.

6. Is there a need in the community for the proposed development or Place Type zoning associated with this request?

A service station does not currently exist on Carlos G. Parker Blvd (Hwy 79). This will allow for patrons passing through Taylor to use the service station along Carlos G. Parker Blvd, instead of accessing a similar service from Business 79, which may be disruptive to the Urban Center. Additionally, the proposed service station will serve the local community by providing daily goods and fuel in an area that is currently underserved, reducing vehicle miles traveled for local residents.

We appreciate staff's review and look forward to working with the City throughout the zoning process. Please contact me if additional information or clarification is required.

Very truly yours,



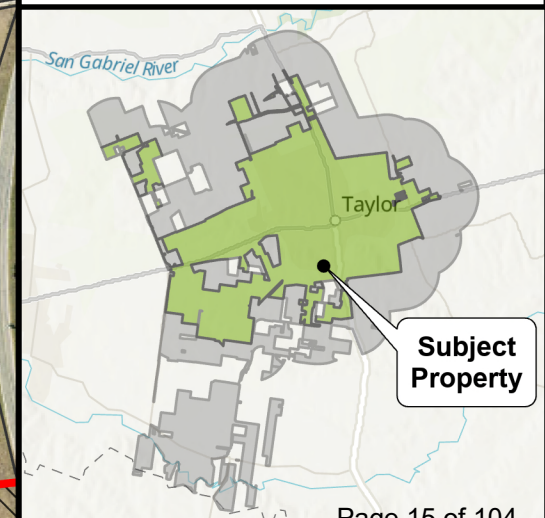
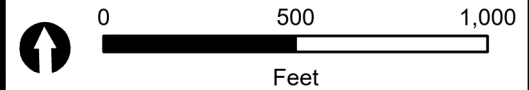
Amanda Couch Brown
H.D. Brown Consulting, LLC



PZ-2025-2635

600 Potomac St.
Place Type Amendment
Location Map
Approximately 2.5 acres

- Subject Property
- City Limits
- ETJ Boundary
- Parcel Boundary

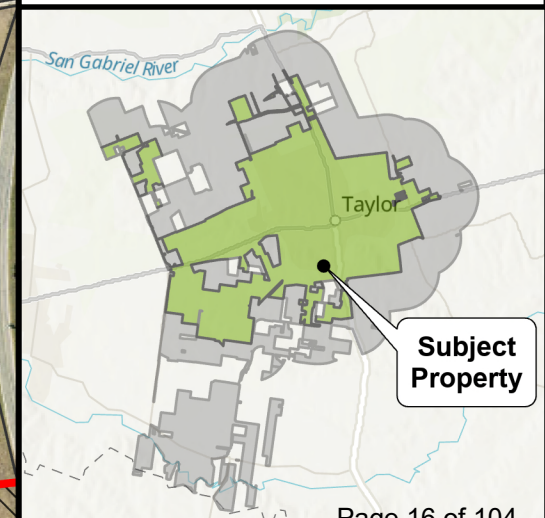
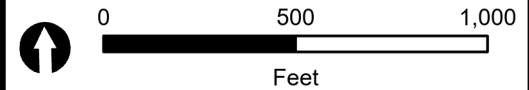




PZ-2025-2635

**600 Potomac St.
Place Type Amendment
Notification Map
Approximately 2.5 acres**

- Subject Property
- 200-ft. Buffer
- City Limits
- ETJ Boundary
- Parcel Boundary
- Notified Properties



Subject Property





PZ-2025-2635

600 Potomac St.
Place Type Amendment
Future Land Use Map
Approximately 2.5 acres

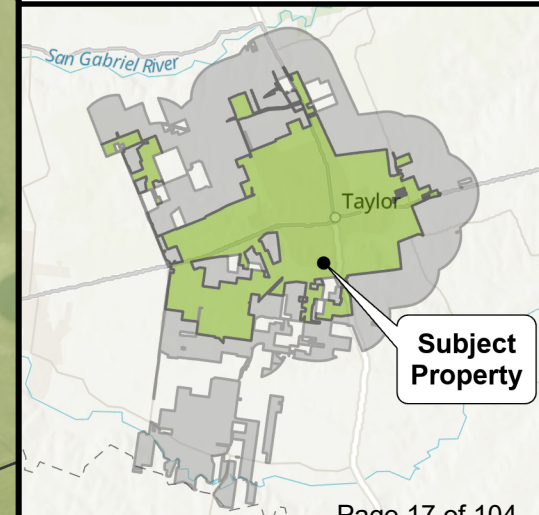
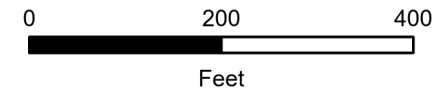
Subject Property

Parcel Boundary

Future Land Use

Neighborhood Greenfield

Neighborhood Infill



Subject Property

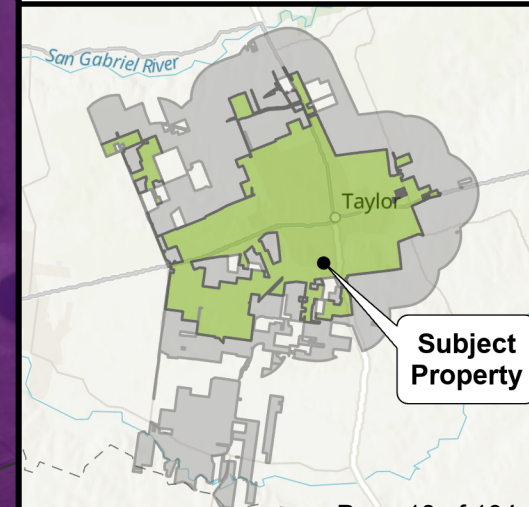




PZ-2025-2635

600 Potomac St.
Place Type Amendment
Growth Sector Map
Approximately 2.5 acres

- Subject Property
- Parcel Boundary
- Growth Sector**
 - Intended Growth Sector (G-3)
 - Infill Neighborhood Sector (G-4)

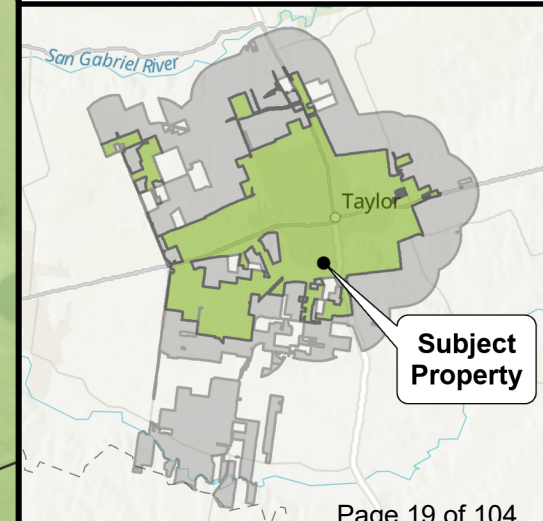




PZ-2025-2635

600 Potomac St.
Place Type Amendment
Current Zoning Map
Approximately 2.5 acres

- Subject Property
- Parcel Boundary
- Place Type Zoning**
 - P2: Rural
 - P3: Neighborhood
 - P4: Mix



ORDINANCE NO. 2025-XX

AN ORDINANCE CHANGING THE PLACE TYPE ZONING OF PROPERTY LOCATED AT 600 POTOMAC STREET FROM P2 – RURAL TO P2C – RURAL COMMERCIAL, AMENDING THE OFFICIAL PLACE TYPE ZONING MAP OF THE CITY OF TAYLOR, TEXAS, TO SHOW THE PLACE TYPE ZONING CHANGE ADOPTED HEREIN; PROVIDING A SAVINGS CLAUSE.

WHEREAS, the Taylor City Council conducted a public hearing on February 26th, 2026, to consider the request made by the applicant, whose property is legally described in Exhibit “A” the Place Type Change Form attached hereto and incorporated by reference herein for all purposes (“Property”), to change the place type zoning as described above; and

WHEREAS, the Planning and Zoning Commission, after proper notice, conducted a public hearing on February 10, 2026, to consider the place type zoning change request, and recommended approval of the place type zoning change to the City Council; and

WHEREAS, the City Council, after the public hearing, approves the request for the Property zoning change.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAYLOR, TEXAS, that:

SECTION 1. The facts and recitations contained in the preamble of this Ordinance are hereby declared to be true and correct and are incorporated by reference herein and made a part hereof, as if copied verbatim.

SECTION 2. The place type zoning of this Property is changed from: Place Type Zoning District P2 – Rural to P2C – Rural Commercial at property located at 600 Potomac Street.

SECTION 3. The official place type zoning map of the City of Taylor, Texas, is changed to show the Property Place Type zoning as described in Section 2 and reflected in Exhibit “B” attached hereto.

SECTION 4. All other terms and conditions contained in the official zoning map, except as amended herein, shall continue and remain in full force and effect.

SECTION 5. Should any section, paragraph, clause, phrase, or provision of this Ordinance be adjudged invalid or held unconstitutional, the same shall not affect the validity of this Ordinance as a whole or any part of the provisions thereof, other than the part so decided to be invalid or unconstitutional.

SECTION 6. In accordance with Article VIII of the City Charter, Ordinance **2026-XX** was introduced before the Taylor City Council on the 12th day of March 2026.

PASSED, APPROVED, and ADOPTED on the _____ day of _____, 2026.

Dwayne Ariola, Mayor

ATTEST:

Lucy Aldrich, City Clerk

APPROVED AS TO FORM:

Mark Schroeder,
City Attorney

DRAFT

CERTIFICATE

THE STATE OF TEXAS

COUNTY OF WILLIAMSON

I, Lucy Aldrich, being the current City Clerk of the City of Taylor, Texas, do hereby certify that the attached is a true and correct copy of Ordinance No. 2026-XX passed and approved by the City Council of the City of Taylor, Texas, on the _____ day of _____ 2026, and such Ordinance was duly introduced, passed, approved and adopted at meetings open to the public and notices of the meetings, giving the dates, places, and subject matter thereof, were posted as prescribed by Government Code Section 551.043.

Witness my hand and seal of office this _____ day of _____ 2026.

Lucy Aldrich
City Clerk

DRAFT

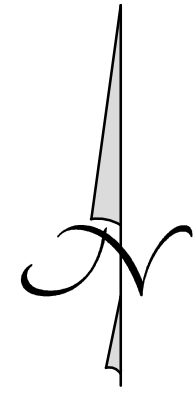
EXHIBIT A
(Metes & Bounds Survey)

DRAFT

EXHIBIT B
(Proposed Place Type Map)

DRAFT

3.206 ACRES OUT OF THE P. COURSEY SURVEY, ABSTRACT No. 131, SITUATED IN WILLIAMSON COUNTY, TEXAS, BEING THAT TRACT DESCRIBED IN A WARRANTY DEED RECORDED AS DOCUMENT No. 2010067031, OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS, AND FURTHER DESCRIBED IN A QUIT CLAIM DEED RECORDED IN VOLUME 440, PAGE 506, DEED RECORDS, WILLIAMSON COUNTY, TEXAS AND THE REMAINDER OF THAT TRACT DESCRIBED IN A WARRANTY DEED RECORDED IN VOLUME 440, PAGE 507, DEED RECORDS, WILLIAMSON COUNTY, TEXAS.



Scale: 1" = 30'

BEARINGS CITED HEREON BASED ON STATE PLANE COORDINATES, TEXAS CENTRAL ZONE, NAD 83.

THIS AREA DOES NOT APPEAR TO BE IN A SPECIAL FLOOD HAZARD AREA PER FEMA'S FLOOD INSURANCE RATE MAP #4849100541F, DATED DEC 28, 2019. THIS STATEMENT IS NOT MADE IN LIEU OF AN ELEVATION CERTIFICATE.

TAYLOR GOLF COURSE, INC.
(97.31 ACRES)
V.1603/P.659

(N 70°35' W 620') S.I.C.
V.440/P.506
N 69°28'13" E 620.00'

DANIEL D. FILLA & HELEN S. FILLA
(48' X 620')
V.440/P.506

3.206 ACRES
ALBERT CHRISTOPHER FILLA, DANNY,
JOE FILLA & EDWARD DALE FILLA
DOC. #2010067031 (Better
described in V.440/P.506 &
V.440/P.507)

DANIEL D. FILLA & HELEN S. FILLA
(REMAINDER OF 5.39 ACRES)
V.440/P.507

PAMELA ANN MIKULENCAK
(CALLED 9.73 ACRES)
DOC. #2018074004

POINT OF BEGINNING
364.49'
S 69°28'57" W

UTILITY SIGN

S 74°48'49" W 416.71'
(N 76°14'49" E 411.18')
V.522/P.411 R.O.W. DEDICATION

CARLOS G. PARKER BLVD.
(AKA U. S. HWY 79)
RIGHT-OF-WAY VARIES

600 POTOMAC STREET
PAVED ROAD

LEGEND	
●	1/2" IRON ROD FOUND WITH CAP STAMPED "TLS" (UNLESS OTHERWISE NOTED)
○	1/2" IRON ROD SET W/PLASTIC CAP STAMPED "TLS INC."
■	CONCRETE MONUMENT
●	FENCE POST
—	METAL FENCE
-X-	WIRE FENCE
-XX-	CHAIN LINK FENCE
-//-	WOOD FENCE
○	UTILITY POLE
—E—	ELECTRIC/TELEPHONE LINES
—E—	ELECTRIC LINES
■	ELECTRIC TANK
□	SIGN
○	TELEPHONE
○	WELL
⊗	WATER METER
⊗	RECORD INFORMATION
R.O.W.	RIGHT-OF-WAY

SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. OTHER EASEMENTS AND/OR RESTRICTIONS NOT SHOWN HEREON MAY AFFECT.

STATE OF TEXAS § KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WILLIAMSON §

THAT SURVEYOR FOR TEXAS LAND SURVEYING, INC., HAVE THIS DATE CAUSED TO BE PERFORMED AN ON-THE-GROUND SURVEY UNDER MY SUPERVISION OF THE FOREGOING TRACT OF LAND AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE ARE NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, ENCROACHMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, AND THAT SAID PROPERTY ADJOINS A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

Texas Land Surveying, Inc.

—A Land Surveying Firm—
3613 Williams Drive, Suite 903 - Georgetown, Texas 78628
(512) 930-1600 www.texas-ls.com
TBPLS FIRM NO.10056200

IF THIS DOCUMENT DOES NOT CONTAIN THE STAMP AND SEAL OF THE UNDERSIGNED SURVEYOR, IT IS AN UNAUTHORIZED/ILLEGAL COPY. TEXAS LAND SURVEYING, INC. ASSUMES NO LIABILITY FROM THE USE OF ANY UNAUTHORIZED/ILLEGAL DOCUMENT.



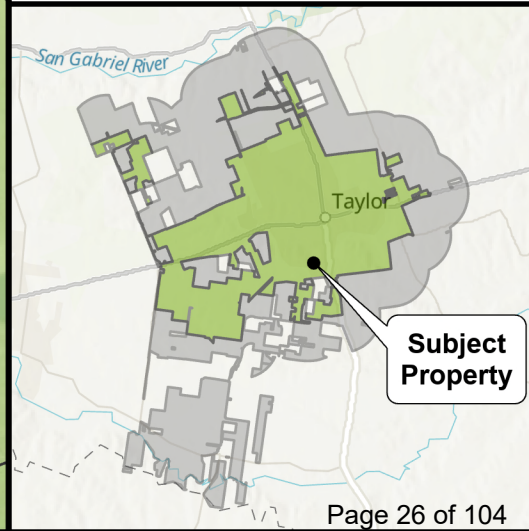
Witness my hand and seal this the 25th Day of JUNE, 2025 A.D.



PZ-2025-2635

600 Potomac St.
Place Type Amendment
Proposed Zoning Map
Approximately 2.5 acres

- Subject Property
- Parcel Boundary
- Place Type Zoning**
 - P2: Rural
 - P2C: Rural Commercial
 - P3: Neighborhood
 - P4: Mix



City of Taylor
PZ-2025-2636
Special Use Permit
Staff Report

Item Details

Request: A request for a Special Use Permit to allow 326 multifamily residential dwellings

Legal Description: Legally described as approximately 38.099 acres of land situated in the G.M Reese Survey, Abstract No. 533, more particularly described by Williamson Central Appraisal District Parcel’s R019657, R020063 and R331030, Taylor, Williamson County, Texas

Applicant: Cliff Kendall, WGI

Property Owner(s): Venu Reddy, Shenandoah Development Group

Responsible Staff: Parker McDowell

Overview & Background

The applicant, WGI, and the property owner, Shenandoah Development Group, is requesting an SUP for 326 multifamily residential dwellings units on 38.009 acres. This request is part of a Neighborhood plan Amendment for Gateway Square which is a neighborhood plan with Townhomes, Multifamily, Retail/Restaurant and hotel uses on a 38.009 acre site located at 505 SW Carlos G Parker Blvd. The subject property is largely vacant agricultural with a large lot single family dwelling. The existing Place Type is P5: Urban Center with Planned Development Overlay.



Property Details

Location:

The subject property is located southeast of the intersection of SE Carlos G. Parker Boulevard and FM 973. It is south east of the Neighborhood Plan, Taylor Pointe, and located north of Taylor High School.

Physical and Natural Features:

The property is largely vacant with sparse vegetation. The existing home is located on the southern portion of the property with a drive off SW Carlos G Parker Boulevard. The property is within the Taylor 100-year flood plain.

Land Use & Zoning

The subject properties are located within the **Intended Growth Sector (G-3)** which consists of areas with access to existing or planned transportation / infrastructure and are on the periphery of existing developed areas. These are primarily vacant, underutilized, or poorly developed commercial areas adjacent to existing centers and service areas. Growth policies should encourage the development or redevelopment of these areas as compact residential and mixed-use development, and the subject property is assigned the Future Land Use **Market Center: Community** which is envisioned mixed-use areas anchored by a retail destination where surrounding residents go to get daily goods and services. As with all centers, Market Centers are envisioned as mixed-use and walkable places

The current zoning is **P5 – Urban Center Place Type with Planned Development Overlay** which regulates a higher intensity mixture of building types that accommodate commercial, retail, offices, hotels, and residential. Buildings are set close to the sidewalk with high pedestrian and vehicle traffic. P5 promotes a continuous line of buildings and wide sidewalks critical to defining public frontage.

The approved Gateway Planned Development currently allows for 256 multifamily units by right and with the proposed amendment changes, that would increase to 326 units but also require an SUP.

Surrounding Area Characteristics

The surrounding properties are:

Direction	Zoning District	Growth Sector	Future Land Use	Existing Land Use
North	P5 Urban Center	Intended Growth Sector (G-3)	Market Center: Community	Single Family Residences
South	CS Civic Space,	Growth Sector: Infill Neighborhood Sector (G-4)	Future Land Use: Civic: Community	High School
East	P2 Rural	Intended Growth Sector (G-3)	Future Land Use: Neighborhood Greenfield	Vacant Acreage
West	P5 Urban Center, EC Employment Center	Intended Growth Sector (G-3)	Market Center: Community	Vacant Acreage & Single family residential

Transportation

The subject property is on the southside of SW Carlos G Parker Bloulevard, an existing street identified as a Regional Road. Proposed internal roadways will be developed as public streets.

Utilities

The subject property is located within the City of Taylor water and wastewater CCN. There is an existing 20-inch water line that runs north to south along FM 973. There is an 12-inch wastewater line, that runs along the southern and eastern property line..

Public Notification

As required by the Local Government Code and the City of Taylor Code of Ordinances, all property owners within a 200-foot radius of the subject property were notified of the zoning map amendment request. Seven (7) notices were mailed to the property owners and a legal notice advertising the public hearing was placed in the Taylor Press on Sunday, January 25, 2026.

As of the date of writing this report staff has not heard from any residents either “for” or “against” this request.

Staff Analysis

In determining a recommendation for a Specific Use Permit request, staff have considered the following factors:

1. **Is the Specific Use Permit consistent with the Comprehensive Plan?**
 - The Plan is consistent with the Comprehensive Plan. The proposed SUP would allow uses that are consistent with the future land use.
2. **Is the Specific Use Permit compatible with the surrounding area?**
 - The plan is compatible with the surrounding properties.
3. **Does the Specific Use Permit promote public health, safety, or general welfare?**
 - Staff analysis determined that the proposed plan for the subject property will promote public health, safety, and the general welfare. In addition, the planning principles and policy guide in the comprehensive plan aim to promote health, safety, and general welfare by managing growth, while promoting safe and orderly development.
4. **Is adequate infrastructure available or planned to meet the needs of the proposed land use?**
 - The property will be able to tie into the existing infrastructure to serve this property.
5. **Do current conditions indicate that a Specific Use Permit is necessary?**
 - The property is currently zoned P5: Urban Center with Planned Development Overlay and the proposed amendments to the Neighborhood plan require an SUP to allow the increase in multifamily units.

The Specific Use Permit seeks to largely align with the surrounding area and uses within the surrounding Planned Developments and Neighborhood plans.

P&Z Recommendation

The Planning and Zoning Commission is charged with reviewing all requests for rezonings and recommends to City Council either in favor of or opposition to each request. In determining a recommendation on a rezoning request, the Planning and Zoning Commission members consider the following factors:

1. **Is the Specific Use Permit consistent with the Comprehensive Plan?**
2. **Is the Specific Use Permit compatible with the surrounding area?**
3. **Does the Specific Use Permit promote public health, safety, or general welfare?**
4. **Is adequate infrastructure available or planned to meet the needs of the proposed land use?**
5. **Do current conditions indicate that an Specific Use Permit is necessary?**

Attachments:

- a. Letter of Intent from Applicant
- b. Site Plan
- c. Location Map
- d. Growth Sector Map
- e. Future Land Use
- f. Existing Zoning Map
- g. Notification Map
- h. Ordinance 2026-XX
 - 1) Survey Description – Exhibit A



Venumadhav(Venu) Reddy
Principal
Shenandoah Development Group
Feb 27th, 2025

City of Taylor
Planning & Development Department
400 Porter Street
Taylor, TX 76574

Subject: Plan Development Amendment Application – Gateway

Dear Planning & Development Team,

On behalf of Shenandoah Development Group, we respectfully submit this Planned Development (PD) Amendment Application for the Gateway Project in Taylor, Texas. This amendment request includes updates to the previously approved concept plan to align with the evolving needs of the development, city planning objectives, and community considerations.

Summary of the Amendment

Our proposed amendment includes modifications to the approved Planned Development, primarily aimed at enhancing site functionality, improving design efficiency, and ensuring compliance with evolving market conditions and regulatory requirements. The key revisions include:

1. **Land Use Adjustments** – Updates to the allocation of commercial, residential, and mixed-use spaces to reflect current economic and community needs.
2. **Circulation & Roadway Enhancements** – Modifications to internal road alignments to improve traffic flow, parking count increase by 2%, pedestrian accessibility, and emergency access.
3. **Density & Lot Configuration Updates** – Adjustments to unit count, lot sizes, and transect zones to optimize land use while maintaining compliance with city standards.
4. **Open Space & Amenities Revisions** – Refinements to park space, landscaping, and public gathering areas to enhance livability and environmental sustainability.
5. **Utility & Infrastructure Considerations** – Coordination of water, wastewater, and drainage plans with city engineering requirements to support long-term serviceability.

Objectives of the Amendment

This amendment seeks to:

- Align the development with Taylor’s Comprehensive Plan and growth strategy.
- Improve infrastructure efficiency and connectivity within the site.
- Support economic development by optimizing commercial and residential components.
- Enhance community engagement by incorporating improved public spaces.
- Ensure a smooth and practical implementation of the project while maintaining flexibility for future market-driven adjustments.

Supporting Documentation

Enclosed with this submission are the variance report outlining changes between the original and revised concept plans, the master plan, and ownership deed documents. These documents provide a clear comparison of the amendments and demonstrate our commitment to responsible development.

We appreciate your time and consideration of this application. Please let us know if additional information or clarifications are required. We look forward to discussing the proposed amendments further and working together to achieve a successful outcome.

Sincerely,

Venumadhav(Venu) Reddy

Principal

Shenandoah Development Group

GATEWAY SQUARE - TAYLOR
PD AMENDMENT

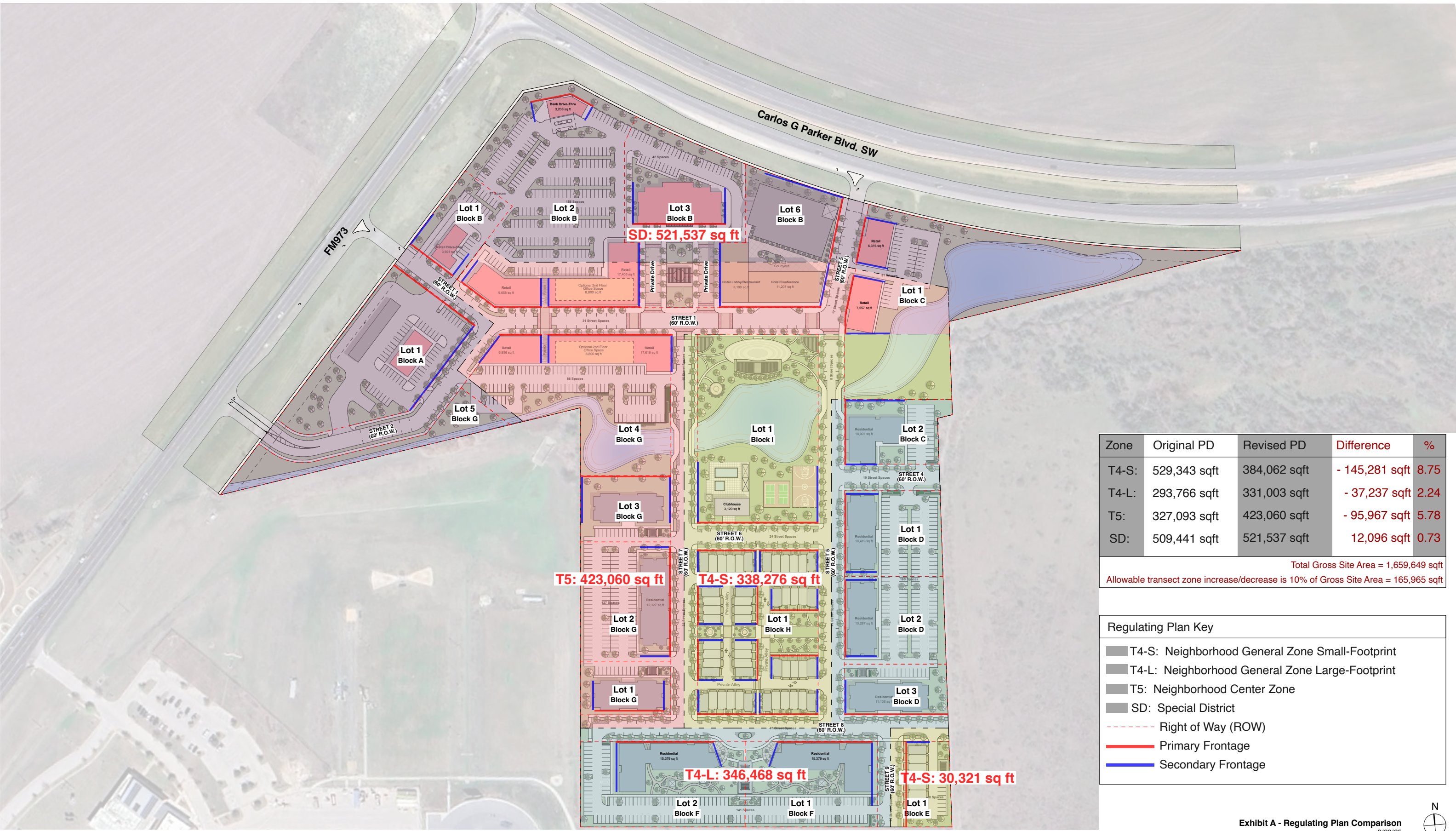


SCALE: 1" = 200'
 Revised Site Plan
 9/29/25



METROPOLITAN DEVELOPMENT COMPANY, LLC
 Pappageorge Haymes Partners

 **SHENANDOAH DEVELOPMENT GROUP**



Zone	Original PD	Revised PD	Difference	%
T4-S:	529,343 sqft	384,062 sqft	- 145,281 sqft	8.75
T4-L:	293,766 sqft	331,003 sqft	- 37,237 sqft	2.24
T5:	327,093 sqft	423,060 sqft	- 95,967 sqft	5.78
SD:	509,441 sqft	521,537 sqft	12,096 sqft	0.73

Total Gross Site Area = 1,659,649 sqft
 Allowable transect zone increase/decrease is 10% of Gross Site Area = 165,965 sqft

Regulating Plan Key

- T4-S: Neighborhood General Zone Small-Footprint
- T4-L: Neighborhood General Zone Large-Footprint
- T5: Neighborhood Center Zone
- SD: Special District
- Right of Way (ROW)
- Primary Frontage
- Secondary Frontage



	Original PD	Revised PD
	Units / GFS	Units / GSF
Townhouses	62 Units / 148,472 sqft	58 Units / 147,900 sqft
Multi-family	256 Units / 271,401 sqft	326 Units / 342,425 sqft
Clubhouse	4,500 sqft	3,120 sqft
Retail / Restaurant	75,805 sqft	100,537 sqft
Hotel	300 Keys / 107,722 sqft	165 Keys / 88,435 sqft
Detention Pond Area	86,046 sqft	137,085 sqft

Key




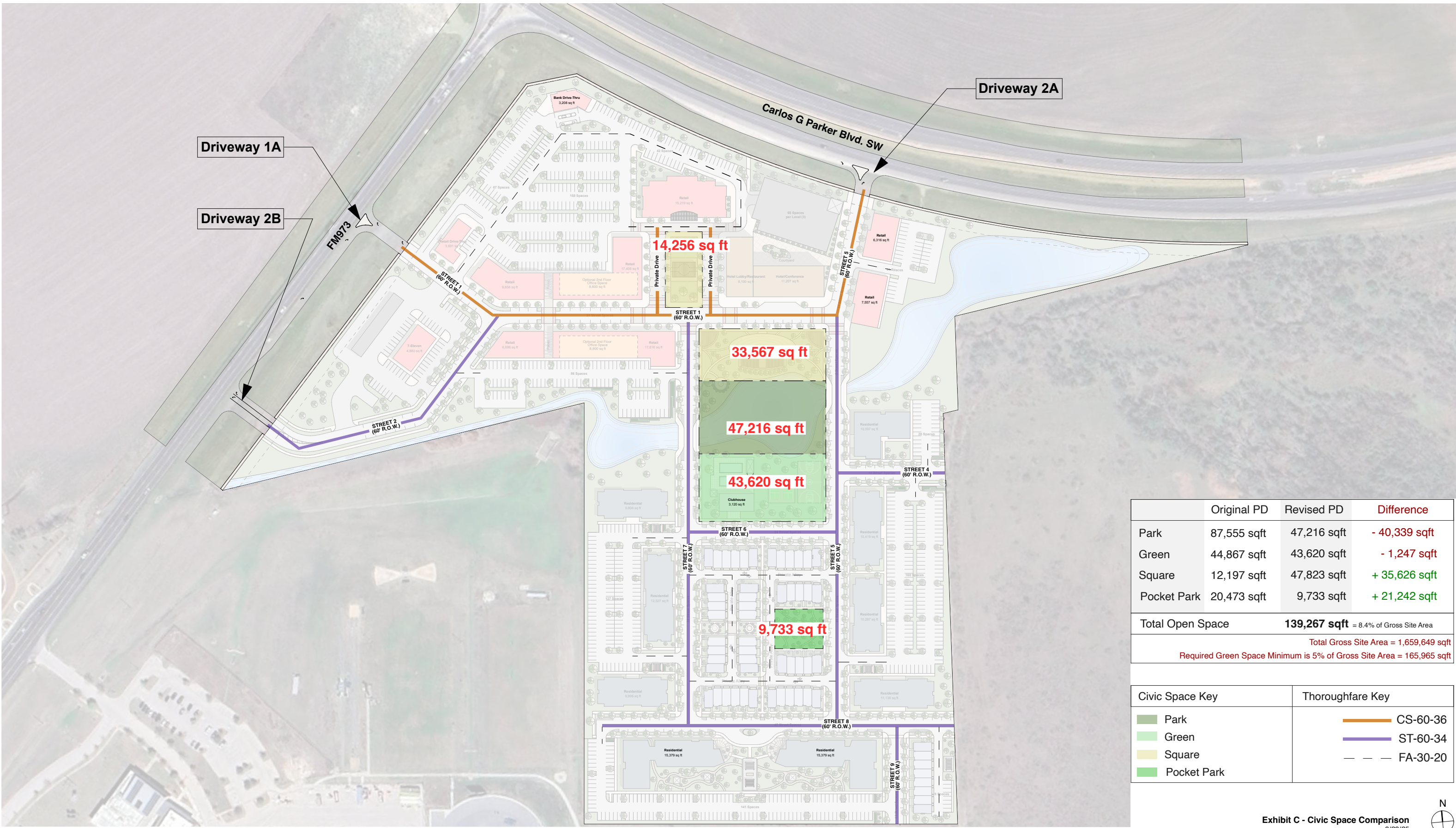
-  Pergola Structure with Screen Wall and Monument Sign
-  Gazebo Pavilion Structure
-  Stepped Planter with Screen Wall and Monument Sign

Exhibit B - Master Plan Use Comparison
9/29/25 

PH # 191 © COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2025



	Original PD	Revised PD	Difference
Park	87,555 sqft	47,216 sqft	- 40,339 sqft
Green	44,867 sqft	43,620 sqft	- 1,247 sqft
Square	12,197 sqft	47,823 sqft	+ 35,626 sqft
Pocket Park	20,473 sqft	9,733 sqft	+ 21,242 sqft

Total Open Space **139,267 sqft** = 8.4% of Gross Site Area
 Total Gross Site Area = 1,659,649 sqft
 Required Green Space Minimum is 5% of Gross Site Area = 165,965 sqft

Civic Space Key	Thoroughfare Key
■ Park	— CS-60-36
■ Green	— ST-60-34
■ Square	- - - FA-30-20
■ Pocket Park	

Exhibit C - Civic Space Comparison
 9/29/25





Original PD	Units / GFS	Parking Ratio	Req. Parking	Prov. Parking
Townhomes	62 Units / 148,472 sqft	2/Unit	124	*124
Multi-family	256 Units / 271,401 sqft	1.7/Unit	436	*437
Live-Work	29,000 sqft	3/1000	87	*105
Retail / Restaurant	42,100 sqft	1/200	211	*273
Hotel	300 Keys / 107,722 sqft	0.89/Key	267	*277
Gas Station	5,200 sqft	1/100	52	*69
*Conceptual parking count only, Site plans need to be verified.			Total	*1,285
336 Units / 340,852 sqft				
Revised PD	Units / GFS	Parking Ratio	Req. Parking	Prov. Parking
Townhomes	62 Units / 158,100 sqft	2/Unit	124	*132
Multi-family	326 Units / 342,180 sqft	1.5/Unit	489	*458
Retail / Restaurant	100,537 sqft	1/200	266	*384
Hotel	165 Keys / 86,000 sqft	0.89/Key	147	*195
Gas Station	4,900 sqft	1/100	49	*51
Street Parking - Residential				*166
Street Parking Commercial				*99
*Conceptual parking count only, Site plans need to be verified.			Total	*1,485

Exhibit D - Parking and Access Comparison
9/29/25





LEGEND

- BOUNDARY / R.O.W.
- - - EASEMENT / SETBACK
- CURB / EDGE OF PVMT
- BUILDING FACE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- ADA
- ACCESSIBLE ROUTE (ADA)
- FIRE LANE STRIPING
- TOP/BOTTOM OF SLOPE
- OVERHEAD UTILITY
- LIMITS OF 100 YEAR FLOOD PLAIN
- RETAINING/SCREEN WALL
- CHAIN LINK FENCE
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- WATER METER VAULT
- WATER VALVE
- WASTEWATER MANHOLE
- UTILITY POLE
- CLEAN-OUT
- GUY WIRE
- ELEC TRANSFORMER PAD
- STORM DRAIN INLET
- STORM DRAIN MANHOLE
- TREE WJ TAG (TO REMAIN)

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 FORMAL CITY APPROVAL

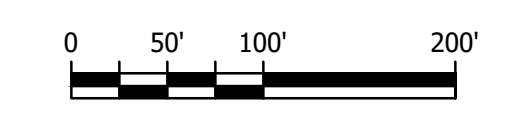
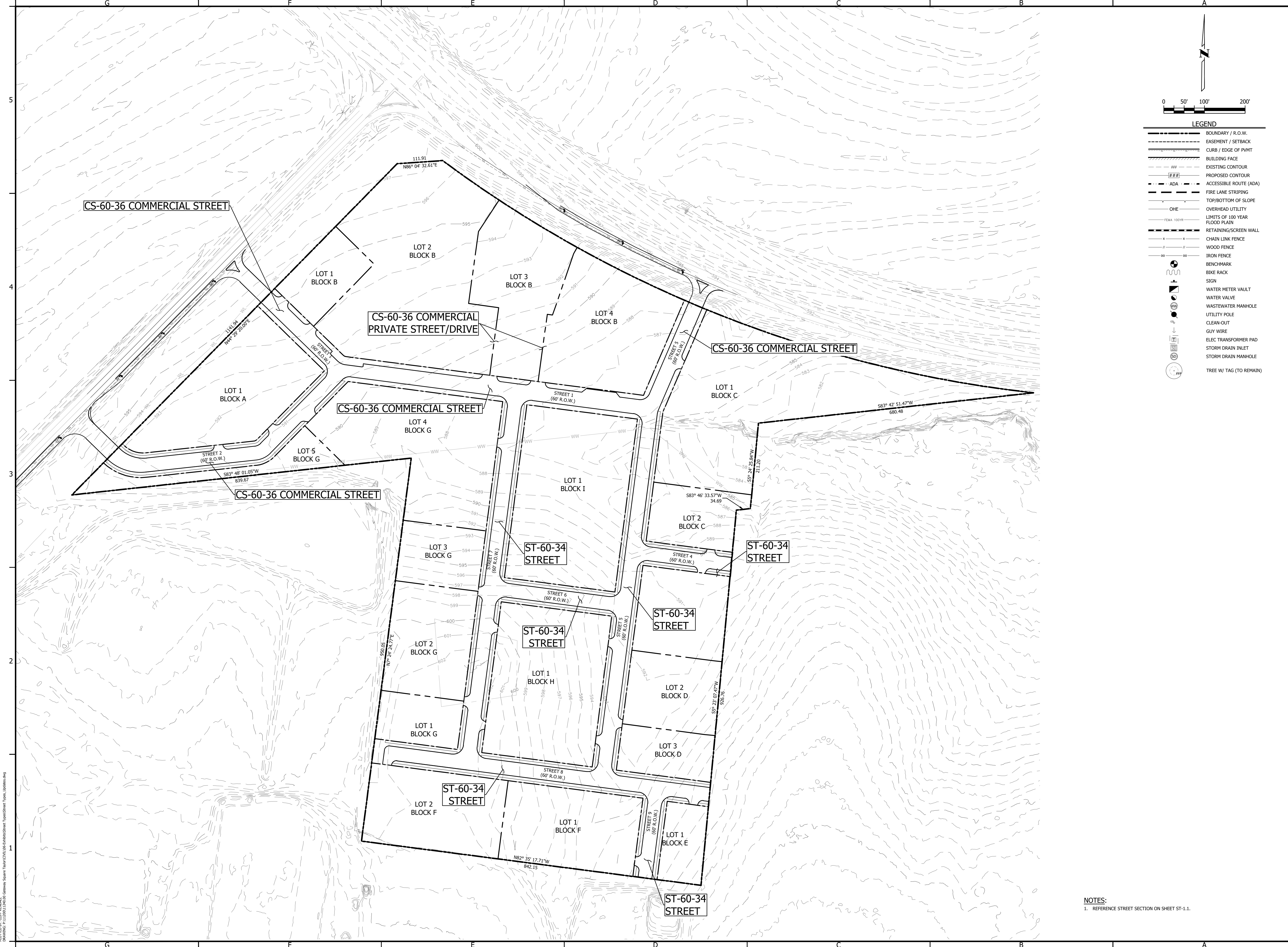


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 PURPOSES.
 PREPARED UNDER THE
 SUPERVISION OF
 AMANDA SALDIVAR
 P.E. #146190
 ON 2025-10-07

GATEWAY SQUARE
 505 CARLOS G PARKER BOULEVARD
 CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS 76574
 PRELIMINARY UTILITY PLAN

1300 W 2nd St, Taylor, TX 76574 City of Taylor Water Utility Service Extension Request (SER) Application				WGI Project Number: 011240.00	Date: 7/2/2025
				Design Engineer: AS	Site Area (acres): 58.100
Domestic Water Demand Calculations:					
Proposed Development Intended Use	Units or SF	LUE Rate	Total LUE's	Peak Hour Water (2.2 GPM/1.4E) (GPM)	Peak Day Water (1.0 GPM/1.4E) (GPM)
Restaurant	11,791	1 UNIT/ 200	58.96	129.70	76.6
Club House	1	0.5	0.50	1.10	0.7
Retail	64,304	1/1660	38.74	85.22	50.4
Hotel	165	0.5	82.50	181.50	107.3
Multifamily	826	0.5	163.00	358.60	211.9
Townhouse	62	1	62.00	136.40	80.6
Conference/Office	11,207	1 UNIT / 900	37.36	82.18	48.6
Live Work Residential	0	0.5	0.00	0.00	0.0
Liner	0	0.5	0.00	0.00	0.0
Total Development:			443.05	974.71	575.96
Fire Flow Demand Calculations:					
Maximum Fire Separation Areas	Construction Type (NFPA 220 Code) & Sprinkler Type	Required Fire Flow (GPM)	Flow Duration and Pressure (4hr Sprinkler Protection)	Sprinkler Reduction	Required Fire Flow Net (GPM)
Total Development:	V-A	4500	2 Fr, 20 PSI	50%	2,250
				Total	2,250
Wastewater Demand Calculations:					
Residential Total LUE's (Hotel, MF, Townhouse, Live Work Residential)	Average Dry Weather Flow (ADWF) (10 galons/person/day) * # of LUE's * 1.15 (Person/144) (GPM)	Peak Flow Factor (PFF) 3.0 (0.00257) * 4 (0.0287) * 1.1 (0.03357)	Peak Dry Weather Flow (PDWF) (ADWF * PFF) (GPM)	Inflow and Infiltration (I&I) (750 GPD/acre/ft) * 144 (GPM)	Peak WW Flow (PDWF + I&I) (GPM)
307.50	74.74	3.67	274.39	19.84	294.24
Commercial / Retail Total LUE's (Restaurant, Club House, Retail, Live Work Retail, Liner)	Average Dry Weather Flow (ADWF) (10 galons/person/day) * # of LUE's * 1.15 (Person/144) (GPM)	Peak Flow Factor (PFF) 3.0 (0.00257) * 1.1 (0.0287) * 1.1 (0.03357)	Peak Dry Weather Flow (PDWF) (ADWF * PFF) (GPM)	Inflow and Infiltration (I&I) (750 GPD/acre/ft) * 144 (GPM)	Peak WW Flow (PDWF + I&I) (GPM)
135.55	32.95	3.67	120.96	19.84	140.80
Total Development:	443.05	107.69	395.35	39.68	435.04

SHEET
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 PZ-2025-2435



LEGEND

- BOUNDARY / R.O.W.
- - - EASEMENT / SETBACK
- ==== CURB / EDGE OF PAVT
- ===== BUILDING FACE
- #--- EXISTING CONTOUR
- #---#--- PROPOSED CONTOUR
- #---#--- ADA
- #---#--- ACCESSIBLE ROUTE (ADA)
- #---#--- FIRE LANE STRIPING
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- #---#--- STORM DRAIN MANHOLE
- #---#--- TREE W/ TAG (TO REMAIN)

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CONSTRUCTION PRIOR TO
FORMAL CITY APPROVAL**



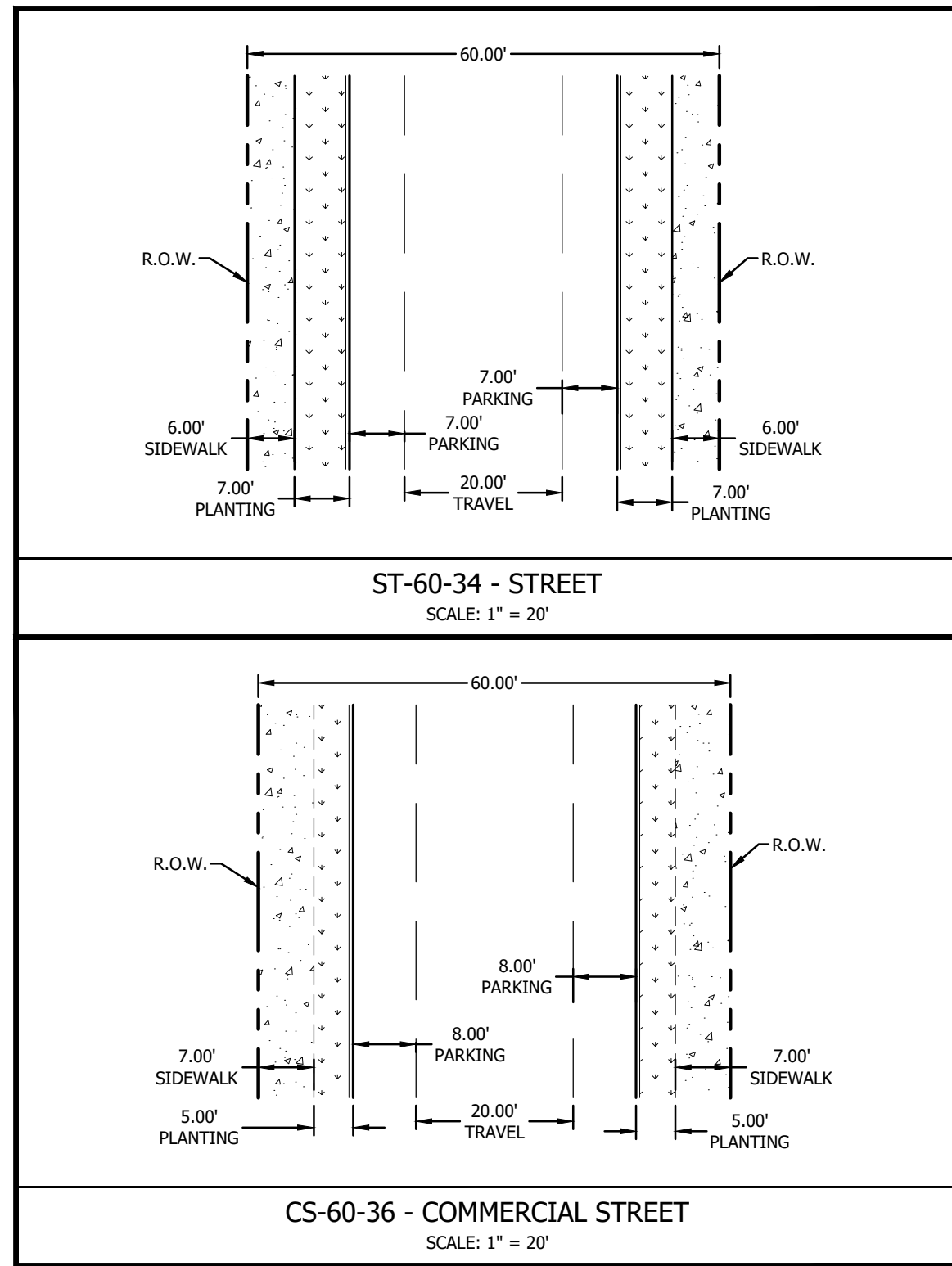
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 P.E. #146190
 ON 2025-10-07

GATEWAY SQUARE
 505 CARLOS G PARKER BOULEVARD
 CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS 76574
STREET TYPES

SHEET
ST-1.0
 01 OF 02
 PZ-2025-2435

NOTES:
 1. REFERENCE STREET SECTION ON SHEET ST-1.1.

SANITARY: 10/12/2025, 1:04 PM
 PLOTTED BY: CLIFF KENDALL
 DRAWING: PZ-2025-2435 Gateway Square Parcel/ST-1.0.dwg



CITY OF TAYLOR NOTES

STREET TREES:

THE FOLLOWING APPLY TO STREET TREES:

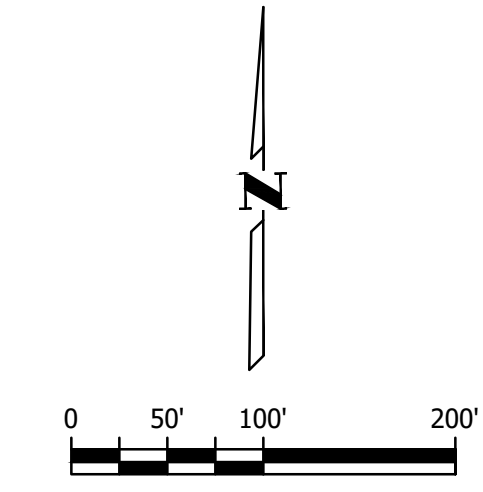
- STREET TREES SHALL BE CEDAR ELM, DRAKE ELM, BIGTOOTH MAPLE, CHINQUAPIN OAK, MONTEREY OAK, RED OAK, TEXAS ASH, OR PECAN. OTHER TREE SPECIES ACCEPTABLE TO THE CITY SHALL BE APPROVED BY WARRANT. AT RETAIL FRONTAGES, THE SPACING OF THE TREES MAY BE IRREGULAR TO AVOID VISUALLY OBSCURING THE SHOP FRONTS. STREET TREES ARE NOT REQUIRED WHERE A GALLERY, ARCADE, OR COLONNADE IS PRESENT.
- THE PUBLIC FRONTAGE IN T4 AND T5 SHALL INCLUDE TREES PLANTED IN A REGULARLY-SPACED ALLEE PATTERN OF A SINGLE SPECIES WITH SHADE CANOPIES OF A HEIGHT THAT, AT MATURITY, CLEARS AT LEAST ONE STORY.
- STREET TREE SPACING SHALL TYPICALLY BE AS DESIGNATED BY THE PD THOROUGHFARE TYPES AND ADAPTED AS NEEDED FOR SPECIFIC LOCATIONS. SPECIFIC AREAS MAY BE EXEMPTED BY WARRANT FROM REQUIRED TREE PLANTING DUE TO SITE CONDITIONS, DESIGN MERIT, AND/OR OTHER EXTENUATING CIRCUMSTANCES.
- TREES SHALL BE MAINTAINED BY AN ENTITY OTHER THAN THE CITY OF TAYLOR UNLESS NOTED OTHERWISE TO PERMIT SUFFICIENT VERTICAL CLEARANCE IN THE TRAVEL LANES (12 FT. 6 IN.) FOR MOVING VANS, BUSES, EMERGENCY VEHICLES, AND THE LIKE.

UTILITY EASEMENTS:

- TYPICALLY, WATER AND SEWER SHALL BE PROVIDED IN PRIMARY THOROUGHFARES OR CIVIC SPACES AND OTHER UTILITIES SHALL BE PROVIDED IN SECONDARY THOROUGHFARES, WITH EASEMENTS IN THESE THOROUGHFARES AS REQUIRED. PROVISION OF UTILITIES IN EASEMENTS ON PRIVATE LOTS SHALL BE THE EXCEPTION AND THE LOCATION OF LAST RESORT.

OTHER THOROUGHFARE STANDARDS:

- MAXIMUM CUL-DE-SAC LENGTH DOES NOT APPLY TO ALLEYS. TURN LANES MAY BE REQUIRED AT INTERSECTIONS PER TRAFFIC IMPACT ANALYSIS



LEGEND	
	BOUNDARY / R.O.W.
	EASEMENT / SETBACK
	CURB / EDGE OF PAVT
	BUILDING FACE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	ACCESSIBLE ROUTE (ADA)
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	STORM DRAIN INLET
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	TREE WJ TAG (TO REMAIN)

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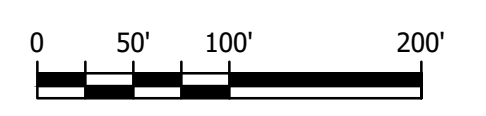
WGInc.com
755 E. MULBERRY AVE., SUITE 501, SAN ANTONIO, TEXAS 78212

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P.E. #146190
ON 2025-08-12

GATEWAY SQUARE
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CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS 76574

STREET TYPES

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01 OF 02
PZ-2025-2435



LEGEND

	BOUNDARY / R.O.W.
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	ELEC TRANSFORMER PAD
	STORM DRAIN INLET
	STORM DRAIN MANHOLE
	TREE WJ TAG (TO REMAIN)

**NOT AUTHORIZED FOR
CONSTRUCTION PRIOR TO
FORMAL CITY APPROVAL**



PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING, OR PERMIT
PURPOSES.
PREPARED UNDER THE
SUPERVISION OF
AMANDA SALDIVAR
P.E. #146190
ON 2025-10-08

GATEWAY SQUARE
505 CARLOS G PARKER BOULEVARD
CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS 76574
BLOCK DISTANCE TO CIVIL SPACE

SHEET
CS-1.0
01 OF 01
PZ-2025-2435

SWDT: 10/20/25 2:31 PM
 PLOTTED BY: CLIFF KIRKALL
 C:\Users\cliff.kirkall\AppData\Local\Temp\1\124203 Gateway Square Taylor\CF1515156.dwg (Sheet) Type:Book Distance to Civil Space.dwg

GATEWAY SQUARE - TAYLOR
PD STANDARDS

Lot Standards for All Transect Zones

The following apply to T4, T5, and SD:

1. **Block Length.** Blocks shall be a maximum of 600 feet long. Lots may front on publicly or privately owned thoroughfares or civic spaces.
2. **Dwelling Size.** There is no minimum dwelling size.
3. **Number of Buildings and Units.** Lots may have more than one building. Corner lots may have two accessory units provided that one faces the secondary frontage.
4. **Accessory Dwelling Unit Square Footage.** The conditioned space of an accessory dwelling unit within a primary building or an outbuilding shall not exceed the net square footage of the primary unit.
5. **Fences.** A fence along a shared rear or side lot line shall be no closer than 5 feet to another fence. Alternatively, neighbors may share a single fence along a shared side or rear lot line. Fences within the first lot layer shall be painted.
6. **Parking Standards.** There shall be no minimum or maximum parking standards.
7. **Fire Apparatus Access.** Proposed fire apparatus vehicle access is as shown on the Fire Apparatus Access Diagram, typically within 150 feet of all buildable area on a lot. Buildings on portions of lot greater than 150 feet from the Fire Apparatus Vehicle Access Route may require a fire suppression system to meet building and fire code requirements.
8. **Other Subdivision Standards.** Lots may front on thoroughfares or civic spaces, whether owned publicly or privately, through which access to residences may be established, consistent with the Regulating Plan or minor adjustments therein. Lots may be configured as shown on the Regulating Plan, and shall be consistent with the Lot Standards. Intersection angles and street jog offsets are acceptable if consistent with the Regulating Plan or minor adjustments therein. Maximum cul-de-sac length does not apply to alleys.
9. **Encroachments.** Permitted encroachments into setbacks shall be as shown on the following Table. Additionally, windowsills, belt courses, bay windows, cornices, eaves, footings, and ornamental features may encroach into any setback. All encroachments into utility easements are subject to the permission of the affected easement owner. (see *Permitted Encroachments table*)

	Setbacks Facing Frontages	Side and Rear Setbacks	Thoroughfares (incl. ROW) ¹
Patios ⁱ		•	
Decks ⁱ		•	
Mech. Equipment		•	
Utility Meters		•	
Window Wells		•	
Stoops and Steps ⁱ	•	•	
Porches and Steps ⁱⁱ	•	•	
Chimneys	•	•	
Hedges, Fences, & Garden Walls	•	•	
Bay Windows	•	•	•
Turrets/Towers	•	•	•
Eaves	•	•	•
Overhangs	•	•	•
Balconies	•	•	•
Ramps	•	•	•
Awnings		•	•
At Commercial Uses Only			
Merchandise	•	•	•
Cafe Tables	•	•	•
Chairs	•	•	•
Umbrellas	•	•	•
Planters	•	•	•
Heaters	•	•	•
Arcades ⁱⁱⁱ	•	•	•
Colonnades ⁱⁱⁱ	•	•	•
Galleries	•	•	•
Canopies	•	•	•
Marquees	•	•	•
Signs	•	•	•
Lights	•	•	•
Buildings ^{iv}	•		•

Notes:

- i. May encroach into setbacks up to 6 feet.
- ii. May encroach into setbacks up to 12 feet.
- iii. To within 2 feet of vehicular lanes. A 7-foot minimum clear height shall be maintained, with the exception of columns, piers, and posts. A 5-foot minimum pedestrian clear zone shall also be maintained.
- iv. Conditioned habitable space may encroach into the ROW above an Arcade or Colonnade, with a license agreement and if a 12'-6" height clearance is maintained below.

10. **Signs.** The following sign standards apply to commercial uses:

- One blade sign for each business entrance may be installed perpendicular to the facade. Such a sign shall not exceed 6 square feet and shall clear the sidewalk by 8 feet.
- One band sign may be applied to the facade of each storefront. Such a sign shall not exceed 3 feet in height by any length.
- Signage shall be externally illuminated or neon.



Example of a blade sign.



Example of a band sign.

11. **Prohibited Uses.** The uses listed below, regardless of whether the proposal will be a primary or accessory use, shall be prohibited in this PD:

- Adult Entertainment
- Central Processing Facility for solid waste transfer, materials resource recovery and/or recycling
- Class I, II, III, and IV Composting Facility
- Commercial Amusement, Outdoor
- Commercial Kennels and Animal Husbandry
- Concrete or Asphalt Batching Plant
- Construction and Demolition Debris Disposal Facility
- Container/POD Storage Facility
- Distribution Facilities
- Junk & Wrecked Vehicle Salvage Yard Facility
- Methane Recovery Facility associated with soil removal
- Mineral Extraction & Surface Mining
- Motor Vehicle Impound Lots
- Mover Storage Facility
- Moving Truck & Trailer Rental
- Petroleum (or related products) refining or distributor
- Race Tracks
- Recycling & Salvage Center (except architectural salvage)
- Salvage Motor Vehicle Suction or Pool Facility
- Sanitary Landfill
- Self-Storage Facility
- Shooting Range, Outdoor
- Solid Waste Disposal Facility
- Solid Waste Incinerators
- Truck Stop
- Truck Terminals
- Wind Energy conversion system, large wind farms
- Other uses which create an adverse impact on adjacent properties adjacent to this community (noise, vibration, odor, pollution, etc.).

For a proposed use not listed herein, a warrant may be issued as described elsewhere in these PD Standards.

NO CHANGES

Lot Standards for T4 and T5

The following requirements apply to T4 and T5 only:

1. **Building Entrance.** The primary entrance to a primary building, including multi-family buildings, shall face the primary frontage of that lot. The primary entrance to accessory buildings may face any thoroughfare type.
2. **Landscaping.** Landscaping on private lots is only required at frontages unless noted otherwise and required plantings shall comply with City requirements.
 - **Front Yard Trees.** Front yards of a depth greater than 12 feet require one deciduous tree of a minimum height of 30 feet at maturity and one additional tree for every 18 linear ft. of frontage not occupied by a terrace, stoop, or porch.
 - **Lawn.** Lawn is prohibited at frontages in T5 and SD and in all zones where the lawn area is 6 feet or less in either dimension.
 - **Planting.** Plant material, including ground cover, shall be planted no farther apart than 12 inches.
 - **Artificial Plants.** Artificial plants may not be used to satisfy the requirements herein.
 - **Erosion Control.** Erosion control is required where there is no landscape or hardscape.
 - **Site Perimeter Landscaping Requirement.** There is no site perimeter landscaping requirement.
3. **Parking Lots.** Given the intention of building a compact, walkable, urban community, parking lots shall be located to the interior of blocks and shielded from frontages with buildings and walls. The following requirements also apply:
 - **Connections.** Parking lots on adjacent private lots shall connect to one another.
 - **Surfacing.** Parking lots shall be asphalt, semi-permeable soil pavers, gravel, brick, brick pavers, concrete pavers, asphalt pavers, granite, or concrete, all of which shall be graded and drained to dispose of surface water into appropriate structures.
 - **Light Spillover.** Given the intention of making parking lots as compact as possible and creating shared access from one owner's parking lot to another, parking lot lighting may spill over onto an adjacent parking lot.
 - **Landscaping.** Landscaping in parking lots shall comply with the following requirements: one tree island (of 100 square feet minimum with one 2 inch minimum caliper tree and filled with ground cover) is required for every 10 spaces that are side-by-side. Parking lots of fewer than 50 spaces and parkways of two drive aisles or less in width are exempt from landscaping requirements.
4. **Facades.** Facades shall be built parallel to a rectilinear primary frontage line or to the chord of a curved primary frontage line.
5. **Ground Floor Grading.** At the ground floor, residential and private rooms in lodging uses shall be raised a minimum of 2 feet from the average sidewalk grade at the primary frontage for the purpose of establishing privacy.
6. **Facade Glazing.** Facades shall be glazed with a clear glass in the percentages described below. For buildings with multiple facades, the percentage of glazing shall be calculated separately for each facade.
 - **First-Story Glazing.** A minimum of 30% of the wall area shall be glazed
 - **Upper-Story Glazing.** A maximum of 50% of the wall area above the first story shall be glazed.
 - **Storefront Glazing.** A minimum of 70% of the wall area shall be glazed and shaded by an awning or canopy that extends over the sidewalk.
7. **Pitched Roofs.** Pitched roofs, if provided, shall be symmetrically sloped no less than 4:12, except that roofs for porches and attached sheds may be no less than 2:12.
8. **Flat Roofs.** Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment.
9. **Prohibited Uses.** The uses listed below, regardless of whether in T4 or T5.
 - Automobile Fueling Station
 - Automobile General Repair
 - Automobile and/or Truck Washing Facility
 - Automobile Body Repair Shop
 - Automobile Oil Change, Lube, Light Service
 - Billboards
 - Commercial Stable
 - Drive-through Commercial
 - Nursery
 - Paint Mixing & Spraying Facility
 - Pawn Shop
 - Plastic & Rubber Products Manufacture

NO CHANGES



T4-S: Neighborhood General Zone Small Footprint



a. Lot Dimensions

Lot Width	120 ft. max.
Lot Coverage	80% max.

b. Setbacks: Principal Building

(b.1) Front Setback (Principal)	6 ft. min., 18 ft. max.
(b.2) Front Setback (Secondary)	6 ft. min., 18 ft. max.
(b.3) Side Setback	6 ft. min.
(b.4) Rear Setback	0 ft. min.
Primary Frontage Buildout	80% min.

c. Setbacks: Outbuilding

(c.1) Front Setback (Principal)	min. of 20 ft. + (b.1) min.
(c.2) Front Setback (Secondary)	0 ft. min., 18 ft. max.
(c.3) Side Setback	0 ft.
(c.4) Rear Setback	4 ft. min.

d. Building Height

(d.1) Principal Building	3 stories max.
(d.2) Outbuilding	2½ stories max.

e. Private Frontages

Common Lawn	not permitted
Porch	permitted
Terrace and Light Court	permitted
Forecourt	permitted
Stoop	permitted
Storefront and Awning	permitted
Gallery	permitted
Arcade or Colonnade	not permitted

f. Building Uses

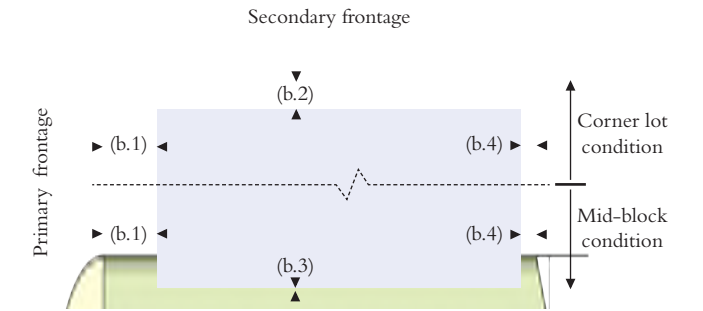
Additional uses may be approved by warrant.

Residential	Limited Residential: Up to 6 dwelling units and additionally 2 accessory dwelling units are permitted on each lot.
Lodging	Limited Lodging: The number of bedrooms available for lodging shall be limited to 16. Breakfast may be provided to overnight guests before noon each day.
Office	Limited Office: The area available for office use shall be limited to the first story of the principal building or to an outbuilding. Home occupation is permitted.
Retail	Limited Retail: The area available for retail use shall be limited to the first story on corner lots. The specific use shall be further limited to neighborhood store or food service seating no more than 30.
Manufacturing	Limited Manufacturing: Manufacturing uses shall be limited to the first story on corner lots. (e.g. home workshop, artist studio, woodcraft, furniture refinishing, bicycle repair).
Civic	Open Civic: Civic uses are permitted in any transect zone, but shall be of a scale that limits the adverse impacts to neighbors at most times.

The following requirements apply to all lots in T4-S.

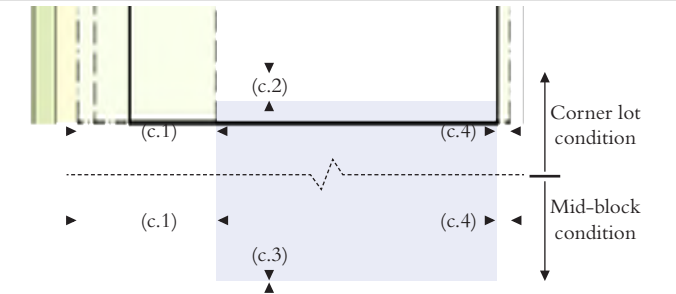
b. Setbacks: Principal Building

- The Principal Building shall be distanced from the lot lines as shown.
- Facades shall be built along the primary frontage to the specified primary frontage buildout percentage (measured as a percentage of the lot width). The primary frontage buildout requirement does not apply at secondary frontages.



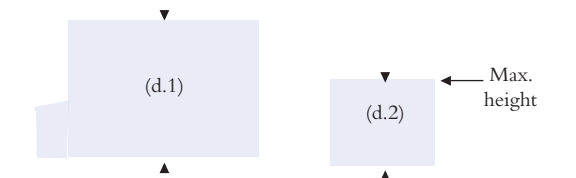
c. Setbacks: Outbuilding

- The outbuilding shall be distanced from the lot lines as shown.



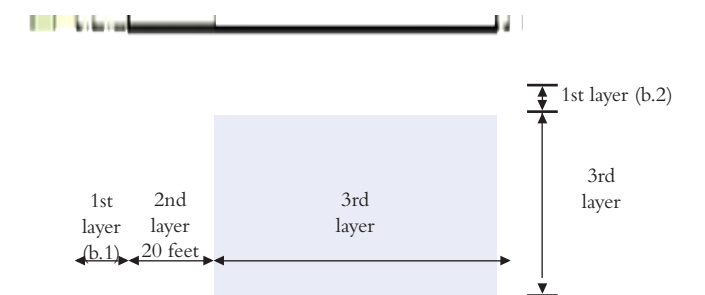
d. Building Height

- Building height shall be measured in number of stories, excluding attics and raised basements.
- Ground-floor habitable rooms at frontages shall be 10' min. floor-to-ceiling.
- Upper-story habitable rooms at frontages shall be 9' min. floor-to-ceiling.
- Exemptions from height limits include: civic structures and monuments, turrets, towers, cupolas, chimneys, flag poles, and necessary mechanical appurtenances.



Parking Placement

- Parking (whether open, covered, or enclosed) shall only be provided within the third layer. Garages are permitted within liner buildings in the second layer, and may be permitted elsewhere in the first or second layer by warrant.
- Parking shall be accessed by a rear lane when such are provided.



NO CHANGES



T4-L: Neighborhood General Zone Large Footprint



a. Lot Dimensions

Lot Width	1 block max.
Lot Coverage	100% max.

b. Setbacks: Principal Building

(b.1) Front Setback (Principal)	6 ft. min., 18 ft. max.
(b.2) Front Setback (Secondary)	6 ft. min., 18 ft. max.
(b.3) Side Setback	6 ft. min.
(b.4) Rear Setback	0 ft. min.
Primary Frontage Buildout	80% min.

c. Setbacks: Outbuilding

(c.1) Front Setback (Principal)	min. of 20 ft. + (b.1) min.
(c.2) Front Setback (Secondary)	0 ft. min., 18 ft. max.
(c.3) Side Setback	0 ft.
(c.4) Rear Setback	4 ft. min.

d. Building Height

(d.1) Principal Building	3 stories max.
(d.2) Outbuilding	2½ stories max.

e. Private Frontages

Common Lawn	not permitted
Porch	permitted
Terrace and Light Court	permitted
Forecourt	permitted
Stoop	permitted
Storefront and Awning	permitted
Gallery	permitted
Arcade or Colonnade	not permitted

f. Building Uses

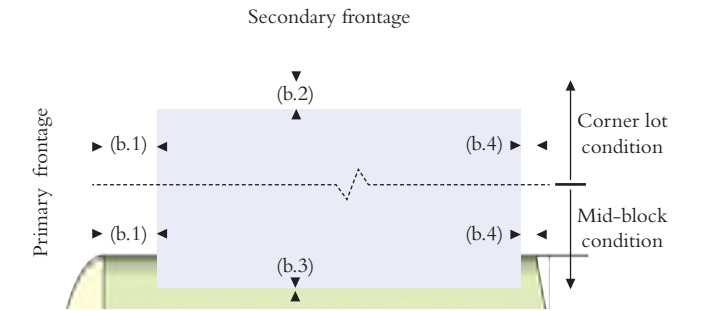
Additional uses may be approved by warrant.

Residential	Open Residential: There shall be no maximum number of dwelling units for a lot.
Lodging	Open Lodging: There shall be no maximum number of rooms for a lot. Food service may be provided at all times. The maximum length of a stay shall not exceed 90 days.
Office	Open Office: Office uses are permitted.
Retail	Limited Retail: The area available for retail use shall be limited to the first story on corner lots. The specific use shall be further limited to neighborhood store or food service seating no more than 30.
Manufacturing	Limited Manufacturing: Manufacturing uses shall be limited to the first story on corner lots. (e.g. home workshop, artist studio, woodcraft, furniture refinishing, bicycle repair).
Civic	Open Civic: Civic uses are permitted in any transect zone, but shall be of a scale that limits the adverse impacts to neighbors at most times.

The following requirements apply to all lots in T4-L.

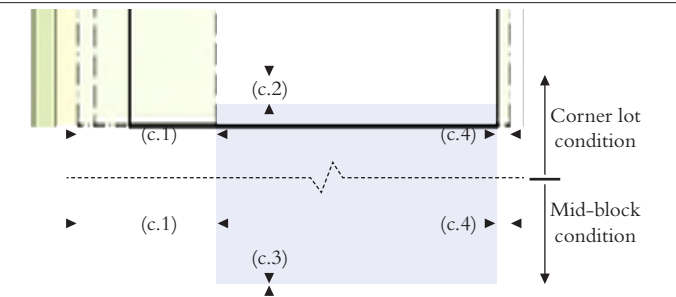
b. Setbacks: Principal Building

- The Principal Building shall be distanced from the lot lines as shown.
- Facades shall be built along the primary frontage to the specified primary frontage buildout percentage (measured as a percentage of the lot width). The primary frontage buildout requirement does not apply at secondary frontages.



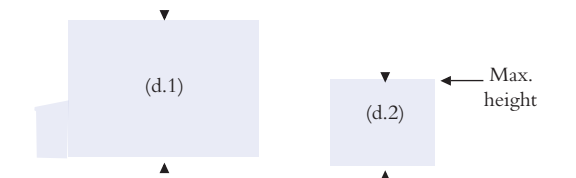
c. Setbacks: Outbuilding

- The outbuilding shall be distanced from the lot lines as shown.



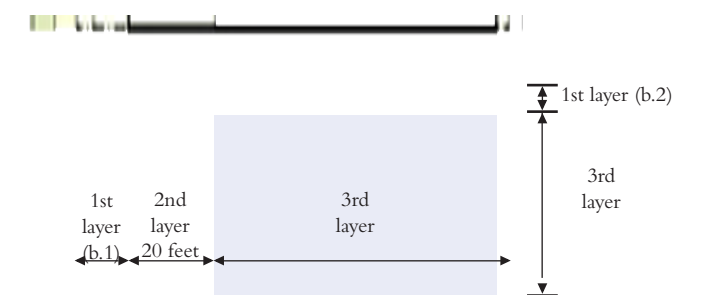
d. Building Height

- Building height shall be measured in number of stories, excluding attics and raised basements.
- Ground-floor habitable rooms at frontages shall be 10' min. floor-to-ceiling.
- Upper-story habitable rooms at frontages shall be 9' min. floor-to-ceiling.
- Exemptions from height limits include: civic structures and monuments, turrets, towers, cupolas, chimneys, flag poles, and necessary mechanical appurtenances.



Parking Placement

- Parking (whether open, covered, or enclosed) shall only be provided within the third layer. Garages are permitted within liner buildings in the second layer, and may be permitted elsewhere in the first or second layer by warrant.
- Parking shall be accessed by a rear lane when such are provided.



NO CHANGES

T5: Neighborhood Center Zone



a. Lot Dimensions

Lot Width	180 ft. max.
Lot Coverage	95% max.

b. Setbacks: Principal Building

(b.1) Front Setback (Principal)	0 ft. min., 12 ft. max.
(b.2) Front Setback (Secondary)	0 ft. min., 12 ft. max.
(b.3) Side Setback	0 ft. min.
(b.4) Rear Setback	4 ft. min.
Primary Frontage Buildout	90% min.

c. Setbacks: Outbuilding

(c.1) Front Setback (Principal)	40 ft. max. from rear prop.
(c.2) Front Setback (Secondary)	0 ft. min., 12 ft. max.
(c.3) Side Setback	0 ft.
(c.4) Rear Setback	0 ft. min.

d. Building Height

(d.1) Principal Building	5 Stories max.
(d.2) Outbuilding	2 ½ Stories max.

e. Private Frontages

Common Lawn	not permitted
Porch	not permitted
Terrace and Light Court	not permitted
Forecourt	not permitted
Stoop	permitted
Storefront and Awning	permitted
Gallery	permitted
Arcade or Colonnade	permitted

f. Building Uses

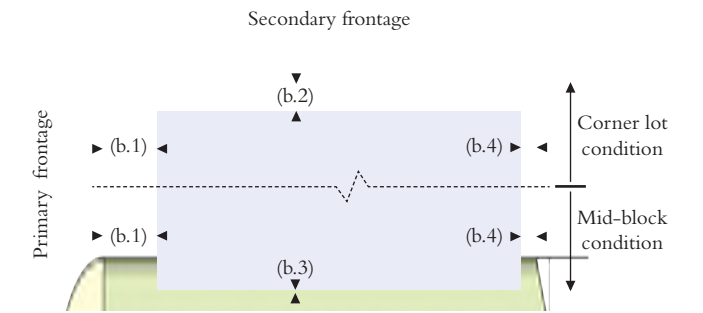
Additional uses may be approved by warrant.

Residential	Open Residential: There shall be no maximum number of dwelling units for a lot.
Lodging	Open Lodging: There shall be no maximum number of rooms for a lot. Food service may be provided at all times. The maximum length of a stay shall not exceed 90 days.
Office	Open Office: Office uses are permitted.
Retail	Open Retail: Retail uses are permitted.
Manufacturing	Open Manufacturing: Manufacturing uses are permitted (e.g. home workshop, artist studio, woodcraft, furniture refinishing, bicycle repair). Artifacts shall not be stored where visible from frontages.
Civic	Open Civic: Civic uses are permitted in any transect zone, but shall be of a scale that limits the adverse impacts to neighbors at most times.

The following requirements apply to all lots in T5.

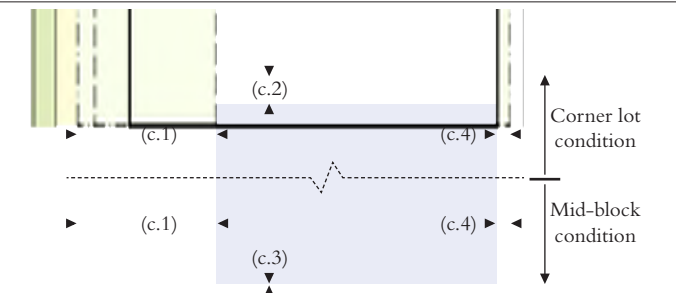
b. Setbacks: Principal Building

- The Principal Building shall be distanced from the lot lines as shown.
- Facades shall be built along the primary frontage to the specified primary frontage buildout percentage (measured as a percentage of the lot width). The primary frontage buildout requirement does not apply at secondary frontages.



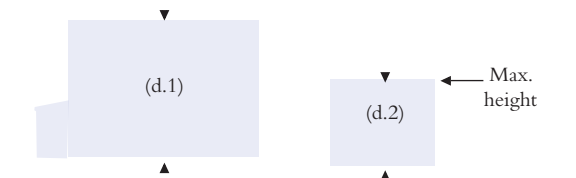
c. Setbacks: Outbuilding

- The outbuilding shall be distanced from the lot lines as shown.



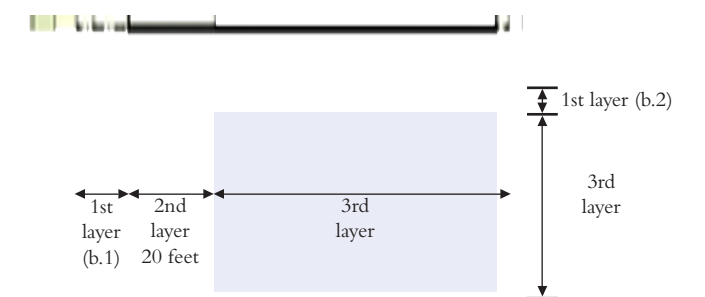
d. Building Height

- Building height shall be measured in number of stories, excluding attics and raised basements.
- Ground-floor habitable rooms at frontages shall be 10' min. floor-to-ceiling.
- Upper-story habitable rooms at frontages shall be 9' min. floor-to-ceiling.
- Exemptions from height limits include: civic structures and monuments, turrets, towers, cupolas, chimneys, flag poles, and necessary mechanical appurtenances.



Parking Placement

- Parking (whether open, covered, or enclosed) shall only be provided within the third layer. Garages are permitted within liner buildings in the second layer, and may be permitted elsewhere in the first or second layer by warrant.
- Parking shall be accessed by a rear lane when such are provided.



NO CHANGES



The following standards apply to all lots within a Special District (SD) Zone:

1. **Intent.** The intent of the Special District is to provide an expanded range of commercial uses in a form that may prioritize automobiles, while remaining integrated with the pedestrian-oriented neighborhood. Buildings within the Special District shall be easily accessible to pedestrians, bicyclists, and automobiles from the adjoining neighborhood. At the same time, the Special District is intended to allow commercial uses that draw on the patronage of those from the greater region through vehicular access from Carlos G Parker Boulevard and FM 973.
2. **Uses Permitted.** All allowable land uses within T5 are permitted, with the exception of all residential uses.
 - Nursery
 - Automobile Fueling Station
 - Automobile and/or Truck Washing Facility
 - Convenience Store
 - Similar Uses: for a proposed use not listed herein, a warrant or variance may be issued.
3. **Rezoning.** Any property zoned as Special District may be rezoned to T5 by warrant.
4. **Access.** Pedestrian access from within the neighborhood shall be provided to the primary entrance of all buildings in the Special District through a combination of sidewalks, crosswalks, and pathways, all with a minimum clear width of 5 feet.
5. **Building Entrance.** For a lot fully or partially within the Special District for which a primary frontage is noted on the Regulating Plan, the primary entrance to a building on that lot shall face the primary frontage. This entrance shall remain unlocked whenever the business is open.
6. **Utilities.** Utilities shall be located within thoroughfares as consistent with the Thoroughfare Plan, including only those parking lot drive aisles labeled as alleys.
7. **Signage.** In addition to the sign types permitted in these PD Standards, signs permitted for the base zoning district shall also be permitted and shall not be counted towards the limits on the quantity of signs in these PD Standards.
8. **Site Perimeter Landscaping.** Landscaping shall comply with the requirements of the base zoning district where the Special District meets an edge of the site.

NO CHANGES



Accessory Dwelling Unit: A dwelling unit sharing ownership and utility connections with a Primary Building.

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Apartment: a Residential unit sharing a building and a Lot with other units and/or uses; may be for rent, or for sale as a condominium.

Attic: the interior part of a building contained within a pitched roof structure.

Backbuilding: a single-story structure, open or enclosed, connecting a Primary Building to an Outbuilding.

Band Sign: a band of lettering across the entire width of a building or storefront.

Blade Sign: a two-sided sign board hung from a projecting element at 90 degrees to the building facade.

Block: the aggregate of private Lots, Secondary Thoroughfares, and Parking Lots, circumscribed by Primary Thoroughfares.

Civic: Organizations dedicated to arts and culture, education (including schools), government, recreation, religion, social service, transit, as well as cemeteries, municipal parking, post offices, wedding chapels and the like.

Civic Building: a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their Enfronting buildings.

Commercial: the term collectively including Lodging, Office, and Retail Uses.

Common Lawn: *See Definitions: Illustrated.*

Curb: the edge of the vehicular pavement that may be raised or flush. It usually incorporates the drainage system.

Dwelling Unit: one or more rooms used, or intended to be used for occupancy by one person or a group of persons living together as a family. Each installation of kitchen facilities consisting of at least a stove or cooking device and a sink shall be a separate dwelling unit.

Effective Turning Radius: *See Definitions: Illustrated.*

Elevation: *See Definitions: Illustrated.*

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Enfront: to place an element along a Frontage, as in “porches Enfront the street.”

Facade: *See Definitions: Illustrated.*

Frontage: *See Definitions: Illustrated.*

Frontage Line: *See Definitions: Illustrated.*

Frontage Buildout: That portion of a setback line which shall have a building facade on it.

Gallery: *See Definitions: Illustrated.*

Green: *See Civic Space Types.*

Home Occupation: non-retail commercial operation and/or remote work which takes place in a residence.

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

Live-Work: a Mixed Use unit consisting of a Commercial and Residential Use. The Commercial Use may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry. (Syn. flexhouse.)

Lodging: Premises available for short-term human habitation, including daily and weekly rental.

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Lot Coverage: the maximum area of a lot that may be occupied by a structure. Lot coverage is expressed as a ratio. Arcades, open porches, decks, terraces, and stoops are excluded from the calculation

Lot Layer: a range of depth of a Lot within which certain elements are permitted. *See Definitions: Illustrated.*

Lot Line: *See 17.*

Lot Width: the length of the Primary Frontage Line of a Lot.

Manufacturing: Premises available for the creation, assemblage, and/or repair of artifacts including their retail sale except when such activity creates adverse impacts.

Office: Premises available for the transaction of general business including medical and dental offices, clinics and outpatient facilities, but excluding retail sales and manufacturing.

Outbuilding: a building, usually located toward the rear of the same Lot as a Primary Building, and sometimes connected to the Primary Building by a Backbuilding. *See Definitions: Illustrated.*

Park: *See Civic Space Types.*

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT): a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

Pavement Radius: *See Definitions: Illustrated.*

Planter: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

Plaza: *See Civic Space Types.*

Primary Building: the main building on a Lot, usually located toward the Frontage. *See Definitions: Illustrated.*

Primary Entrance: the main point of access for pedestrians into a building.

Primary Frontage: *See Definitions: Illustrated. See Frontage.*

Private Frontage: *See Definitions: Illustrated. See Frontage.*

Public Frontage: *See Definitions: Illustrated. See Frontage.*

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys are typically paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

Regulating Plan: a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

Residential: Premises available for long-term human habitation by means of ownership or rental for more than 30 days.

Retail: Premises available for the commercial sale of merchandise, services, and prepared foods (including restaurants), but excluding manufacturing.

Right-of-Way (ROW): *See Definitions: Illustrated.*

Road (RD): a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3).

Scrivener's Error: an unintentional mistake in the drafting of these PD Standards.

Secondary Frontage: *See Definitions: Illustrated. See Frontage.*

Setback: the area of a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments listed on the Lot Standards. *See Definitions: Illustrated.*

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Square: *See Civic Space Types.*

Stoop: *See Definitions: Illustrated.*

Storefront: a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade.

Story: a habitable level within a building, excluding an Attic or raised basement.

Street (ST): a local urban Thoroughfare of low speed and capacity.

T-zone: *See Transect Zone.*

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage. *See Definitions: Illustrated.*

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the SmartCode template is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

Transect Zone: One of several areas on a Zoning Map regulated by the SmartCode. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage. (syn. T-zone)

Turning Radius: the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. *See Definitions: Illustrated.*

Use: the function or functions accommodated by a building and its Lot, categorized as Restricted, Limited, or Open, according to the intensity of the use.

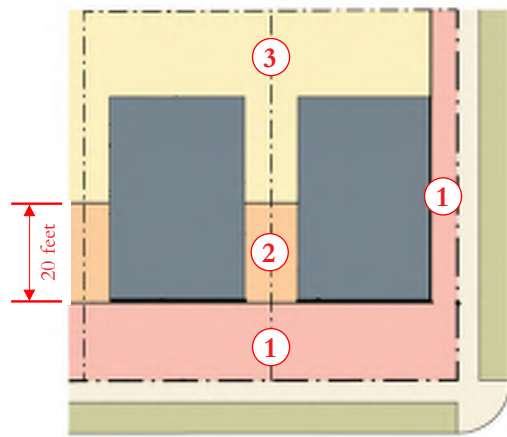
Variance: a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of these PD Standards. Variances are granted by the Zoning Board of Adjustment in a public hearing.

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of these PD Standards, but that is justified by its Intent. Warrants are granted administratively. .

NO CHANGES

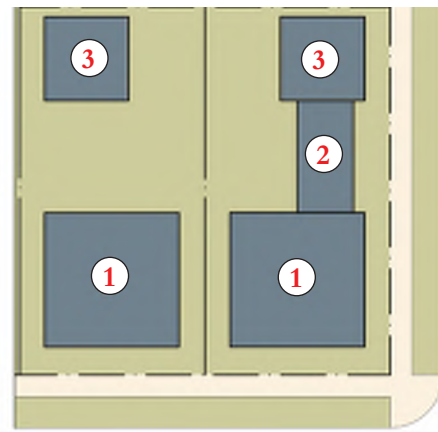


Lot Layers



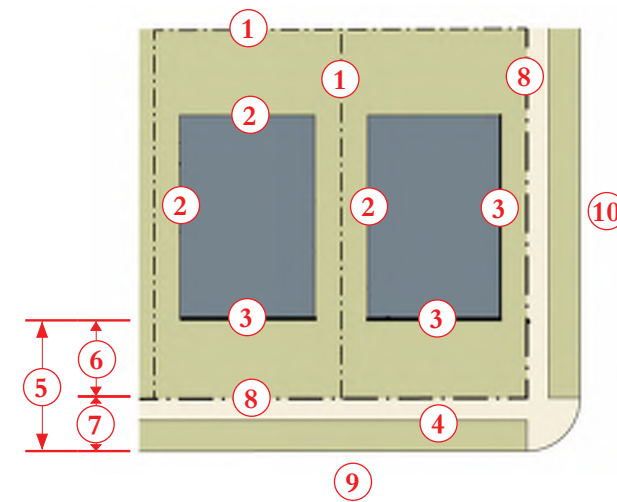
- ① 1st Layer
- ② 2nd Layer
- ③ 3rd Layer

Principle Building & Outbuilding



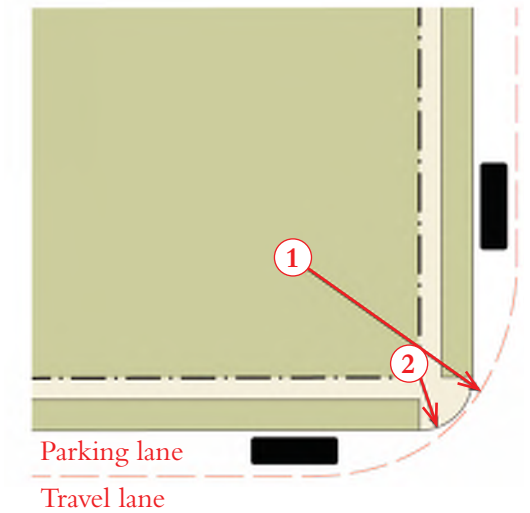
- ① Primary Building
- ② Backbuilding
- ③ Outbuilding

Frontage & Lot Lines



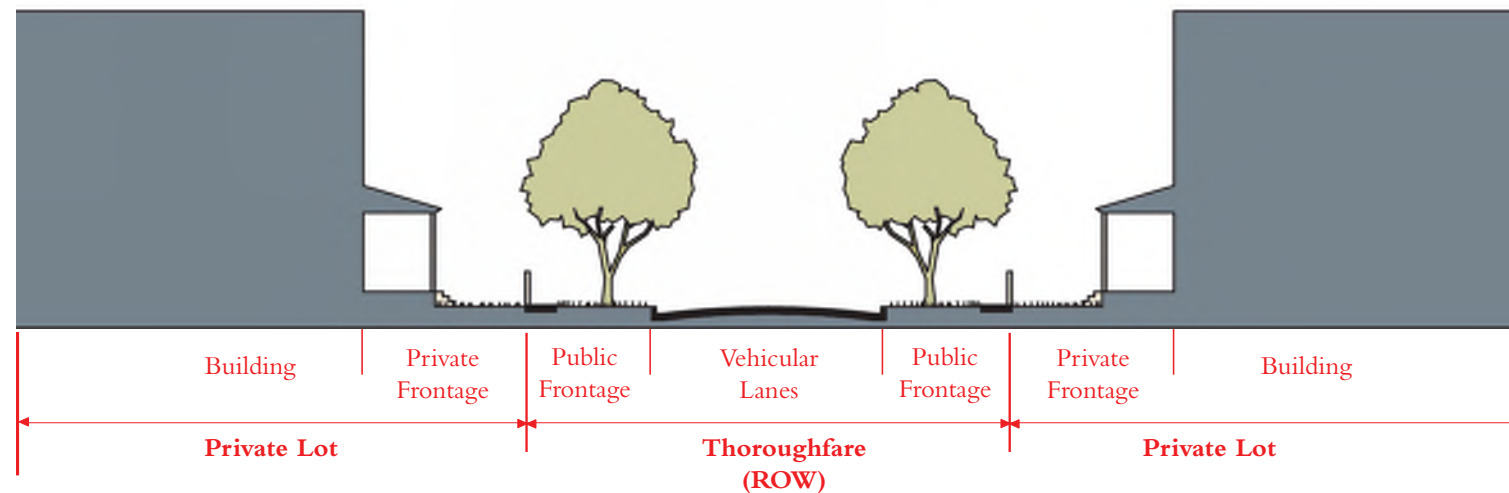
- ① **Lot Line:** the boundary that legally and geometrically demarcates a lot.
- ② **Elevation:** an exterior wall of a building not facing a frontage line.
- ③ **Facade:** the exterior wall(s) of a building that is (are) set along a frontage line. Facades face frontage lines and define the public realm, and are therefore more regulated than the elevations facing other lot lines.
- ④ **Right-of-Way (ROW):** the composite public area dedicated to circulation, including the vehicular way and the streetscape.
- ⑤ **Frontage:** the area between a building facade and a thoroughfare or civic space, inclusive of its various built and planted components. Frontage is divided into private frontage and public frontage.
- ⑥ **Private Frontage:** the privately held Layer between the Frontage Line and the Primary Building Facade.
- ⑦ **Public Frontage:** the area between the Curb of the vehicular lanes and the Frontage Line.
- ⑧ **Frontage Line:** the line between the public and private frontage, (primary or secondary). The frontage line is coincident with the property line(s), at frontages.
- ⑨ **Primary Frontage:** on lots with multiple frontages, the frontage which will bear the address and primary entrance to the building.
- ⑩ **Secondary Frontage:** on lots with multiple frontages, the frontage(s) that are not the primary frontage.

Turning Radius



- ① **Effective Turning Radius:** the measurement of the inside turning radius taking parked cars into account.
- ② **Pavement Radius:** the curved edge of a vehicular lane at an intersection, measured at the inside edge of the travel lane if there is no on-street parking, or the parking lane if there is. The smaller the pavement radius, the more slowly the vehicle is forced to make the turn.

Thoroughfare & Frontages

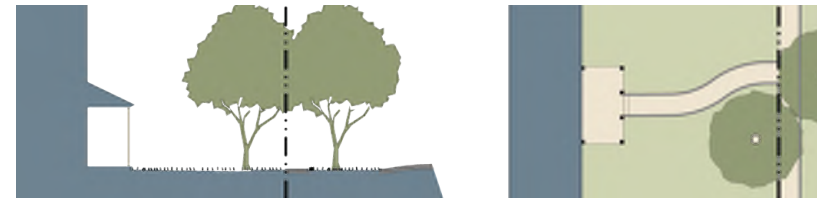


NO CHANGES



Private Frontages

Common Lawn: a facade set back substantially from the frontage line. The front yard should remain unfenced and be visually continuous with adjacent front yards. The intention is to emulate the character of buildings sitting in a common rural landscape. A front porch is encouraged but not required, as social interaction from the sidewalk is unlikely at such a distance.



Porch: a facade is set back from the frontage line with a front porch. The porch should be within a conversational distance of the sidewalk. Hedges, fences, or garden walls at the frontage line are encouraged to define the front yard. A great variety of porches is possible, but to be useful, none should be less than 6 ft deep.



Terrace and Light Court: a facade is set back from the frontage line with an elevated garden or terrace, or a sunken light court. This type can effectively buffer residential uses from the sidewalk, by creating an elevated front garden. The terrace created may also be suitable for restaurants and cafes, as the eye of the sitter is level with that of the standing passerby. The light court can give light and access to a basement.



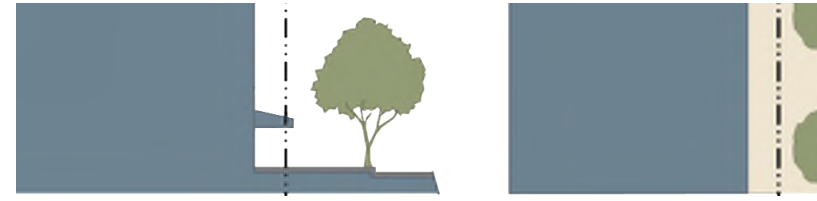
Forecourt: a facade is aligned close to the frontage line with a portion of it set back. The forecourt created is suitable for a garden or plaza, providing a transition from the public sidewalk to the building entry. This type should be used sparingly. Trees within the forecourts should be placed to have their canopies overhanging the sidewalks.



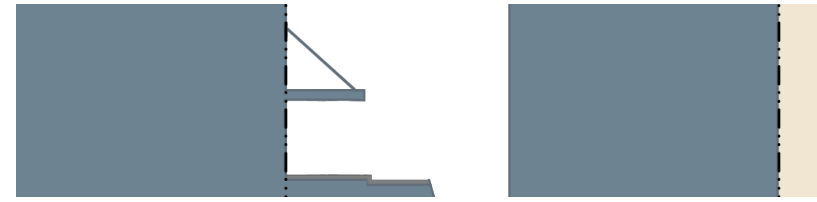
Stoop: a facade is aligned close to the frontage line with the ground story elevated from the sidewalk, securing privacy for the windows. This type is suitable for buildings with ground-floor residential uses, such as townhouses and apartment buildings. This type may be interspersed with the storefront.



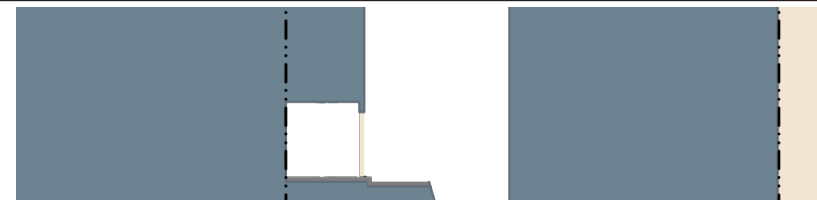
Storefront and Awning: a facade is aligned close to the frontage line with the entrance at sidewalk grade. This type is conventional for retail frontage. It is commonly equipped with a cantilevered shed roof or an awning. The absence of a raised ground story generally precludes residential uses on the ground floor, although residential uses may be present where retail is anticipated in the future.



Gallery: a roof extends over the sidewalk above while the building facade remains at the frontage line. This type is most common for office, retail, and manufacturing uses. To be useful, the gallery should be no less than 12 feet deep and should overlap the sidewalk to within 2 feet of a vehicular lane so that a pedestrian cannot bypass it.



Arcade or Colonnade: An arcade (arches) or colonnade (columns and beams) is a structure including habitable space extending over a sidewalk supported by arches and open to the adjacent street or civic space. The ground story remains at the frontage line while the facade of the upper stories overlaps the sidewalk. This type is most common for office, retail, and manufacturing uses.



NO CHANGES

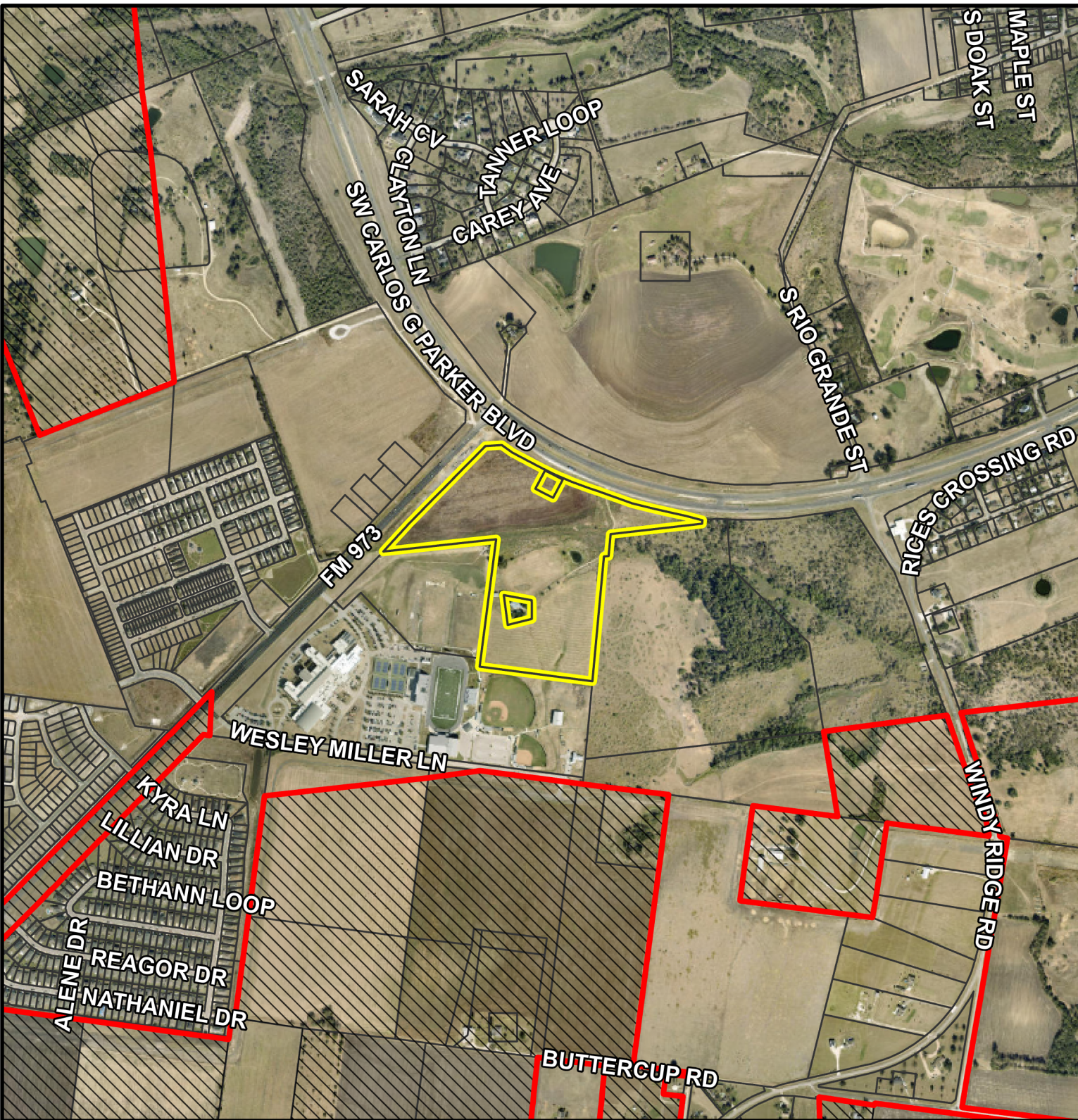
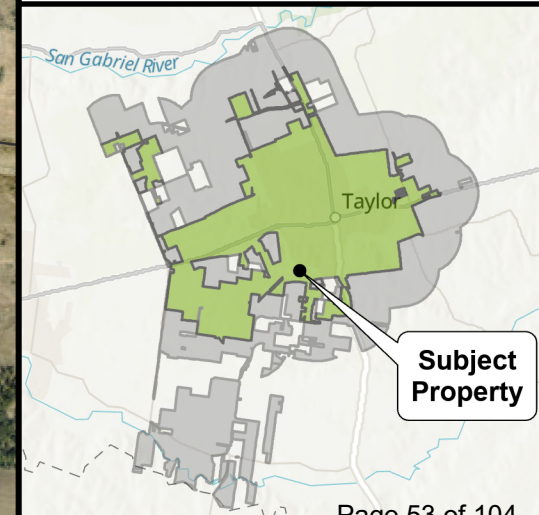
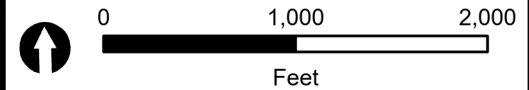




PZ-2025-2636

505 Carlos G Parker Blvd. SW
Special Use Permit
Location Map
Approximately 38 acres

- Subject Property
- City Limits
- ETJ Boundary
- Parcel Boundary

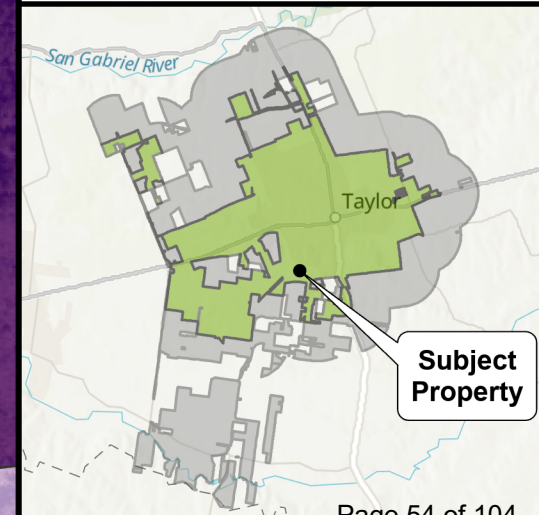
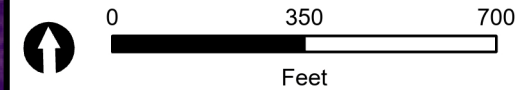




PZ-2025-2636

505 Carlos G Parker Blvd. SW
Special Use Permit
Growth Sector Map
Approximately 38 acres

- Subject Property
- Parcel Boundary
- Growth Sector**
 - Reserved Open Sector (O-2)
 - Future Growth Sector (G-1)
 - Controlled Growth Sector Tier II (G-2.2)
 - Intended Growth Sector (G-3)
 - Infill Neighborhood Sector (G-4)





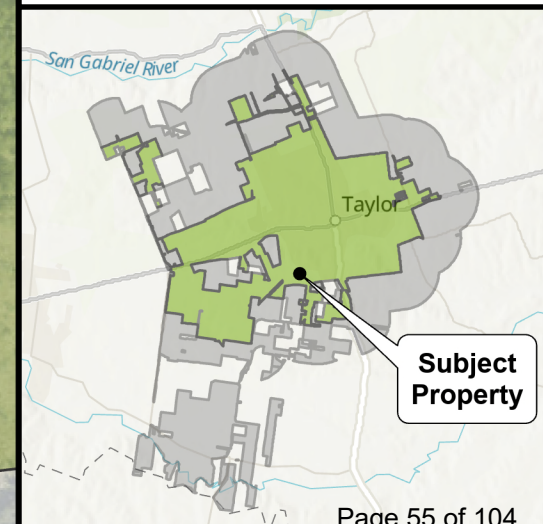
PZ-2025-2636

505 Carlos G Parker Blvd. SW
Special Use Permit
Future Land Use Map
Approximately 38 acres

- Subject Property
- Parcel Boundary

Future Land Use

- Area of Minimal Change
- Neighborhood Greenfield
- Civic: Community
- Market: Community
- Open Space



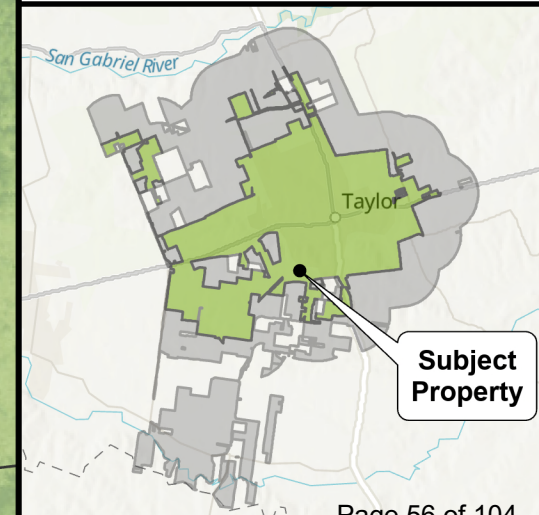
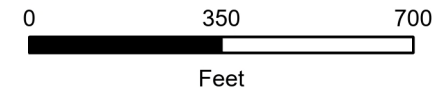
Subject Property



PZ-2025-2636

505 Carlos G Parker Blvd. SW
Special Use Permit
Current Zoning Map
Approximately 38 acres

- Subject Property
- Parcel Boundary
- Overlay Zoning**
 - Planned Development Overlay
 - P1: Nature
- Place Type Zoning**
 - P2: Rural
 - P5: Urban Center
 - EC: Employment Center
 - CS: Civic Space

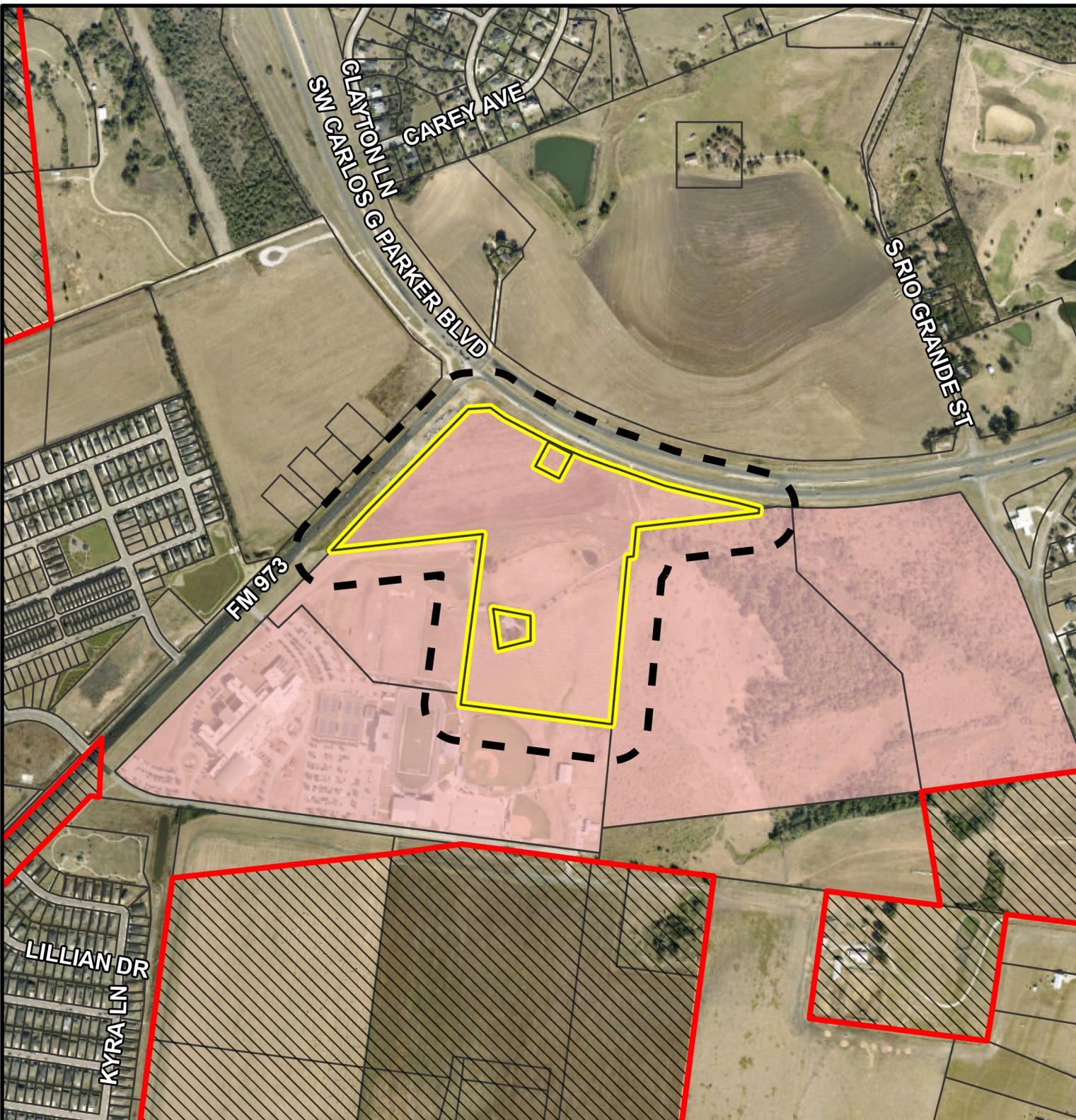
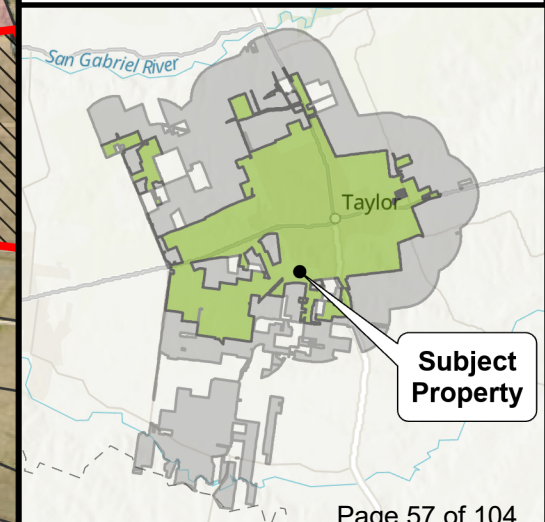
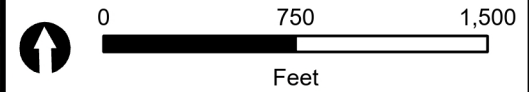




PZ-2025-2636

505 Carlos G Parker Blvd. SW
Special Use Permit
Notification Map
Approximately 38 acres

- Subject Property
- 200-ft. Buffer
- City Limits
- ETJ Boundary
- Parcel Boundary
- Notified Properties



ORDINANCE NO. 2026-00

AN ORDINANCE APPROVING A SPECIFIC USE PERMIT FOR 326 MULTIFAMILY RESIDENTIAL DWELLINGS GENERALLY LOCATED AT 505 SW CARLOS G PARKER BLVD, MORE PARTICULARLY DESCRIBED BY THE WILLIAMSON CENTRAL DISTRICT PARCEL'S R019657, R020063 AND R331030, TAYLOR, WILLIAMSON COUNTY, TEXAS, TO SHOW THE SPECIFIC USE PERMIT APPROVED HEREIN; PROVIDING A SAVINGS CLAUSE.

WHEREAS, the Taylor City Council conducted a public hearing on February 26th, 2026, to consider the request made by the applicant, whose property is legally described in Exhibit "A" attached hereto and incorporated by reference herein for all purposes ("Property"), to request a Specific Use Permit for a 326 Multifamily Residential Dwellings, which is a use required to obtain a Specific Use Permit to grant approval within the P5 place type; and

WHEREAS, the Planning and Zoning Commission, after proper notice, conducted a public hearing on February 10th, 2026, to consider the zoning request, and recommended approval of the zoning change to the City Council; and

WHEREAS, the City Council, after the public hearing, approves the request for the Property zoning change.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAYLOR, TEXAS, that:

SECTION 1. The facts and recitations contained in the preamble of this Ordinance are hereby declared to be true and correct and are incorporated by reference herein and made a part hereof, as if copied verbatim.

SECTION 2. The 505 SW Carlos G Parker Blvd is approved for a Specific Use Permit for 326 Multifamily Residential Dwellings.

SECTION 3. The Official Zoning map of the City of Taylor, Texas, is changed to show the Specific Use Permit for the Property as shown in Exhibit "B" attached hereto for all purposes.

SECTION 4. All other terms and conditions contained in the official zoning map, except as amended herein, shall continue and remain in full force and effect.

SECTION 5. Should any section, paragraph, clause, phrase, or provision of this Ordinance be adjudged invalid or held unconstitutional, the same shall not affect the validity of this Ordinance as a whole or any part of the provisions thereof, other than the part so decided to be invalid or unconstitutional.

SECTION 6. In accordance with Article VIII of the City Charter, Ordinance 2026-00 was introduced before the Taylor City Council on the 26th day of February 2026.

PASSED, APPROVED, and ADOPTED on the _____ day of _____, 2026.

Dwayne Ariliola, Mayor

ATTEST:

Lucy Aldrich, City Clerk

APPROVED AS TO FORM:

Mark Schroeder,
City Attorney

CERTIFICATE

THE STATE OF TEXAS

COUNTY OF WILLIAMSON

I, Lucy Aldrich, being the current City Clerk of the City of Taylor, Texas, do hereby certify that the attached is a true and correct copy of Ordinance No. 2026-00, passed and approved by the City Council of the City of Taylor, Texas, on the _____ day of _____ 2026, and such Ordinance was duly introduced, passed, approved and adopted at meetings open to the public and notices of the meetings, giving the dates, places, and subject matter thereof, were posted as prescribed by Government Code Section 551.043.

Witness my hand and seal of office this _____ day of _____ 2026.

Lucy Aldrich
City Clerk

EXHIBIT A
(Legal Description/Survey)

We are requesting zoning change of AWT0131 Coursey, P. Sur., Block 317, Tract 12, Acres .15 in Williamson County, Texas. Located Scott st. from its current zoning P4 MIX to P3M Manufacturing Housing to place a mobile home there instead of building something. Building a house or another type structure does not make much sense, since the railroad track are just across the street and the ground is always shaking and vibration when the train drives by. the foundation on any structure won't last and eventually will move and crack over time, making it a really expensive fix on the structure. the mobile makes more sense because it is cheaper, easier and faster to just level it over the years.

Doing the rezoning won't affect anything, since the neighborhood is a residential zone already, filled with more mobile homes sitting on the street along with a couple of other old homes. The lot used to have another house sitting on it, but was either demolished or burned down. The utilities for it are already on the ground and will not be a burden on the city or neighborhood.

This rezoning will still go along with the city's plan to have more residential places for all the people moving into town to work for Samsung. That will mean more money being spend and kept within the city.

We would really appreciate if the zoning change was permitted and if you have any questions or concerns, please don't hesitate to reach out. Thanks for your time.

Maria Salud Tierrablanca Cano

1103 Scott St

Taylor, TX 76574

November 21, 2025

Development Services Department

400 Porter St.

Taylor, TX 76574

RE: Rezoning letter of intent

Proposed P3M

Location: 1025 Scott St. Taylor Tx 76574

Existing Zoning: P4 MIX

Proposed Zoning: P3M(Manufactured Housing)



To Whom it May Concern,

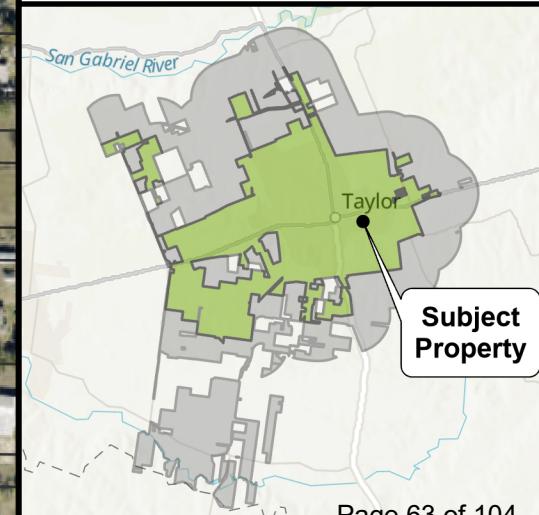
We are requesting zoning change of AWT0131 Coursey, P. Sur., Block 317, Tract 12, Acres .15 in



PZ-2025-2637

1025 Scott St.
Place Type Amendment
Location Map
Approximately 0.2 acres





-  Subject Property
-  Parcel Boundary

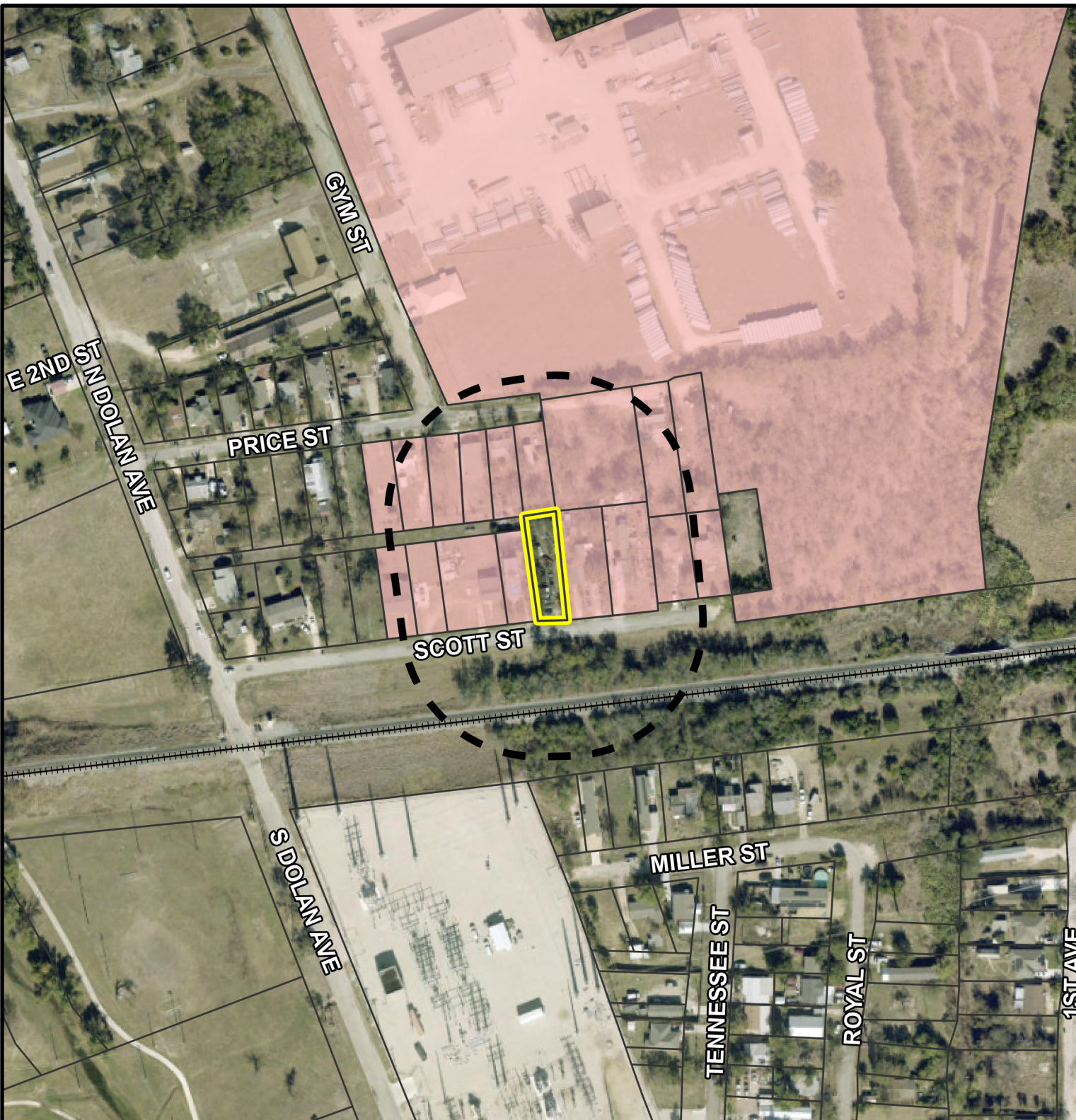
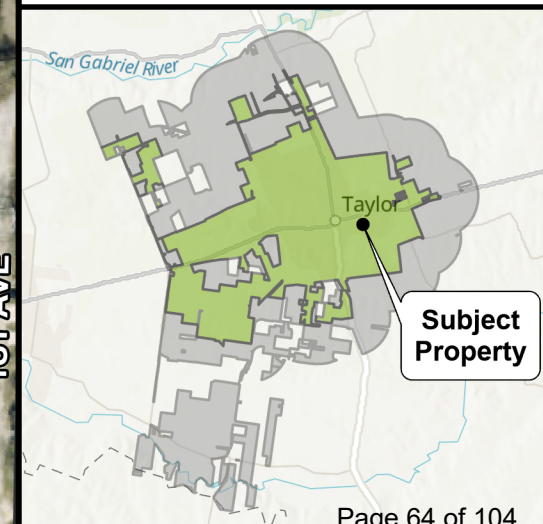




PZ-2025-2637

**1025 Scott St.
Place Type Amendment
Notification Map
Approximately 0.2 acres**




-  Subject Property
-  200-ft. Buffer
-  Parcel Boundary
-  Notified Properties

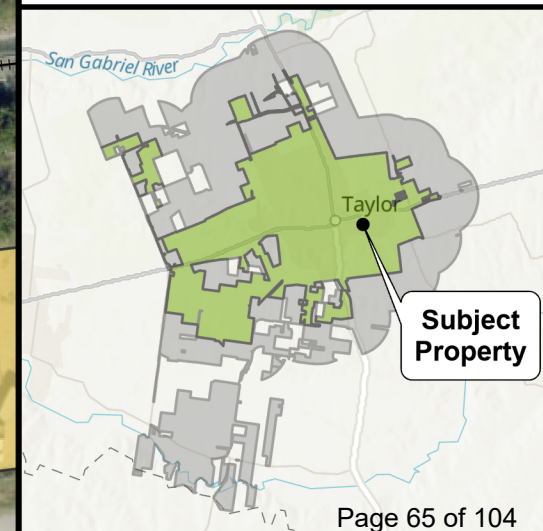
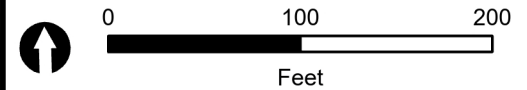




PZ-2025-2637

**1025 Scott St.
Place Type Amendment
Future Land Use Map
Approximately 0.2 acres**




-  Subject Property
-  Parcel Boundary
- Future Land Use**
 -  Neighborhood Infill

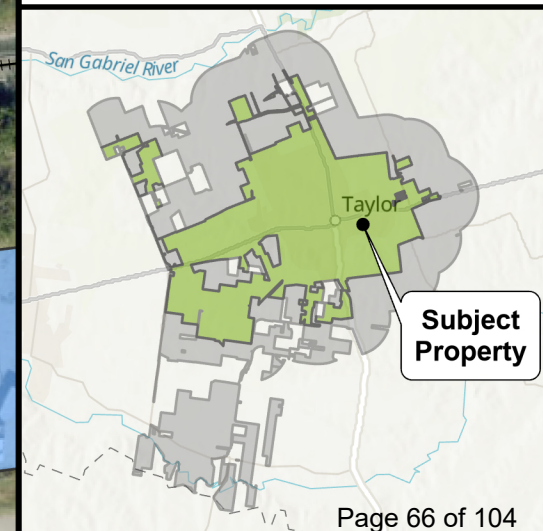
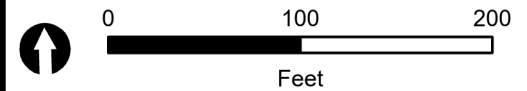




PZ-2025-2637

**1025 Scott St.
Place Type Amendment
Growth Sector Map
Approximately 0.2 acres**

-  Subject Property
-  Parcel Boundary
- Growth Sector**
 -  Infill Neighborhood Sector (G-4)

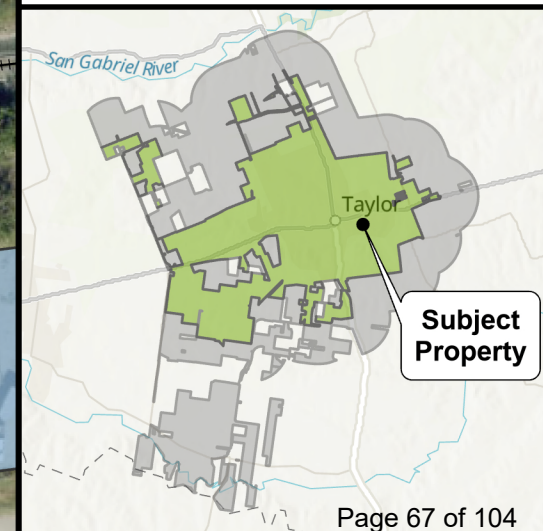




PZ-2025-2637

**1025 Scott St.
Place Type Amendment
Current Zoning Map
Approximately 0.2 acres**

- Subject Property
- Parcel Boundary
- Place Type Zoning**
 - P3: Neighborhood
 - P3M: Manufactured Housing
 - P4: Mix
 - CS: Civic Space



ORDINANCE NO. 2026-XX

AN ORDINANCE CHANGING THE PLACE TYPE ZONING OF PROPERTY LOCATED AT 1025 SCOTT STREET FROM P4 – MIX TO P3M – MANUFACTURED HOUSING, AMENDING THE OFFICIAL PLACE TYPE ZONING MAP OF THE CITY OF TAYLOR, TEXAS, TO SHOW THE PLACE TYPE ZONING CHANGE ADOPTED HEREIN; PROVIDING A SAVINGS CLAUSE.

WHEREAS, the Taylor City Council conducted a public hearing on February 26th, 2026, to consider the request made by the applicant, whose property is legally described in Exhibit “A” the Place Type Change Form attached hereto and incorporated by reference herein for all purposes (“Property”), to change the place type zoning as described above; and

WHEREAS, the Planning and Zoning Commission, after proper notice, conducted a public hearing on February 10, 2026, to consider the place type zoning change request, and recommended approval of the place type zoning change to the City Council; and

WHEREAS, the City Council, after the public hearing, approves the request for the Property zoning change.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAYLOR, TEXAS, that:

SECTION 1. The facts and recitations contained in the preamble of this Ordinance are hereby declared to be true and correct and are incorporated by reference herein and made a part hereof, as if copied verbatim.

SECTION 2. The place type zoning of this Property is changed from: Place Type Zoning District P4 – Mix to P3M – Manufactured Housing at property located at 1025 Scott Street.

SECTION 3. The official place type zoning map of the City of Taylor, Texas, is changed to show the Property Place Type zoning as described in Section 2 and reflected in Exhibit “B” attached hereto.

SECTION 4. All other terms and conditions contained in the official zoning map, except as amended herein, shall continue and remain in full force and effect.

SECTION 5. Should any section, paragraph, clause, phrase, or provision of this Ordinance be adjudged invalid or held unconstitutional, the same shall not affect the validity of this Ordinance as a whole or any part of the provisions thereof, other than the part so decided to be invalid or unconstitutional.

SECTION 6. In accordance with Article VIII of the City Charter, Ordinance **2026-XX** was introduced before the Taylor City Council on the 12th day of March 2026.

PASSED, APPROVED, and ADOPTED on the _____ day of _____, 2026.

Dwayne Ariola, Mayor

ATTEST:

Lucy Aldrich, City Clerk

APPROVED AS TO FORM:

Mark Schroeder,
City Attorney

DRAFT

CERTIFICATE

THE STATE OF TEXAS

COUNTY OF WILLIAMSON

I, Lucy Aldrich, being the current City Clerk of the City of Taylor, Texas, do hereby certify that the attached is a true and correct copy of Ordinance No. 2026-XX passed and approved by the City Council of the City of Taylor, Texas, on the _____ day of _____ 2026, and such Ordinance was duly introduced, passed, approved and adopted at meetings open to the public and notices of the meetings, giving the dates, places, and subject matter thereof, were posted as prescribed by Government Code Section 551.043.

Witness my hand and seal of office this _____ day of _____ 2026.

Lucy Aldrich
City Clerk

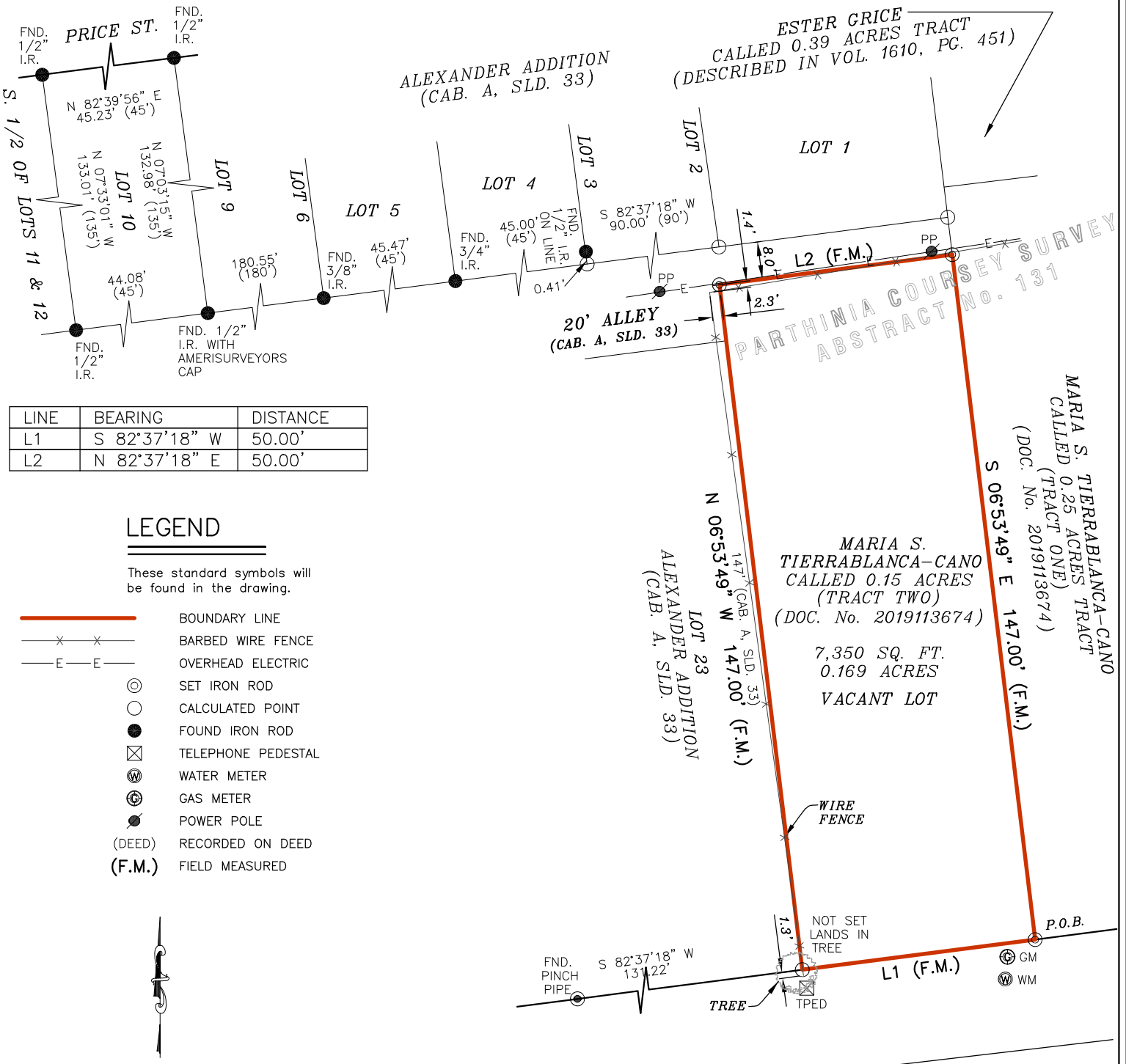
DRAFT

EXHIBIT A
(Metes & Bounds Survey)

DRAFT

EXHIBIT B
(Proposed Place Type Map)

DRAFT



LINE	BEARING	DISTANCE
L1	S 82°37'18" W	50.00'
L2	N 82°37'18" E	50.00'

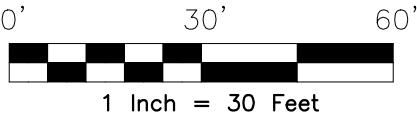
LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- BARBED WIRE FENCE
- OVERHEAD ELECTRIC
- SET IRON ROD
- CALCULATED POINT
- FOUND IRON ROD
- TELEPHONE PEDESTAL
- WATER METER
- GAS METER
- POWER POLE
- (DEED) RECORDED ON DEED
- (F.M.) FIELD MEASURED



GRAPHIC SCALE



BEARING BASIS:
TEXAS STATE PLANE GRID BEARINGS, TEXAS CENTRAL ZONE, NAD83 (CORS)

At date of this survey, the property is in FEMA designated ZONE X, Area of Minimal Flood Hazard, as verified by FEMA Map Panel No. 48491C 0534 F effective date of DECEMBER 20, 2019 Exact designations can only be determined by a Elevation Certificate. This information is subject to change as a result of future FEMA Map revisions and/or amendments.

I, ROBERT W. JOHNSTON, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to _____ and _____ that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown hereon. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Engineers and Land Surveyors (Section 138.89).

Borrower/Owner: MARIA S. TIERRABLANCA-CANO
Address: 1025 SCOTT ST., TAYLOR, TX 76574 GF No. _____

Legal Description of the Land:
AW0131 Coursey, P. Sur., Block 317, Tract 12, Acres 0.15 in Williamson County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN:

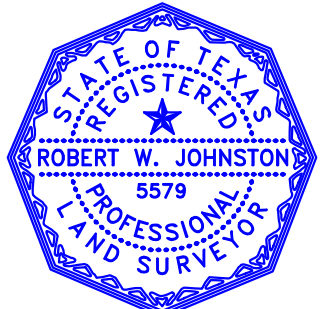
The survey is hereby accepted with the discrepancies, conflicts, or shortages in area or boundary lines, encroachments, protrusions, or overlapping of Improvements shown.

SURVEYOR'S NOTE(S):

THIS SURVEY IS PRODUCED WITHOUT THE ADDITION OF RESEARCH FROM A TITLE OR A TITLE ABSTRACT COMPANY. THEREFORE, ADDITIONAL DEED OR REAL PROPERTY RESTRICTIONS, SUCH AS EASEMENTS OR SETBACKS, MAY APPLY THAT ARE NOT GRAPHICALLY OR OTHERWISE SHOWN, AND/OR LISTED ON THIS SURVEY. THE RESTRICTIONS, ADDRESSED HEREON, ARE AS ALREADY KNOWN TO THE UNDERSIGNED, TO AFFECT THIS SUBDIVISION. THEIR DEPICTIONS ARE NOT MEANT TO REPRESENT ALL POSSIBLE ESMTS. AND SETBACKS THAT MAY APPLY TO THIS LOT.

FINAL "BOUNDARY" SURVEY

JOB NO.:	2510107374	NO.	REVISION	DATE
DATE:	11/06/25	SETS	11/11/25	
DRAWN BY:	JD/SAT			
APPROVED BY:	RWJ			



Robert W. Johnston
ROBERT W. JOHNSTON, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 5579



P.O. BOX 160369
SAN ANTONIO, TEXAS 78280
PHONE: (210) 572-1995
WEB: WWW.AMERISURVEYORS.COM

EXHIBIT "A"
METES AND BOUNDS DESCRIPTION

A 0.169 ACRE (7,350 SQ. FT.) TRACT, BEING OUT OF THE PARTHINIA COURSEY SURVEY, ABSTRACT 131, WILLIAMSON COUNTY, TEXAS, BEING ALL OF A CALLED 0.15 ACRE TRACT (TRACT TWO) DESCRIBED IN A DEED TO MARIA TIERRABLANCA-CANO, RECORDED IN DOCUMENT No. 2019113674, OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, SAID 0.169 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2 inch iron rod set in the north right-of-way line of Scott Street (a Public R.O.W.) at the southeast corner of the Tierrablanca-Cano 0.15 acre tract, being also the southwest corner of a called 0.25 acre tract (TRACT ONE) described in a deed to Maria S. Tierrablanca-Cano, recorded in Document No. 2019113674, Official Records of Williamson County, Texas, for the southeast corner hereof,

THENCE South 82° 37' 18" West a distance of **50.00 feet** with the south boundary line of the Tierrablanca-Cano 0.15 acre tract, being also the north right-of-way line of Scott Street, to a calculated point in a Hackberry tree, at the southwest corner of the Tierrablanca-Cano 0.15 acre tract, being also the southeast corner of LOT 23, ALEXANDER ADDITION, according to the plat thereof recorded in Cabinet A, Slide 33, Plat Records of Williamson County, Texas, for the southwest corner hereof, from which a pinched pipe found bears South 82° 37' 18" West a distance of 131.22 feet;

THENCE North 06° 53' 49" West with the east line of LOT 23 of said ALEXANDER ADDITION, passing at 135 feet, the northeast corner of said LOT 23, being also the most southerly east corner of a 20-foot alley of said ALEXANDER ADDITION, and continuing for a total distance of **147.00 feet**, (147 feet, record plat) to 1/2 inch iron rod set an interior corner of said ALEXANDER ADDITION, for the northwest corner hereof;

THENCE North 82° 37' 18' East a distance of **50.00 feet** with the south line of the 20-foot alley, to 1/2 inch iron rod set in the west boundary line of the Tierrablanca-Cano 0.25 acre tract, at the most easterly south corner of said 20-foot alley, for the northeast corner hereof;

THENCE South 06° 53' 49" East a distance of **147.00 feet** with east boundary line of the Tierrablanca-Cano 0.15 acre tract, being also the west boundary line of the Tierrablanca-Cano 0.25 acre tract, to the **POINT OF BEGINNING**, containing 0.169 of an acre (7,350 sq. ft.).

Basis of Bearing: Texas Central NAD 83

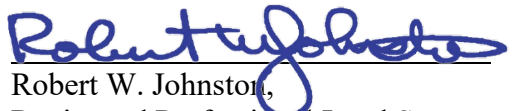
All 1/2 Inch iron rods set are capped with "AmeriSurveyors" cap.

STATE OF TEXAS §

November 11, 2025

COUNTY OF BEXAR §

It is hereby certified that the above description was prepared from an actual survey on the ground of the described tract made under my supervision.


Robert W. Johnston,
Registered Professional Land Surveyor
Registration No. 5579

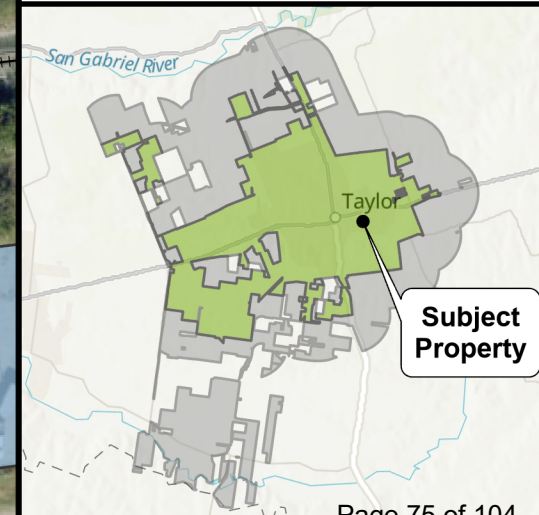




PZ-2025-2637

**1025 Scott St.
Place Type Amendment
Proposed Zoning Map
Approximately 0.2 acres**

- Subject Property
- Parcel Boundary
- Place Type Zoning**
 - P3: Neighborhood
 - P3M: Manufactured Housing
 - P4: Mix
 - CS: Civic Space



City of Taylor
PZ-2025-2637
Place Type Amendment
Staff Report

Item Details

Request:	A request for a Place Type Amendment from P4: Mix to P3M: Manufactured Housing for a property generally located at 1025 Scott Street
Legal Description:	Legally described as 0.15 acres of Coursey P. Survey, Abstract number 131, more particularly described by Williamson Central Appraisal District Parcel R018962, Taylor, Williamson County, Texas.
Applicant/ Property Owner:	Maria Salud Tierrablanca
Responsible Staff:	Preston Gunn

Overview & Background

The subject property is located northeast of Robinson Park on the northern side of the railroad. The applicant is requesting to amend their zoning from P4: Mix to P3M: Manufactured Housing to allow for the placement of a manufactured home at 1025 Scott Street. The applicant purchased the property with the intent of placing a manufactured home, consistent with the non-conforming manufactured homes adjacent along Scott Street.

Existing development in the area consists of single-family residences, manufactured homes, and vacant lots. The area is primarily zoned P4: Mix, with three lots zoned P3: Neighborhood along Scott Street. P4: Mix and P3 Neighborhood zoning do not permit the manufactured homes use. This means that the currently existing manufactured homes would fall within the legal nonconforming status.



This area is currently underutilized as indicated by future land use and growth sector. The future land use is Neighborhood Infill, and the growth sector is Infill Neighborhood Sector (G-4). They both are encouraging Infill development that generally matches the character of the area while allowing for incremental increases in density.

If this rezone is approved the next step will be the submittal for a minor plat, as the lot is not currently platted. Per section 3.5.1 in the Land Development Code (LDC) no permit may be

issued, or utility services established for any parcel unless such property has been platted or determined to be exempt.

Property Details

Location:

The subject property is located on the north side of Scott Street, approximately 500 feet east of N Dolan St and Scott St Intersection. The subject property is north of the railroad and substation south of Scott Street. Robinson Park is located southeast of the property.

Physical and Natural Features:

The property is flat with trees along the western property line.

Land Use & Zoning

The subject property is designated as **Growth Sector of Infill Neighborhood Sector (G-4)** which consists of areas within the city that are already developed and served by infrastructure. Infill development is encouraged to generally match the character of the existing development while allowing for incremental increases in density

The subject property is designated as **Future Land of Neighborhood Infill** which is envisioned to fill in vacant and underutilized lots within the City of Taylor. These areas are expected to accommodate a slight increase in density with the inclusion of accessory dwelling units and missing middle housing such as smaller lots, townhomes, and additional corner units

The **Current Zoning is P4: MIX Place Type** which regulates a variety of building types ranging from smaller commercial buildings to intermixed house-form commercial and attached and detached residential. It provides flexibility for this area to easily transition between low-intensity commercial and residential building types, allowing for the neighboring P5 Urban Center zoning to expand and contract over time, increasing Taylor’s economic resiliency.

Transportation

The Property is currently on an existing neighborhood street. There are no planned throughfares called out in the Master transportation plan in this area.

Utilities

The property is currently being served by a 2” water line at the front of the property and a 6” wastewater line at the rear of the property. There are currently no Capital improvement plans along these lines that would up size the lines to the current city standard of 8” lines.

Surrounding Area Characteristics

Direction	Zoning District	Growth Sector	Future Land Use	Existing Land Use
North	P4 Mix	Infill Neighborhood Sector (G-4)	Neighborhood Infill	Manufactured Single Family Residence

South	P3M Manufactured Housing	Infill Neighborhood Sector (G-4)	Neighborhood Infill	Single Family Residences
East	P4 Mix	Infill Neighborhood Sector (G-4)	Neighborhood Infill	Manufactured Single Family Residence
West	P3 Neighborhood	Infill Neighborhood Sector (G-4)	Neighborhood Infill	Manufactured Single Family Residence

Public Notification

As required by the Local Government Code and the City of Taylor Code of Ordinances, all property owners within a 200-foot radius of the subject property were notified of the zoning map amendment request. Seventeen (17) notices were mailed to the property owners and a legal notice advertising the public hearing was placed in the Taylor Press on Sunday, January 25, 2026. As of the date of writing this report staff has not heard from any resident either “for” or “against” this request.

Staff Analysis

Upon analyzing the request for a Place Type Amendment from P4: Mix to P3M: Manufactured, the proposed request is not consistent with the surrounding Place Types but is consistent with the Future Land Use and Growth Sector from the Comprehensive Plan.

The request is consistent with the following Land Use Policies outlined in the Envision Taylor Comprehensive Plan:

- LU4 – New development and growth should not increase the flood hazards or other risks associated with climate change in existing neighborhoods.
 - The development is not located in an area that contains a floodplain
- LU9 – Promote development patterns that maximize the use of existing infrastructure and land before expanding infrastructure to underdeveloped areas.
 - The development is already served by existing infrastructure.

The Place Type Amendment is inconsistent with other spot zoning in the area. The amendments to P3 Neighborhood have been made to support single family residential construction.

Staff Recommendation

The Planning and Zoning Commission is charged with reviewing all requests for rezonings and recommends to City Council either in favor of or opposition to each request. In determining a recommendation on a rezoning request, the Planning and Zoning Commission members consider the following factors:

1. Is the Place Type Amendment consistent with the Comprehensive Plan?

- a. The request is consistent with the Comprehensive Plan Land Use policy and the Future Land Use and Growth Sectors. The proposed manufacture home would use existing infrastructure and increase density in the area
2. Is the Place Type Amendment compatible with the surrounding area?
 - a. The Place Type is compatible with the current adjacent uses. It is inconsistent with the neighborhood as it is currently transitioning to P3: Neighborhood, this zoning does not permit manufactured housing as a primary structure
3. Does the Place Type Amendment promote public health, safety, or general welfare?
 - a. Staff analysis determined that the proposed zone change will likely promote public health, safety, and general welfare. Google maps indicate that this lot was used for car storage which conflicts with the adjacent residential use. The change of use to a dwelling is more consistent with the surrounding uses.
4. Is adequate infrastructure available or planned to meet the needs of the proposed land use?
 - a. The property is currently adequately served by water and wastewater.
5. Do current conditions indicate that a Place Type Amendment is necessary?
 - a. The property is currently zoned P4: Mix and the proposed Building Type of Manufactured Home is considered non-conforming. The place type amendment is needed to allow the proposed building type to be compliant with the Land Development Code.

Attachments:

- a. Letter of Intent
- b. Location Map
- c. Notification Map
- d. Future Land Use
- e. Growth Sector Map
- f. Current Zoning Map
- g. Draft Ordinance
 - a. Survey – Exhibit A
 - b. Proposed Zoning Map – Exhibit B

City of Taylor
PZ-2025-2606
Employment Center Plan
Staff Report

Item Details

Request:	A request for a Employment Center Plan referred to as Oncor Hwy 79
Legal Description:	Legally described as approximately 51.19 acres of land in the J C Eaves Survey, Abstract No. 213, more particularly described by the Williamson Central Appraisal District Parcels R565218, Taylor, Williamson County, Texas
Applicant:	Rob Myers, Kimley-Horn
Property Owner(s):	Oncor Electric Delivery
Responsible Staff:	Parker McDowell

Overview & Background

The applicant, Kimley-Horn, and the property owner, Oncor Electric Delivery, is requesting a Employment center Plan to develop a switch station on a 51.9-acre site located on the north side of US 79, approximately 2700 feet east of FM3349. The subject property is currently vacant. The applicant is proposing the whole property to be Employment Center.



Property Details

Location:

The subject property is located on the north side of US 79, approximately 2700 feet east of FM3349 and Us 79 Intersection. The subject property is north of the RCR development and south of the Taylor 50 Industrial.

Physical and Natural Features:

The property is largely vacant with shrubbery and vegetation throughout the site. The relatively flat topography makes the property appropriate development of a electric station.

Land Use & Zoning

The subject properties are located within the **Controlled Growth Sector Tier I (G-2.1)** which consists of areas with incomplete infrastructure. As development occurs in the Controlled Growth

Sector Tier II, infrastructure systems will be extended and may allow for development to occur in Tier I,

The subject property is assigned the Future Land Use **Employment: Special Zone** from the **Small Area Plan: Special Employment District (SAP SED) – North** which was created to provide a location for other, large-scale employment land uses that are associated with Samsung or other regional high-tech businesses. These areas should be preserved for large-scale industrial users and low-density, single-family development is not recommended in these areas. Complimentary land uses such as commercial and retail services and high-density residential may be appropriate in the Special Employment District and should be part of a master plan associated with industrial and employment development.

The current zoning is **EC – Employment Center Place Type**, The EC Employment Center Place Type function, disposition, or configuration cannot, or should not conform to one or more of the Place Types. EC shall be used for job creation centers and building forms that do not fit within the character of the other Place Types. At time of application for an Employment Center Plan, development standards will be determined to fit the needs of the proposed use.

Surrounding Area Characteristics

The surrounding properties are:

Direction	Zoning District	Growth Sector	Future Land Use	Existing Land Use
North	EC Employment Center	Controlled Growth Sector Tier I (G-2.1)	Employment: Special Zone	Vacant Acreage
South	EC Employment Center & ETJ	Growth Sector: Controlled Growth Sector Tier II (G-2.2)	Employment: Special Zone & Open Space	Vacant Acreage & Industrial
East	EC Employment Center	Controlled Growth Sector Tier I (G-2.1)	Employment: Special Zone	Vacant Acreage
West	EC Employment Center	Controlled Growth Sector Tier I (G-2.1)	Employment: Special Zone	Vacant Acreage & Large Lot Residential

Transportation

The subject property is on the northside of US Existing. A proposed Industrial Boulevard along the perimeter of the site as indicated by the SAP SED plan.

Utilities

The subject property is located within the City of Taylor water and wastewater CCN. There is an existing 16-inch water line that runs east to west along US 79. Wastewater will not be needed for the proposed station.

Public Notification

As required by the Local Government Code and the City of Taylor Code of Ordinances, all property owners within a 200-foot radius of the subject property were notified of the zoning map amendment request. Six (6) notices were mailed to the property owners and a legal notice advertising the public hearing was placed in the Taylor Press on Sunday, January 25, 2026.

As of the date of writing this report staff has not heard from any residents either “for” or “against” this request.

Staff Analysis

In determining a recommendation for a Employment Center Plan request, staff have considered the following factors:

1. **Is the Employment Center Plan consistent with the Comprehensive Plan?**
 - The Plan is consistent with the Comprehensive Plan. The proposed plan would allow uses that are consistent with the future land use.
2. **Is the Employment Center compatible with the surrounding area?**
 - The plan is compatible with the surrounding properties to the north, south, east and west, but requires additional mitigation for the visual impact on US 79. Staff has asked the applicant to provide visual screening along the frontage of the property with either landscape screening including a mix of evergreen and deciduous trees and shrubs or a precast masonry wall. The applicant is proposing a 6 foot high earthen berm with drought-resistant native ornamental grass.
3. **Does the Employment Center Plan promote public health, safety, or general welfare?**
 - Staff analysis determined that the proposed plan for the subject property will promote public health, safety, and the general welfare. In addition, the planning principles and policy guide in the comprehensive plan aim to promote health, safety, and general welfare by managing growth, while promoting safe and orderly development.
4. **Is adequate infrastructure available or planned to meet the needs of the proposed land use?**
 - The existing infrastructure is adequate as the proposed use does not require water or wastewater
5. **Do current conditions indicate that a Employment Center Plan is necessary?**
 - The property is currently zoned EC Employment center and to be consistent with the future land use, the Plan is necessary.

The Employment Center Plan seeks to largely align with the surrounding area and uses within the surrounding area but more visual screening is desired to lessen the visual impact for a major corridor into the city.

P&Z Recommendation

The Planning and Zoning Commission is charged with reviewing all requests for rezonings and recommends to City Council either in favor of or opposition to each request. In determining a recommendation on a rezoning request, the Planning and Zoning Commission members consider the following factors:

1. **Is the Employment Center Plan consistent with the Comprehensive Plan?**
2. **Is the Employment Center Plan compatible with the surrounding area?**
3. **Does the Employment Center Plan promote public health, safety, or general welfare?**
4. **Is adequate infrastructure available or planned to meet the needs of the proposed land use?**
5. **Do current conditions indicate that an Employment Center Plan is necessary?**

Attachments:

- a. Letter of Intent from Applicant
- b. Location Map
- c. Growth Sector Map
- d. Future Land Use
- e. Existing Zoning Map
- f. Notification Map
- g. Ordinance 2026-XX
 - 1) Survey Description – Exhibit A
 - 2) Proposed Neighborhood Plan – Exhibit B

**PROJECT NARRATIVE
Oncor Muscovy Station**

What is the proposed employment land use:

The proposed employment land use will be for an Oncor electrical station.

Does this proposed plan comply with the intent of the Comprehensive Plan and LDC:

Yes this proposed plan complies with the comprehensive plan.

Do the special needs of the proposed employment land use fit the context of the Employment Center's location:

Yes the special needs of the proposed employment land use fit the context of the location.

What is the proposed square footage of the development:

The square footage of the proposed development is 2,360,516.

What is the proposed number of job to be created by the development:

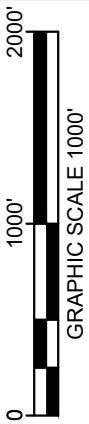
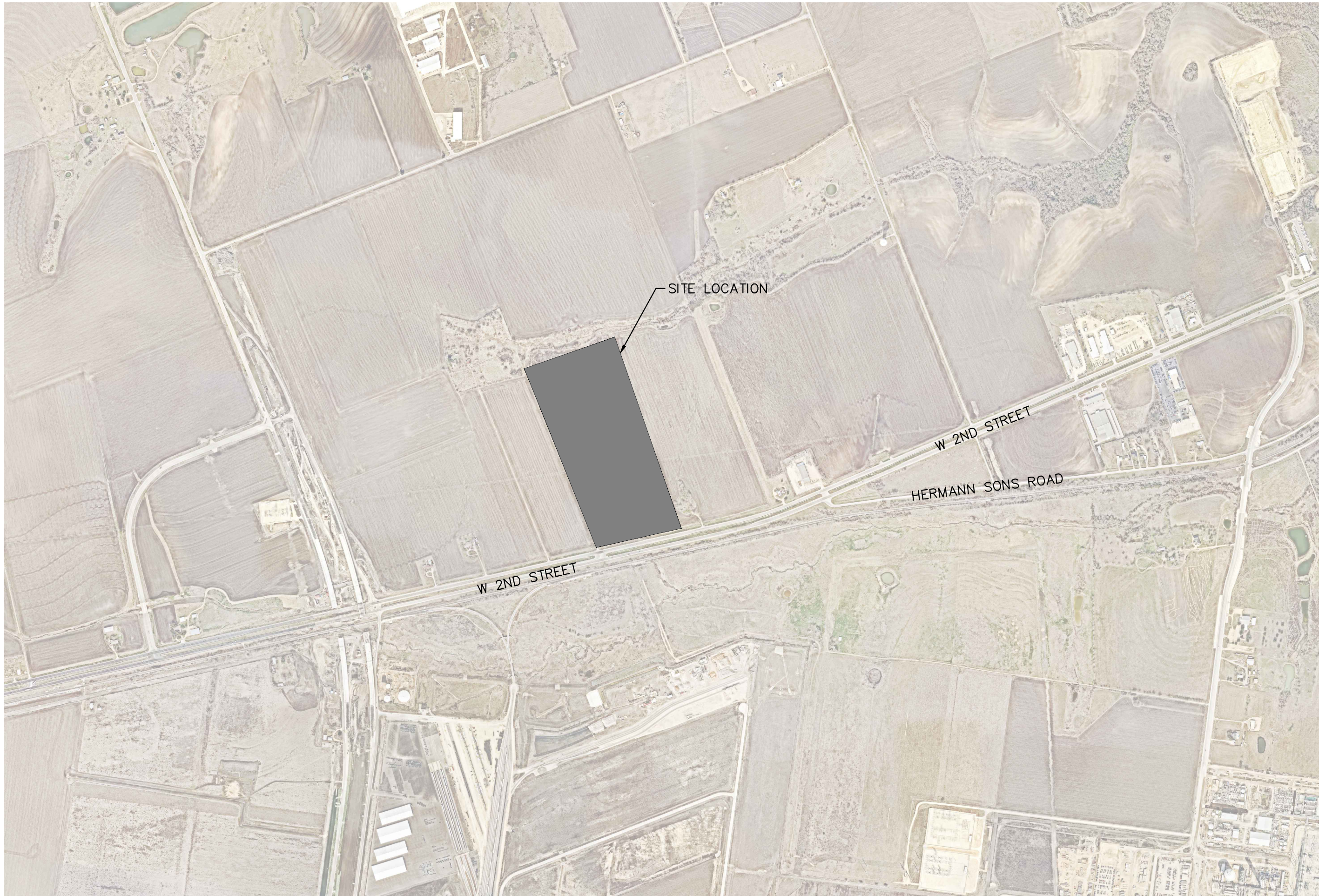
The proposed number of jobs vary as the station will improve the reliability and service for the current and future customers in the City of Taylor and meet the growing demand in the area.



Muscovy Switch - Taylor
QUICK LOOK EXHIBITS

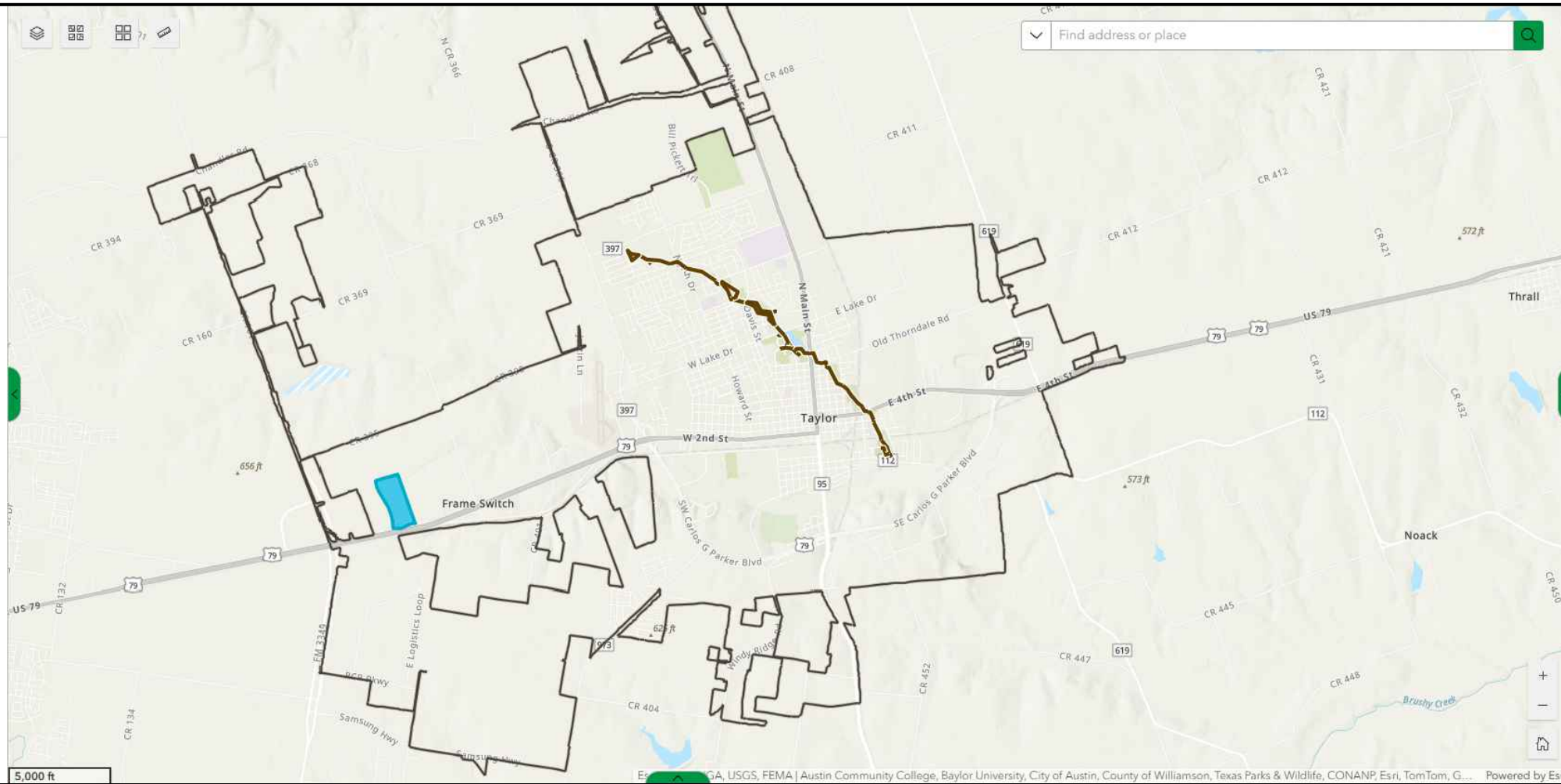
DATE: JANUARY 22, 2026

- 01 Aerial Context Map
- 02 Context Map
- 03 Growth Sectors
- 04 Future Land Use
- 05 Place Type Zoning
- 06 Transportation Master Plan
- 07 Regulating Plan
- 08 Block and Thoroughfare Plan
- 09 Design Specific Standards



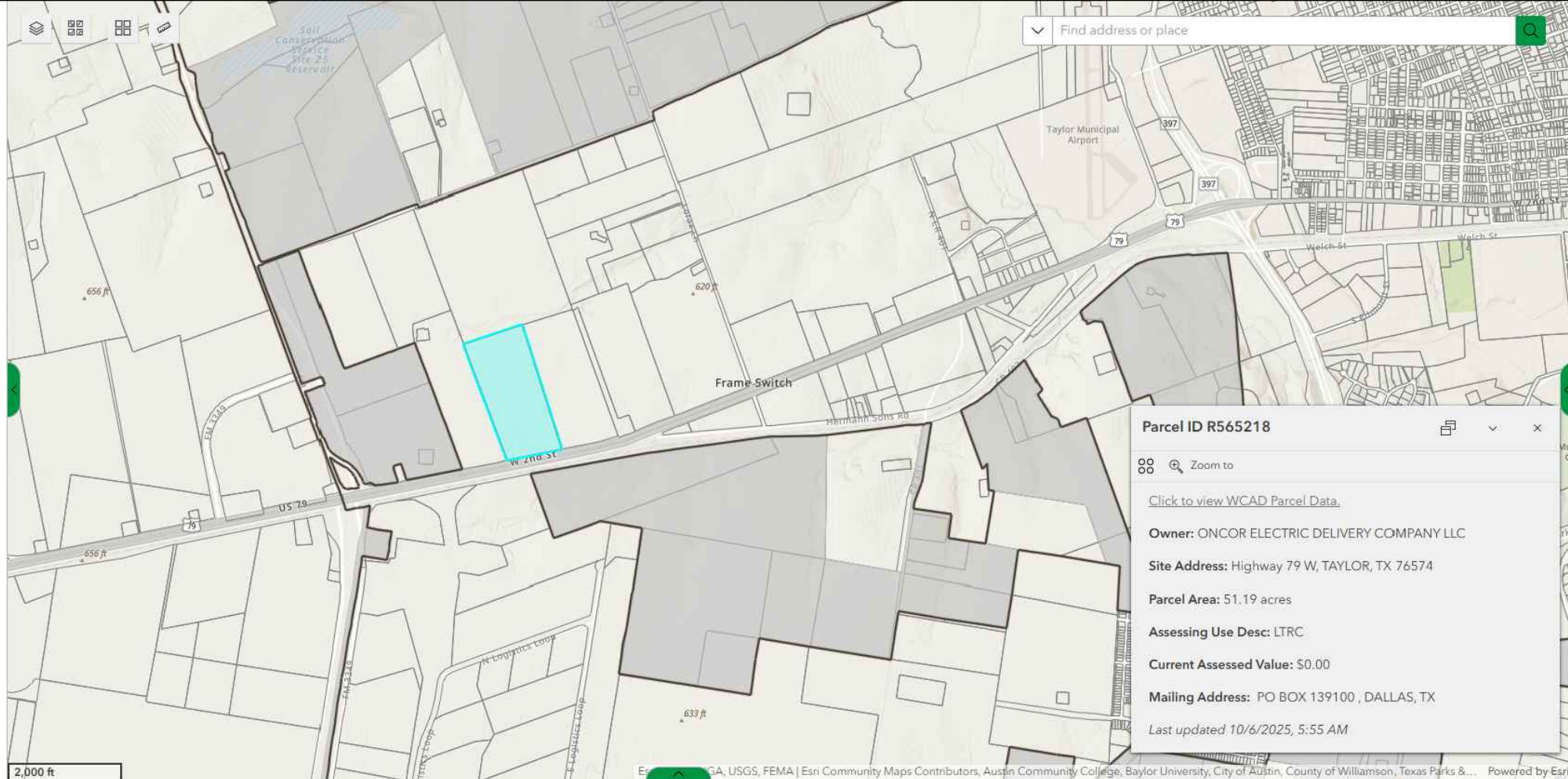
GRAPHIC SCALE 1000'

- Boundaries
- City Limits
- Parks & Recreation
- Trails



REGIONAL
LOCAL

- Boundaries
- City Limits
- ETJ Boundary
- Parcels



Parcel ID R565218

Zoom to

[Click to view WCAD Parcel Data.](#)

Owner: ONCOR ELECTRIC DELIVERY COMPANY LLC

Site Address: Highway 79 W, TAYLOR, TX 76574

Parcel Area: 51.19 acres

Assessing Use Desc: LTRC

Current Assessed Value: \$0.00

Mailing Address: PO BOX 139100, DALLAS, TX

Last updated 10/6/2025, 5:55 AM

Boundaries

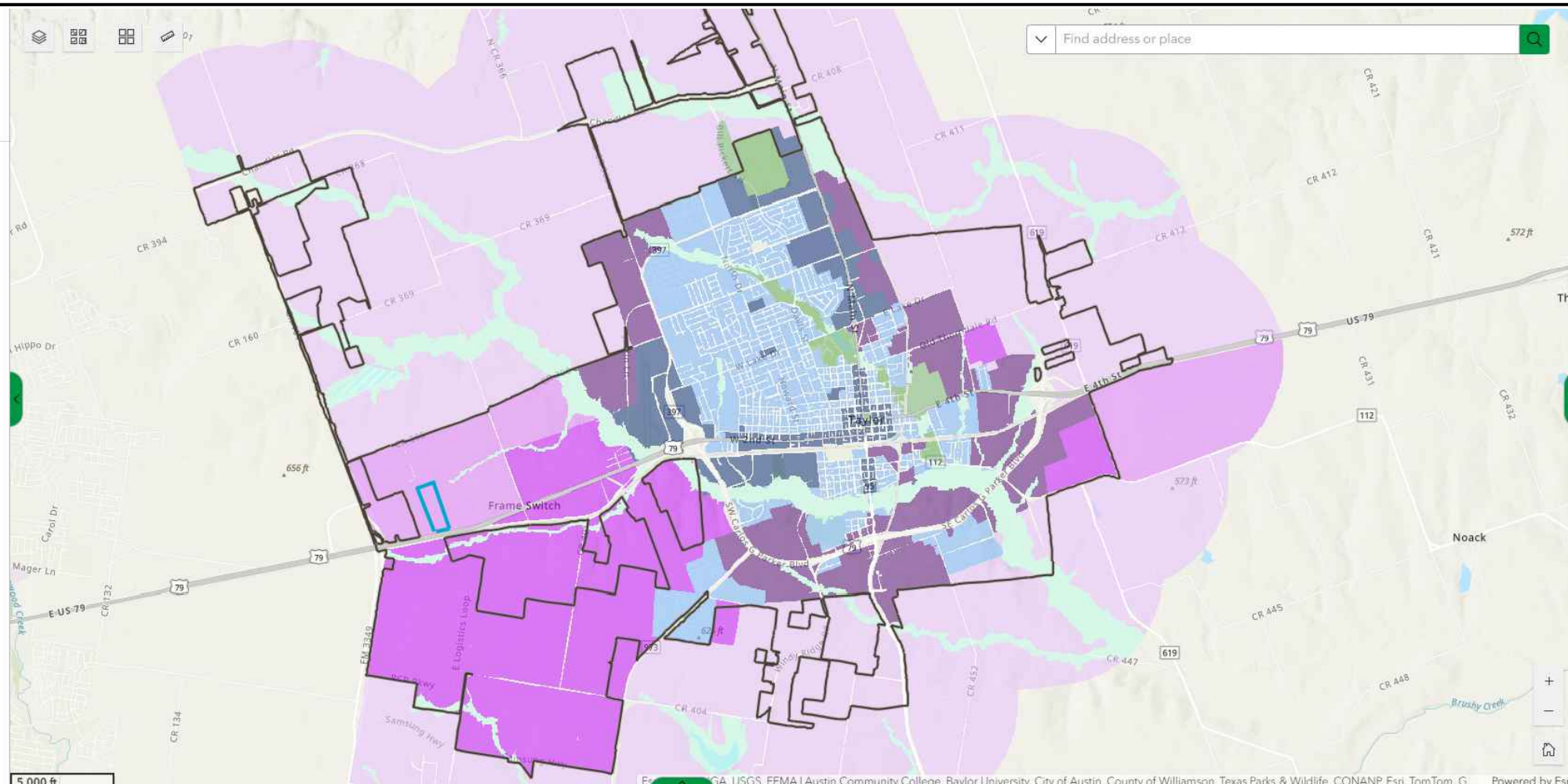
City Limits

Planning

Growth Sector

Sector

- Preserved Open Sector (O-1)
- Future Growth Sector (G-1)
- Controlled Growth Sector Tier I (G-2.1)
- Controlled Growth Sector Tier II (G-2.2)
- Intended Growth Sector (G-3)
- Infill Neighborhood Sector (G-4)
- Infill Growth Sector (G-5)
- Reserved Open Sector (O-2)



REGIONAL
LOCAL

Boundaries

City Limits

ETJ Boundary

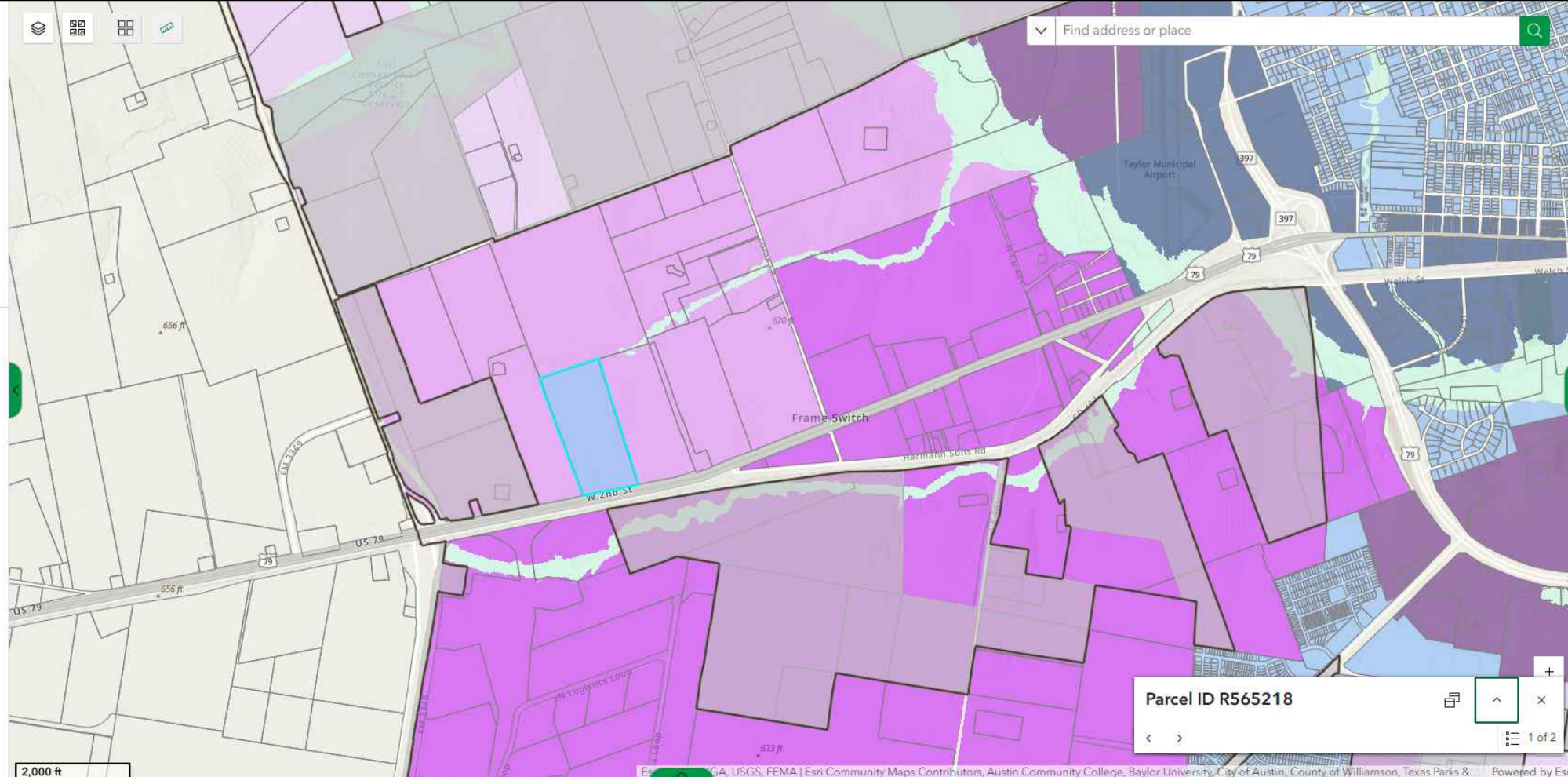
Parcels

Planning

Growth Sector

Sector

- Preserved Open Sector (O-1)
- Future Growth Sector (G-1)
- Controlled Growth Sector Tier I (G-2.1)
- Controlled Growth Sector Tier II (G-2.2)
- Intended Growth Sector (G-3)
- Infill Neighborhood Sector (G-4)
- Infill Growth Sector (G-5)
- Reserved Open Sector (O-2)



Boundaries

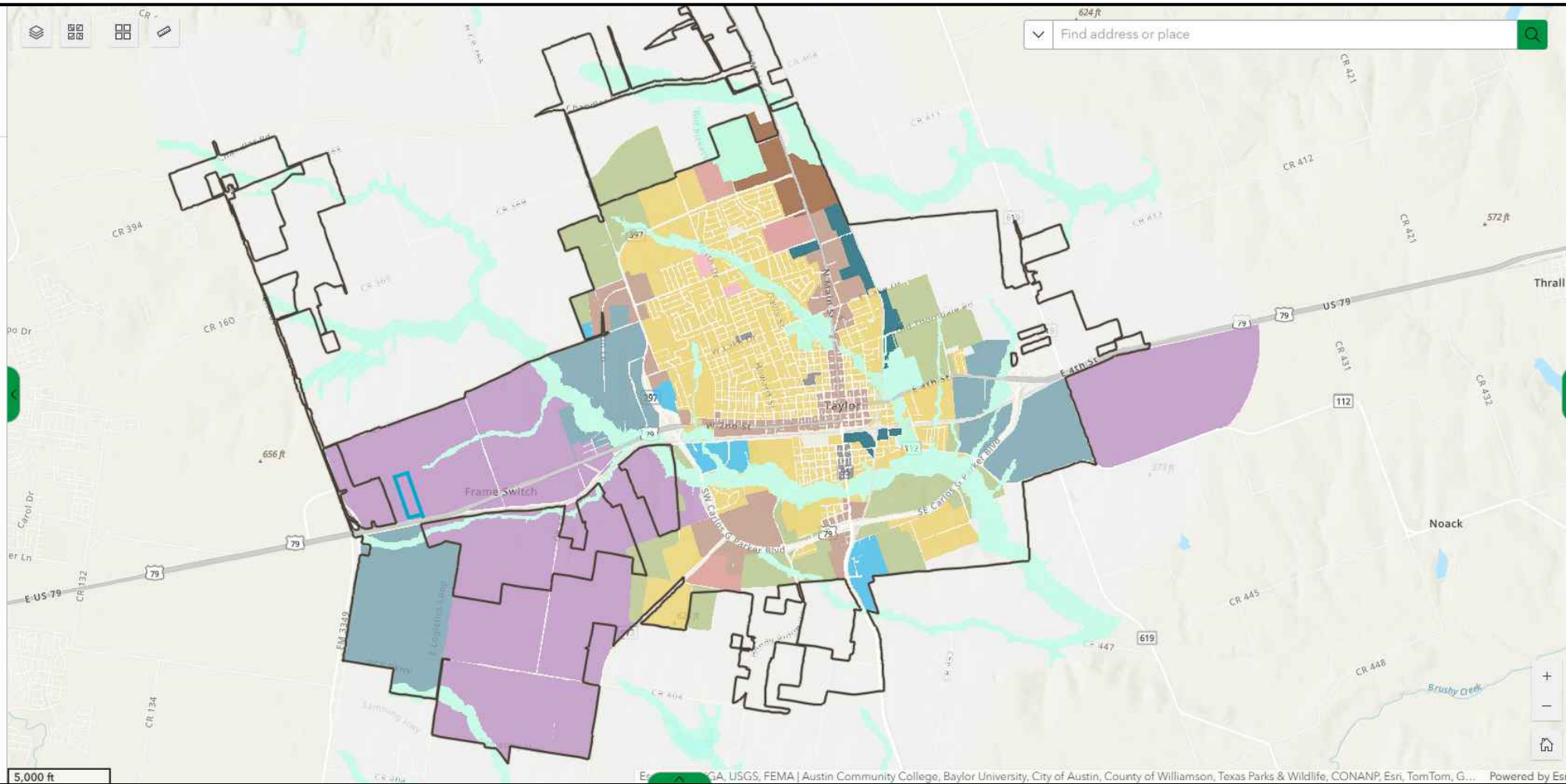
City Limits



Planning

Future Land Use

- Area of Minimal Change
- Civic: Community
- Civic: Neighborhood
- Employment: Community
- Employment: Neighborhood
- Employment: Regional
- Employment: Special Zone
- Market: Community
- Market: Neighborhood
- Market: Regional
- Neighborhood Greenfield
- Neighborhood Infill
- Open Space



REGIONAL
LOCAL

Boundaries

City Limits



ETJ Boundary



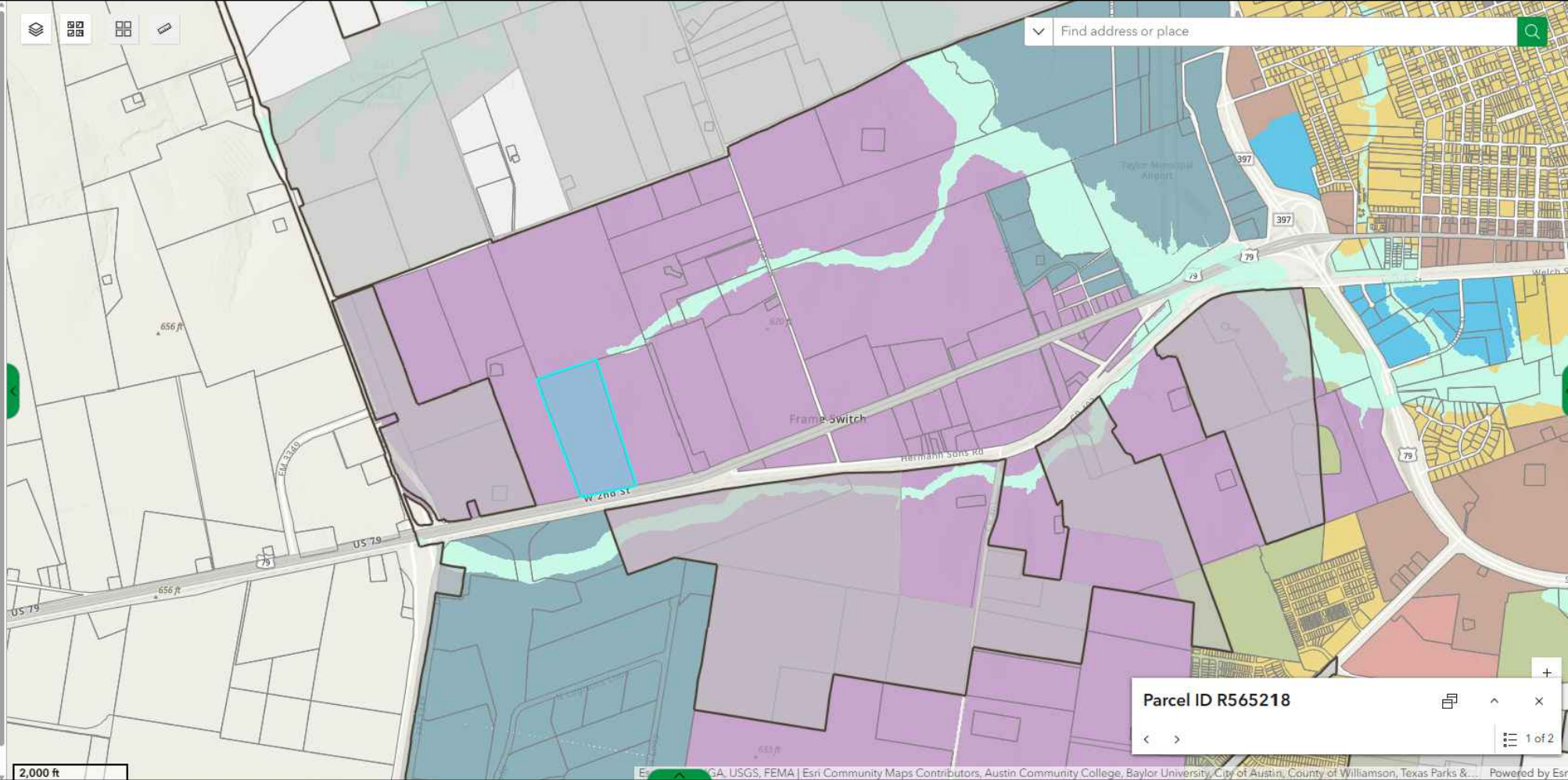
Parcels



Planning

Future Land Use

- Area of Minimal Change
- Civic: Community
- Civic: Neighborhood
- Employment: Community
- Employment: Neighborhood
- Employment: Regional
- Employment: Special Zone
- Market: Community
- Market: Neighborhood
- Market: Regional
- Neighborhood Greenfield
- Neighborhood Infill
- Open Space



Boundaries

City Limits

Planning

Zoning

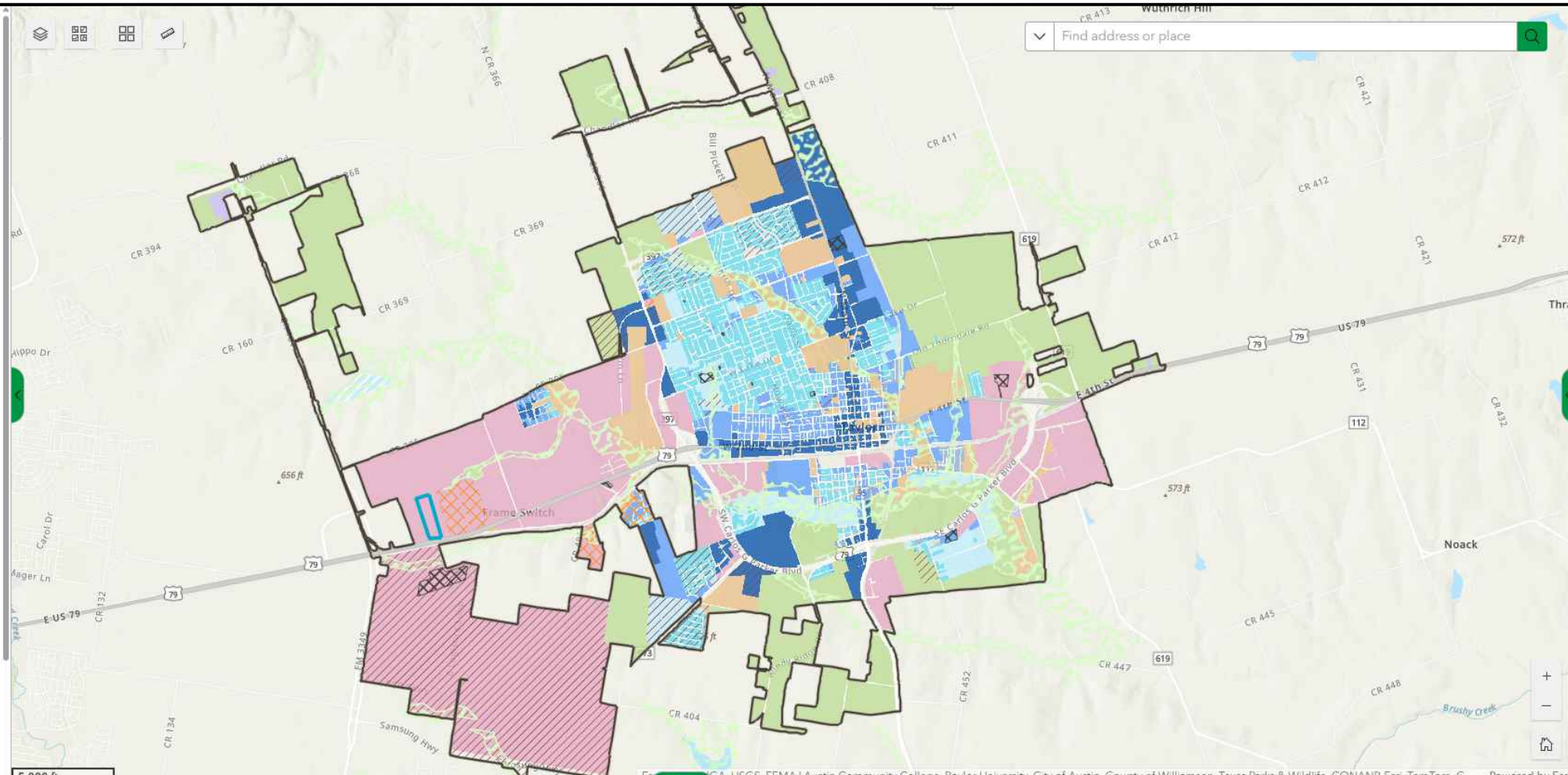
Specific Use Permit

Overlay Zoning

- Planned Development Overlay
- Employment Center Plan Overlay
- Neighborhood Plan Overlay
- P1: Nature

Place Type Zoning

- P2: Rural
- P2C: Rural Commercial
- P2.5: Large Lot
- P3: Neighborhood
- P3M: Manufactured Housing
- P4: Mix
- P5: Urban Center



REGIONAL
LOCAL

Boundaries

City Limits

ETJ Boundary

Parcels

Planning

Zoning

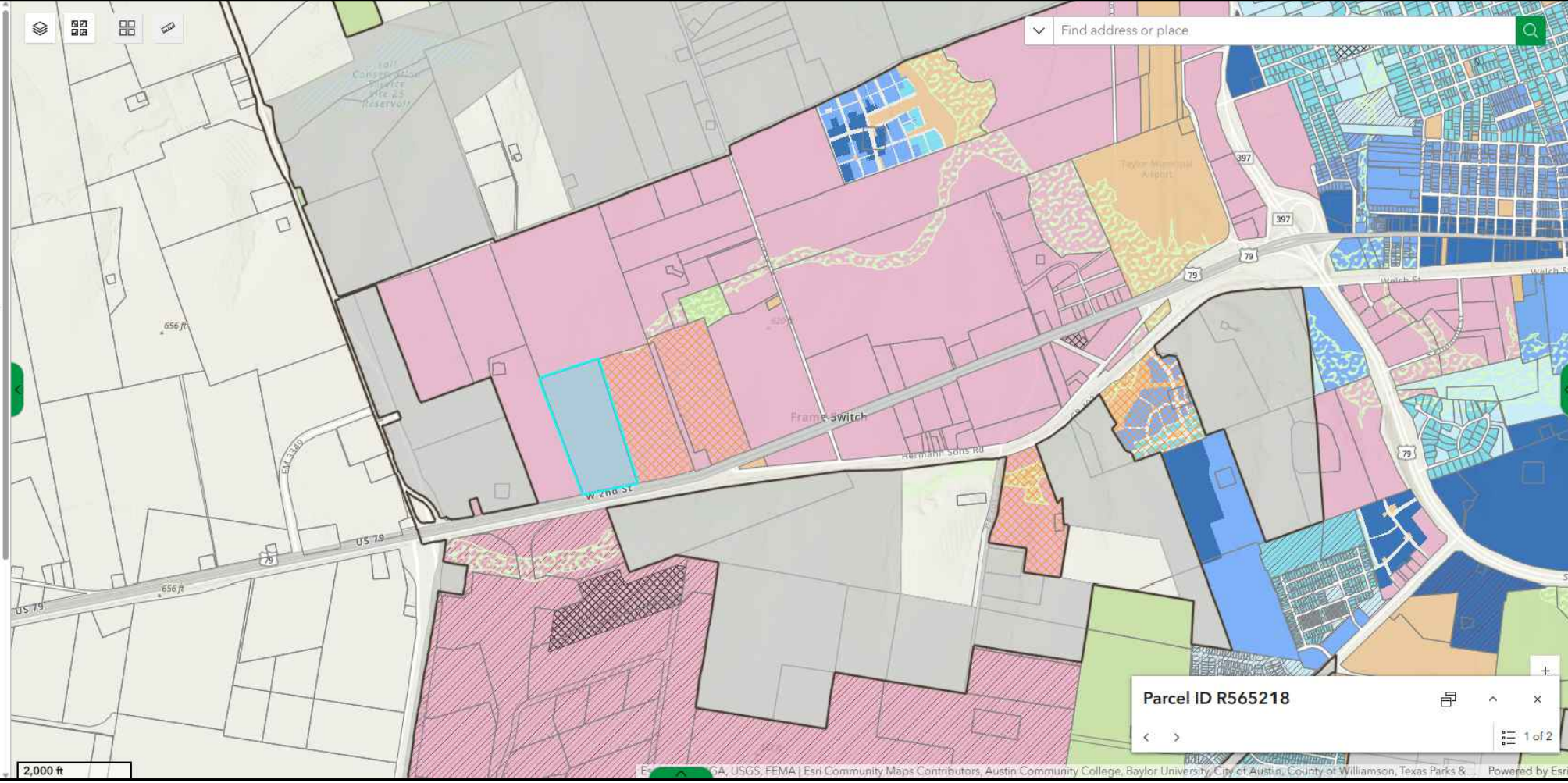
Specific Use Permit

Overlay Zoning

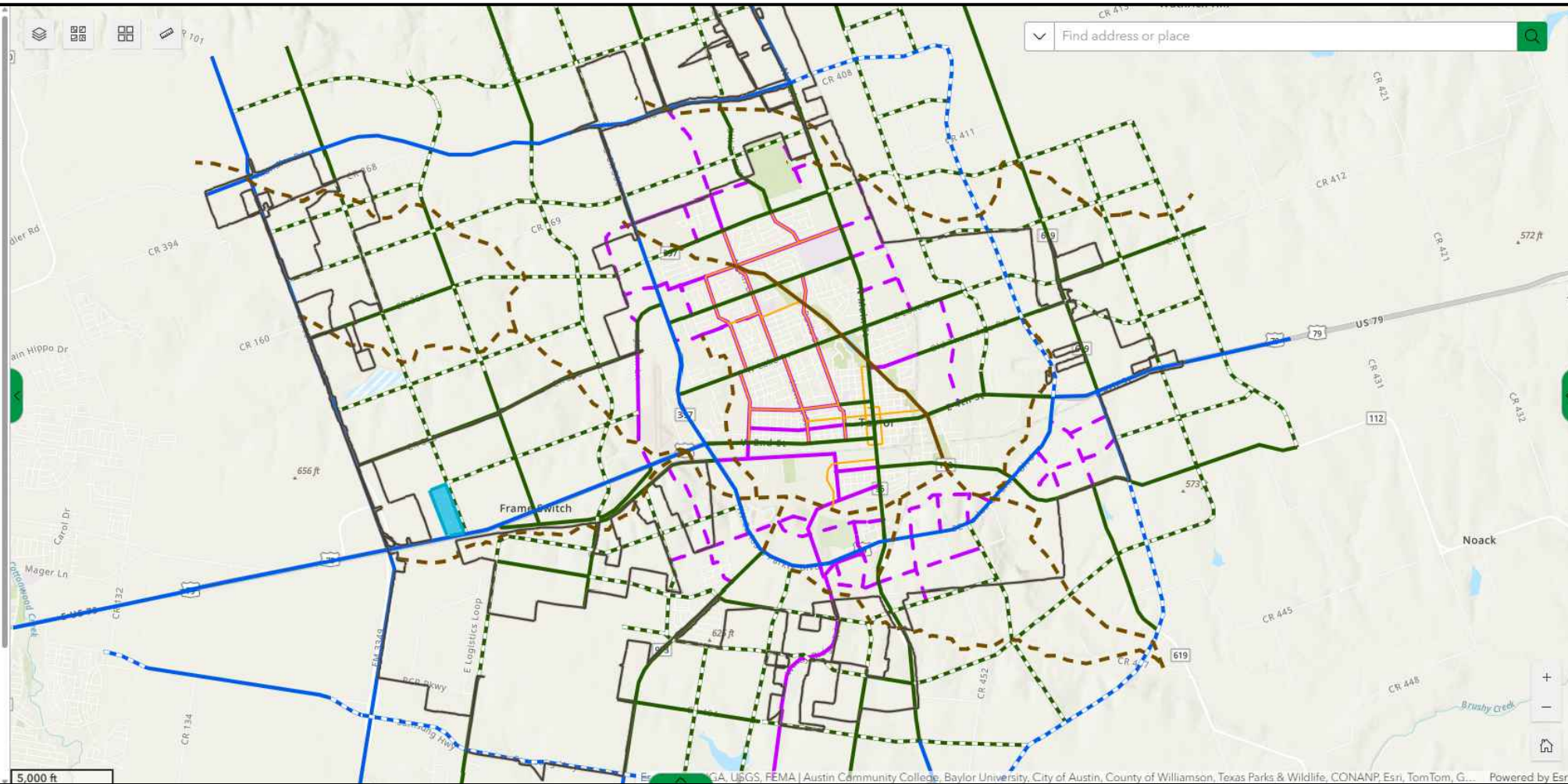
- Planned Development Overlay
- Employment Center Plan Overlay
- Neighborhood Plan Overlay
- P1: Nature

Place Type Zoning

- P2: Rural
- P2C: Rural Commercial

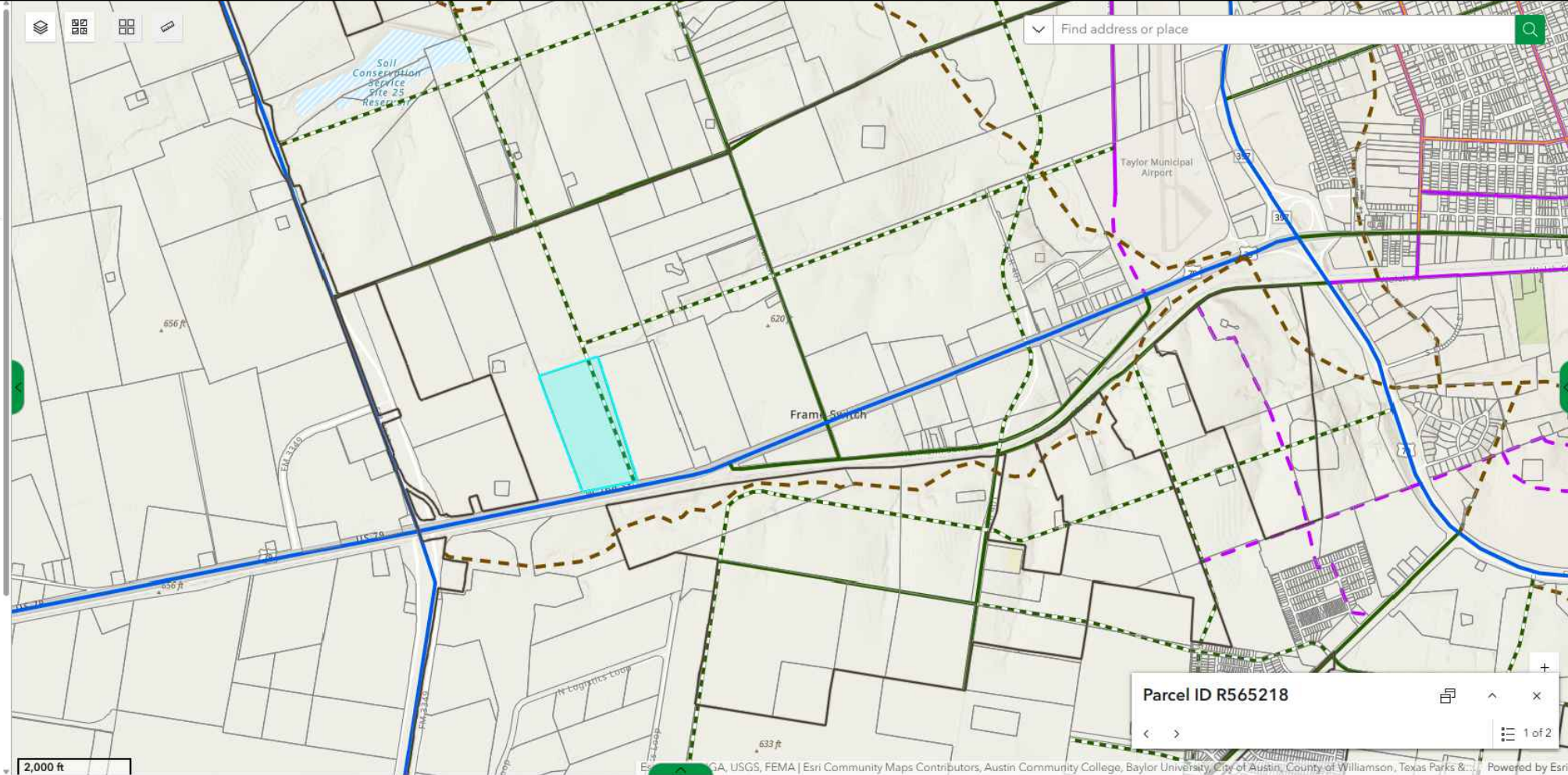


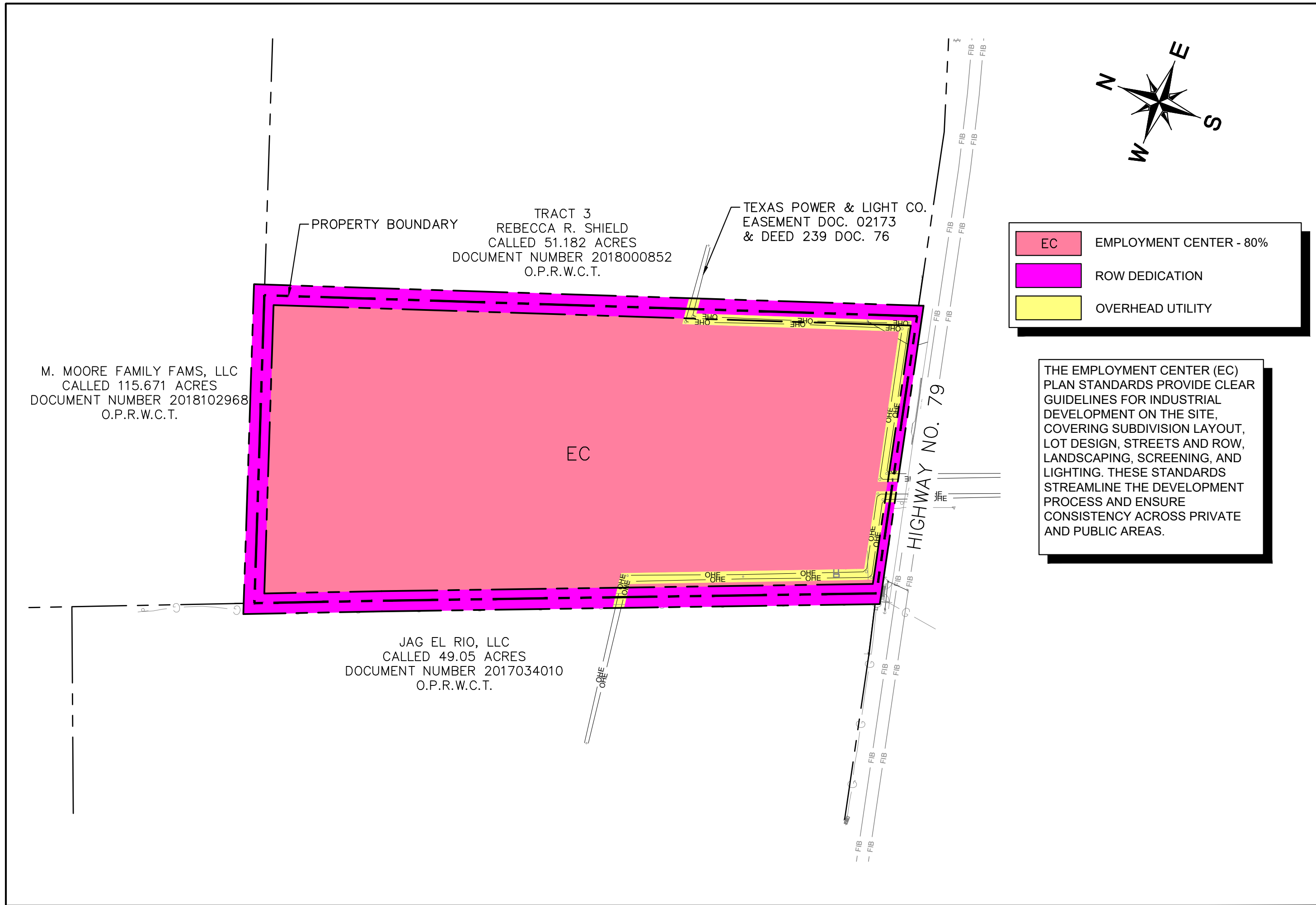
- Boundaries**
- City Limits
- Transportation**
- Transportation Master Plan
- Existing Trails
- Proposed Trails
- Regional Roads
- Community Boulevard
- Multimodal Corridor
- Neighborhood Avenue

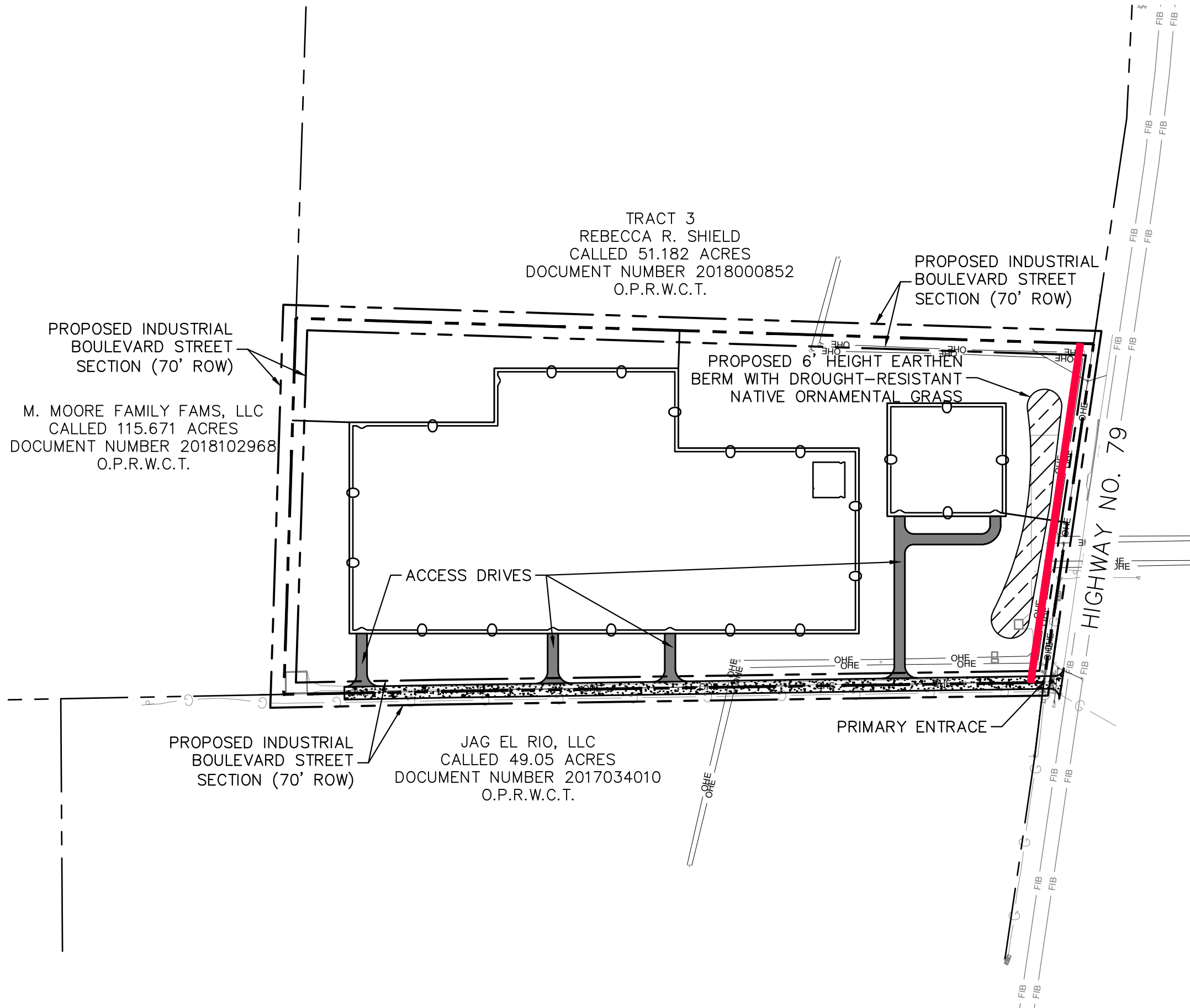
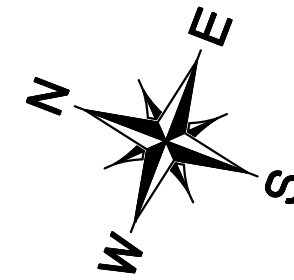


REGIONAL
LOCAL


- Boundaries**
- City Limits
- Parcels
- Transportation**
- Transportation Master Plan
- Existing Trails
- Proposed Trails
- Regional Roads
- Community Boulevard
- Multimodal Corridor

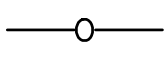






- PER ONCOR SAFETY STANDARDS, THE STATION AND THE FUTURE STATION WILL BE SURROUNDED IN 7' HEIGHT CHAIN LINK FENCE TOPPED WITH 1' HEIGHT 3 STRAND BARBED WIRE. TEXAS SILVER LEAF MAY LINE THE FENCE FACING THE PROPOSED DRIVES.
- THE APPROACH MAY NEED TO BE ADJUSTED DEPENDING ON ONCOR'S REQUIRMENTS OR CONSTRAINTS.
- FINAL STREET LOCATION WILL BE DETERMINED IN SITE DEVELOPMENT AND IN ACCORDANCE WITH THE SMALL AREA PLAN: SPECIAL EMPLOYMENT DISTRICT-NORTH (SAP-SED)

 PRIMARY FRONTAGE

 PROPOSED 7' CHAIN LINK FENCE

4.3.1.9 EC - EMPLOYMENT CENTER

LOTS

WIDTH (MINIMUM)	NONE
AREA (MINIMUM)	NONE
LOT COVERAGE (MAXIMUM)	80%
BUILD-TO-LINE (RANGE)	50' - 500'
FACADE BUILDOUT (MINIMUM)	N/A
STRUCTURE HEIGHT (FT)	No Greater Than 90'

BLOCKS

BLOCK LENGTH (MAXIMUM)	N/A
BLOCK PERIMETER (MAXIMUM)	N/A
*PUBLIC FRONTAGE (RIGHT OF WAY)	
SIDEWALK ZONE WIDTH	8'-24'
LANDSCAPE ZONE	PERMITTED
VEHICULAR PARKING ZONE WIDTH	PARALLEL - 8'-12' ANGLED - 17'-22'
VEHICULAR TRAVEL ZONE WIDTH	16'-40'

BUILDING TYPES

DETACHED DWELLING	<input type="radio"/>
ATTACHED DWELLING	<input type="radio"/>
COTTAGE COURT	<input type="radio"/>
DUPLEX	<input type="radio"/>
TRIPLEX	<input type="radio"/>
QUADRAPLEX	<input type="radio"/>
SMALL APARTMENT	<input type="radio"/>
LARGE APARTMENT	<input type="radio"/>
MANUFACTURED HOME/PARK	<input type="radio"/>
ACCESSORY DWELLING UNIT	<input type="radio"/>
RECREATIONAL VEHICLE PARK	<input type="radio"/>
RESIDENTIAL ACCESSORY	<input type="radio"/>
SMALL COMMERCIAL	<input type="radio"/>
LIVE/WORK	<input type="radio"/>
MIXED-USE COMMERCIAL	<input type="radio"/>
LARGE COMMERCIAL	<input type="radio"/>
HIGHWAY COMMERCIAL	<input type="radio"/>
INDUSTRIAL	<input checked="" type="radio"/>
CARTS, KIOSKS, FOOD TRAILERS	<input type="radio"/>
TEMPORARY COMMERCIAL	<input type="radio"/>
COMMERCIAL ACCESSORY	<input type="radio"/>
CIVIC BUILDINGS	<input checked="" type="radio"/>

PRIVATE FRONTAGE TYPES

COMMON YARD	<input checked="" type="radio"/>
PORCH WITH OPTIONAL FENCE	<input checked="" type="radio"/>
STOOP	<input checked="" type="radio"/>
GALLERY	<input checked="" type="radio"/>
ARCADE	<input checked="" type="radio"/>
SHOPFRONT	<input checked="" type="radio"/>
FORECOURT	<input checked="" type="radio"/>
TERRACE	<input checked="" type="radio"/>

BUILDING DISPOSITION

EDGEYARD	<input checked="" type="radio"/>
SIDEYARD	<input checked="" type="radio"/>
COURTYARD	<input checked="" type="radio"/>
REARYARD	<input checked="" type="radio"/>

PERMITTED	<input checked="" type="radio"/>
NOT PERMITTED	<input type="radio"/>
TBD = TO BE DECIDED BY DURING DEVELOPMENT PROCESS	

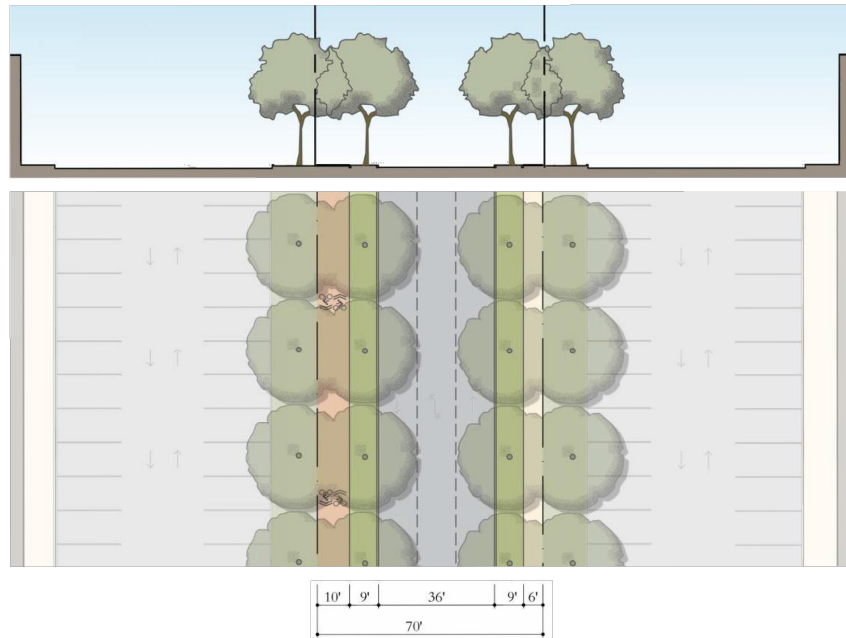
STREET TYPES

RURAL STREET	<input type="radio"/>
RESIDENTIAL ALLEY	<input type="radio"/>
COMMERCIAL ALLEY	<input checked="" type="radio"/>
YIELD STREET	<input type="radio"/>
NEIGHBORHOOD STREET	<input checked="" type="radio"/>
NEIGHBORHOOD AVENUE	<input checked="" type="radio"/>
SIDE STREET	<input checked="" type="radio"/>
2 LANE COMMUNITY BOULEVARD	<input checked="" type="radio"/>
4 LANE COMMUNITY BOULEVARD	<input checked="" type="radio"/>
PATH	<input checked="" type="radio"/>
TRAIL	<input checked="" type="radio"/>

PARKING LOCATION

FIRST LAYER	<input checked="" type="radio"/>
SECOND LAYER	<input checked="" type="radio"/>
THIRD LAYER	<input checked="" type="radio"/>
ON-STREET	<input checked="" type="radio"/>
RV STORAGE	<input type="radio"/>

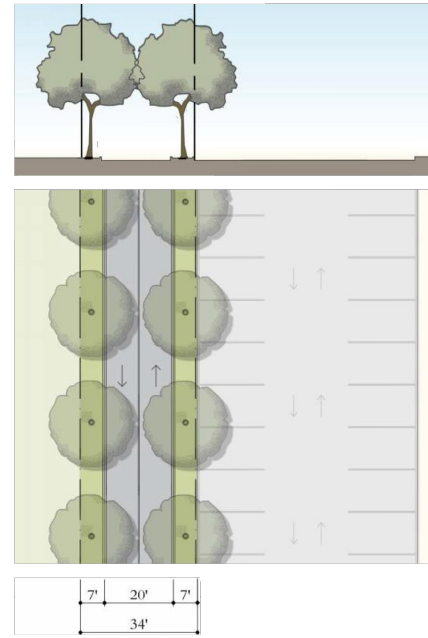
*Already developed properties with Place Type EC zoning shall follow the development standards of Place Type 5 until an Employment Center Plan has been adopted for the property.



IB - 70 - 36

Industrial Boulevard
70 ft. ROW
36 ft. Pavement
Free Movement
Two-Way Traffic
No Parking
Curb Radius TBD to Accommodate Trucks
Header Curbs
9 ft. Tree Lawns
Allee, 25-30 ft. o.c.
10 ft. Shared-Use Path / 6 ft. Sidewalk
Provided

Trees may need to be maintained to permit a higher vertical clearance to accommodate truck traffic. Driveways shall be spaced at a minimum of 200 feet from curb to curb.



AR - 34 - 20

Access Road
34 ft. ROW
20 ft. Pavement
Free Movement
Two-Way Traffic
No Parking
Curb Radius TBD to Accommodate Trucks
Header Curbs
7 ft. Tree Lawn
Allee, 25-30 ft. o.c.
None
Provided

Trees may need to be maintained to permit a higher vertical clearance to accommodate truck traffic.

PLACE TYPE NOTES

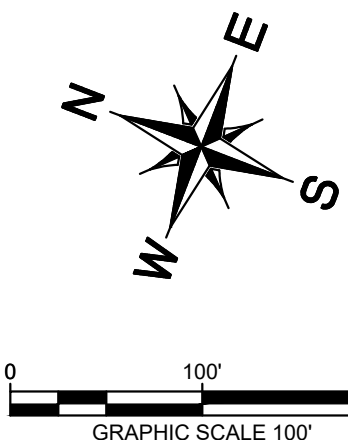
1. SITE WILL BE 100% EC
2. DUE TO USE OF PUBLIC UTILITIES WITH OVERHEAD ELECTRIC ON-SITE, 0% CS IS PROPOSED PER ONCOR SAFETY STANDARDS.
3. INDUSTRIAL BOULEVARD (IB) WILL HAVE 70' ROW
4. ACCESS ROAD (AR) WILL HAVE 34' ROW
5. ALL SITE NOTES, PAVEMENT SECTIONS ARE SUBJECT TO REVIEW OF THE SUBDIVISION IMPROVEMENTS AND SITE DEVELOPMENT PLANS

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.

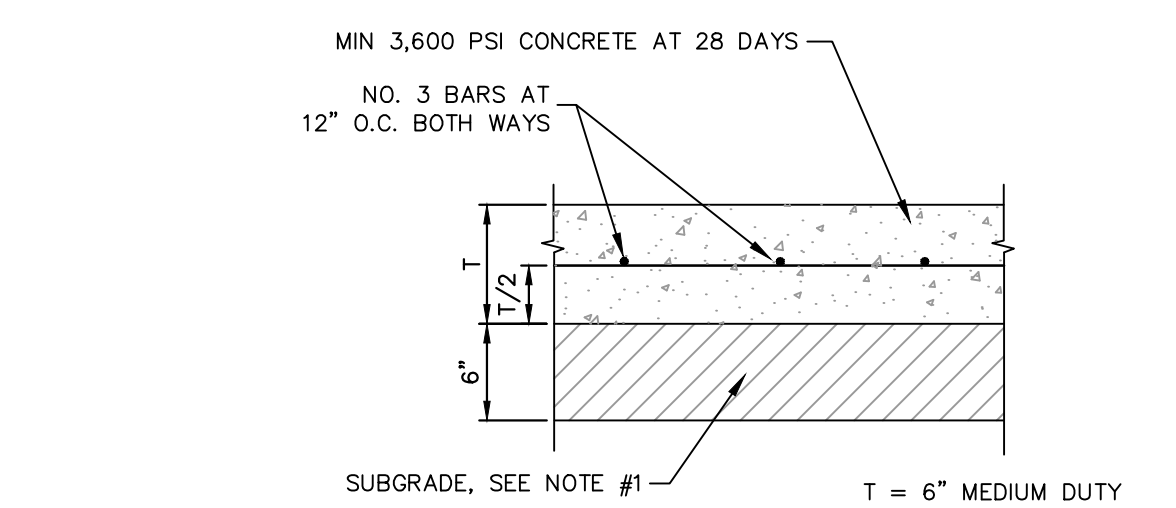
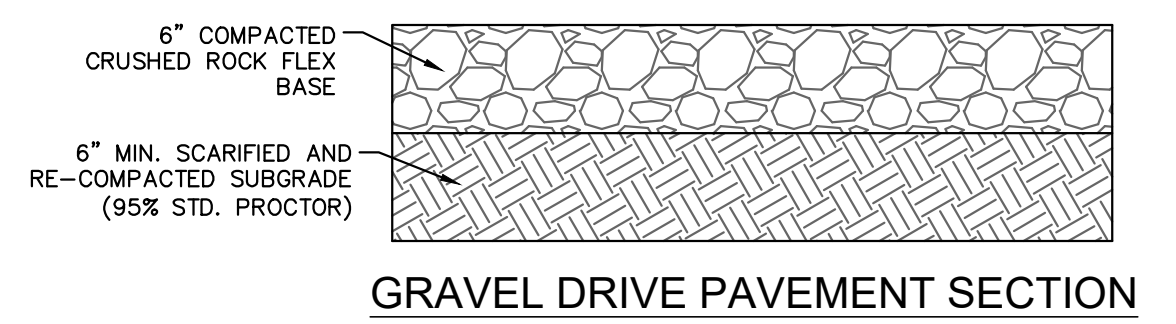
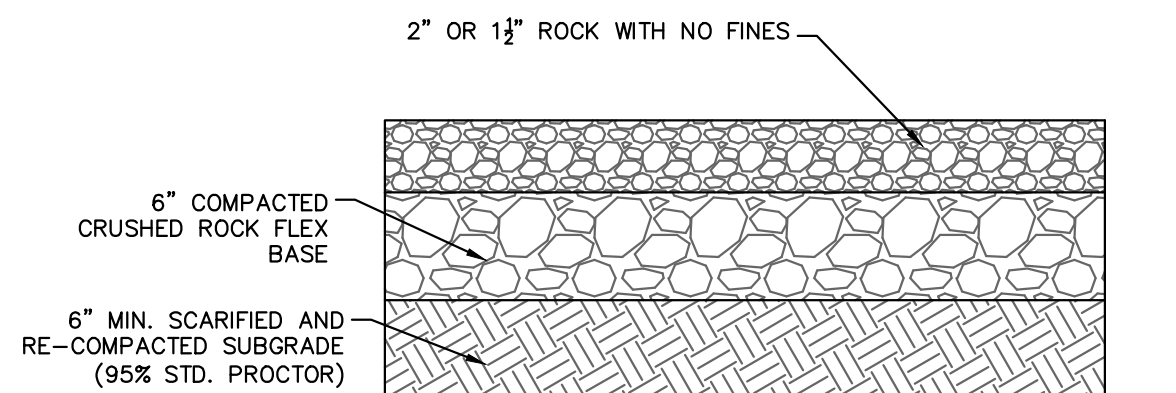
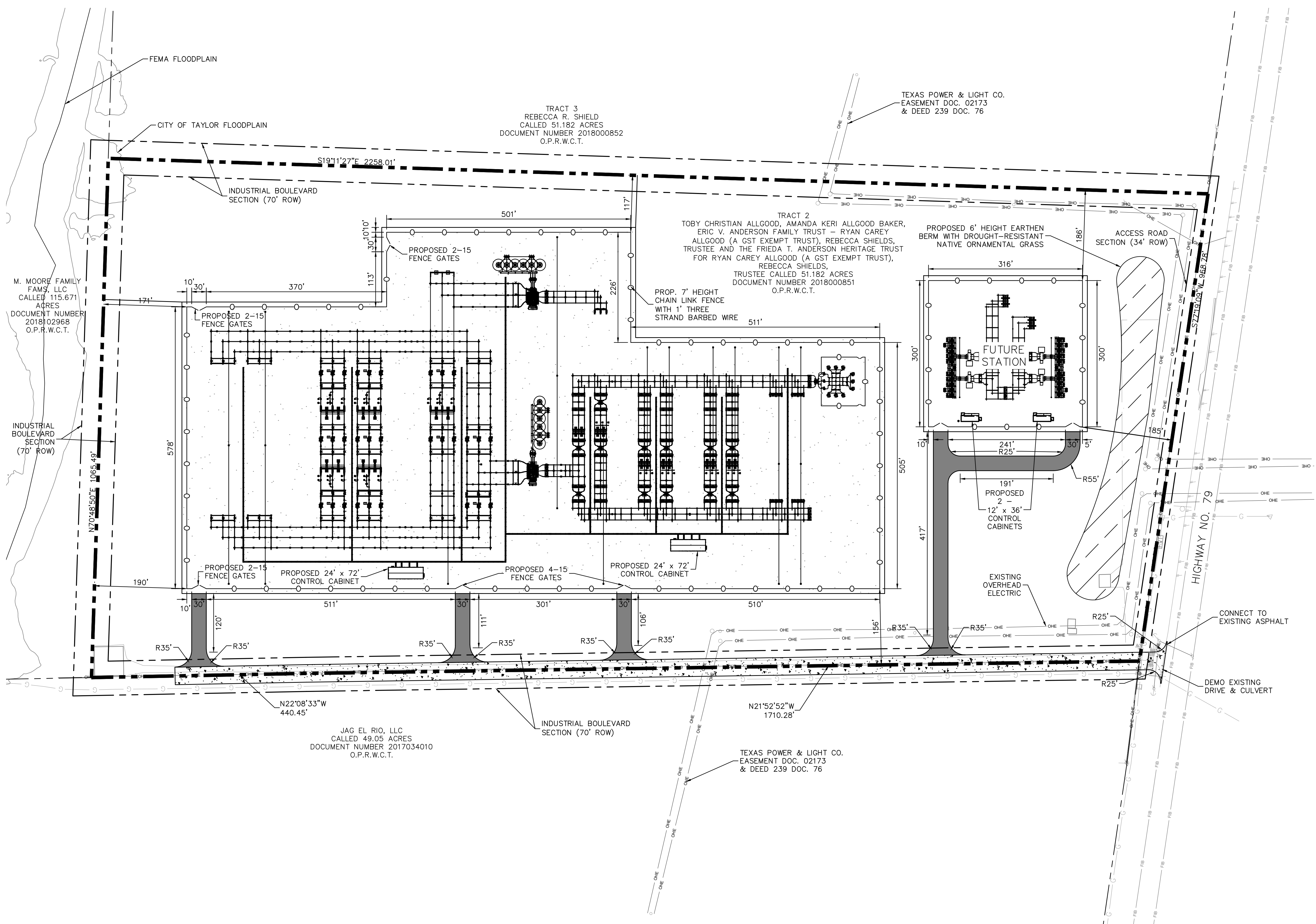
PAVEMENT SECTION NOTES

- PAVEMENT SHOULD BE SPECIFIED, CONSTRUCTED AND TESTED TO MEET THE FOLLOWING REQUIREMENTS:
1. REINFORCING STEEL MAY CONSIST OF #3 REINFORCING STEEL BARS PLACED AT 12 INCHES ON CENTER EACH WAY. THE REINFORCING STEEL SHOULD BE PLACED AT MID-POINT OF THE PAVEMENT SECTION.
 2. PORTLAND CEMENT CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF 3,600 LBS PER SQ INCH AT 28 DAYS. CONCRETE SHOULD BE DESIGNED WITH 3 TO 6 PERCENT ENTRAINMENT AIR.
 3. REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROP. 7' HEIGHT CHAIN LINK FENCE WITH 1" THREE STRAND BARBED WIRE
	SUBSTATION PAD PAVEMENT: CRUSHED ROCK FLEX BASE PAVEMENT REFER TO PAVEMENT SECTIONS.
	GRAVEL DRIVE PAVEMENT: CRUSHED ROCK FLEX BASE PAVEMENT REFER TO PAVEMENT SECTIONS.
	MEDIUM DUTY CONCRETE PAVEMENT: 6" MEDIUM DUTY CONCRETE PAVEMENT. REFER TO PAVEMENT SECTIONS.



NOTE #1: SUBGRADE SHALL BE STABILIZED WITH 6% BY WEIGHT, WITH HYDRATED LIME, APPLIED TO A DENSITY OF NOT LESS THAN 95% LABORATORY TESTS MUST BE SUBMITTED TO THE CONSULTING ENGINEER FOR APPROVAL. AFTER THE DETERMINATION HAS BEEN MADE AS TO THE AMOUNT OF LIME REQUIRED, LABORATORY TESTS MAY BE WAIVED PROVIDED AT LEAST 43 POUNDS OF LIME PER SQUARE YARD IS USED.

N.T.S.

SITE PLAN

FOR
ONCOR MUSCOVY SWITCH
HIGHWAY 79 W,
CITY OF TAYLOR, WILLIAMSON COUNTY, TX 76574
AW0213 EAVES, J.C. SUR., ACRES 51.190
OUT OF
EAVES, J.C SURVEY, ABSTRACT NO. 491213
IN
CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS

OWNER/DEVELOPER: Oncon 777 Main St, Suite 707 Fort Worth, TX 76102 Tel: (817) 940-0863 Contact: Ashton Miller		ENGINEER/SURVEYOR: Kimley-Horn 6180 Warren Parkway, Suite 210 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Rob Myers, P.E.	
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DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.
RJM	JTS	GCB	AS SHOWN	01/22/2026	064426156

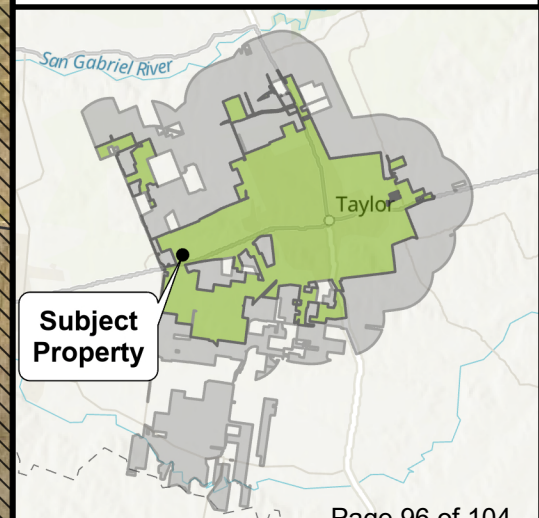
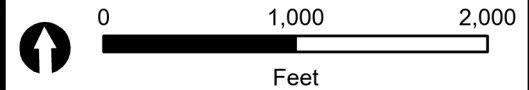
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 LAST SAVED: 1/22/2026 10:45:54 AM
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PZ-2025-2606

**Highway 79
Employment Center Plan
Location Map
Approximately 51 acres**

- Subject Property
- City Limits
- ETJ Boundary
- Parcel Boundary





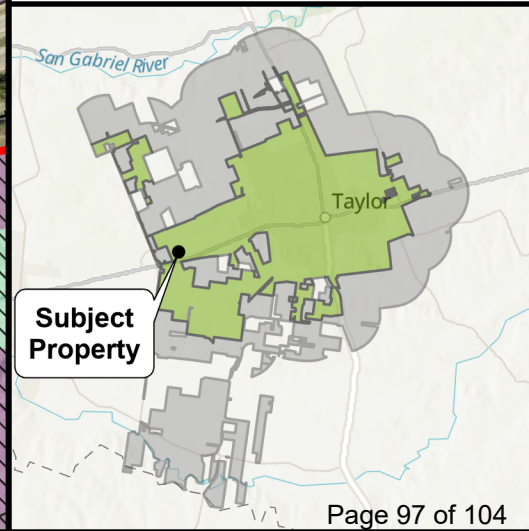
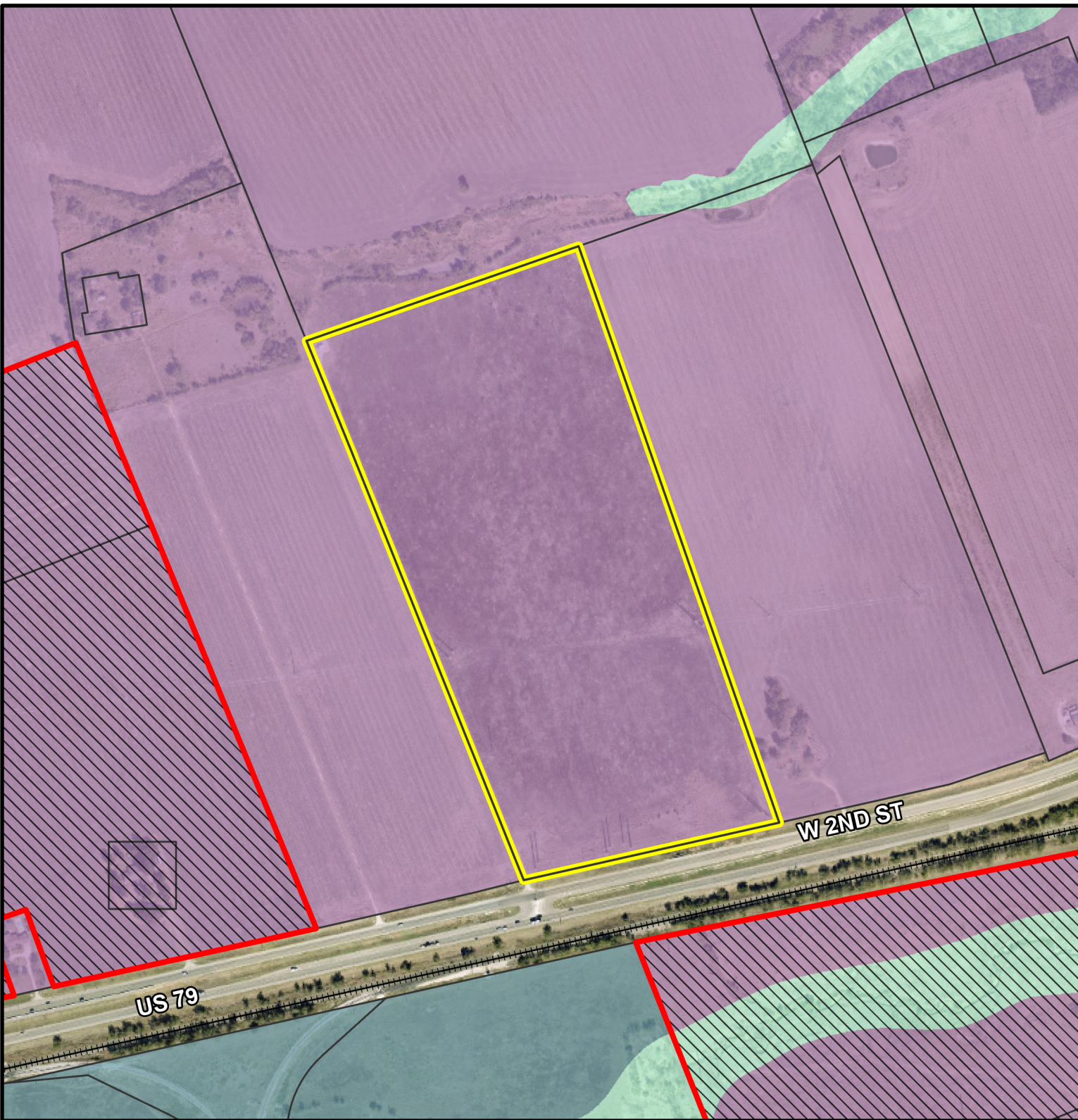
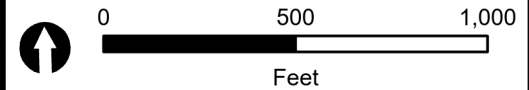
PZ-2025-2606

Highway 79 Employment Center Plan Future Land Use Map Approximately 51 acres

- Subject Property
- City Limits
- ETJ Boundary
- Parcel Boundary

Future Land Use

- Employment: Regional
- Employment: Special Zone
- Open Space

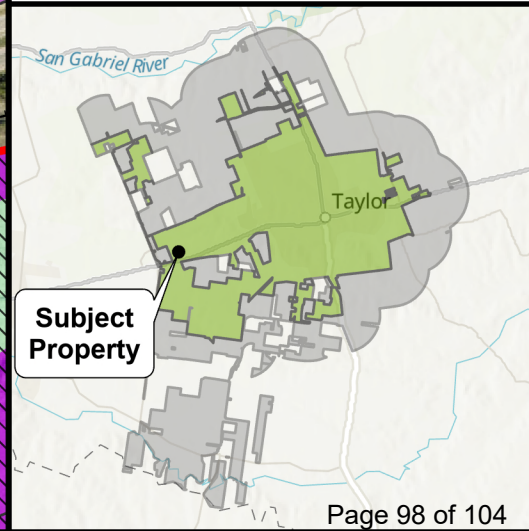
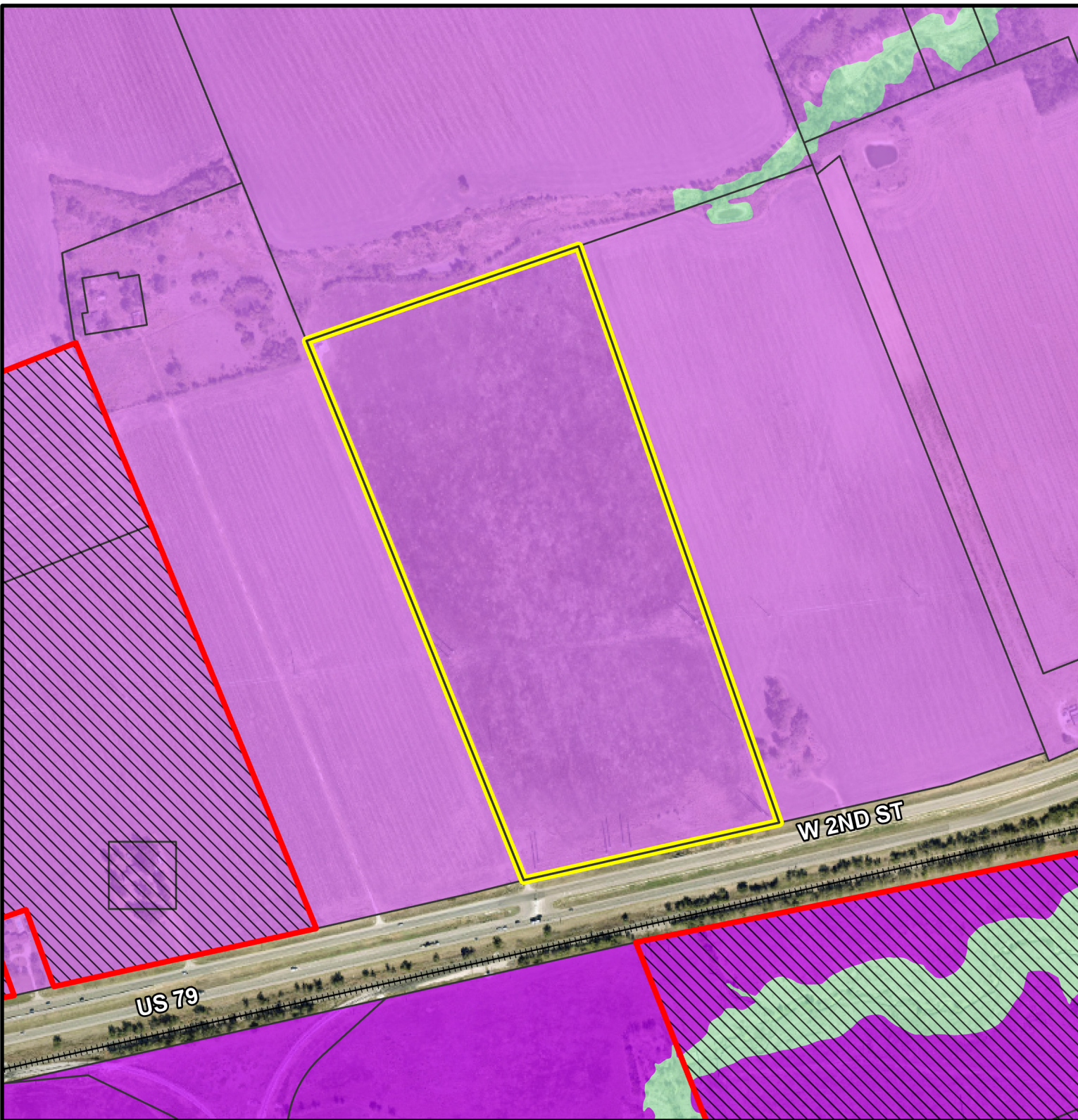
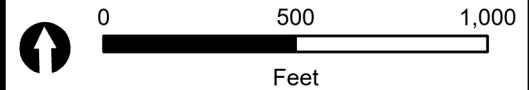




PZ-2025-2606

Highway 79 Employment Center Plan Growth Sector Map Approximately 51 acres

- Subject Property
- City Limits
- ETJ Boundary
- Parcel Boundary
- Growth Sector**
 - Reserved Open Sector (O-2)
 - Future Growth Sector (G-1)
 - Controlled Growth Sector Tier I (G-2.1)
 - Controlled Growth Sector Tier II (G-2.2)

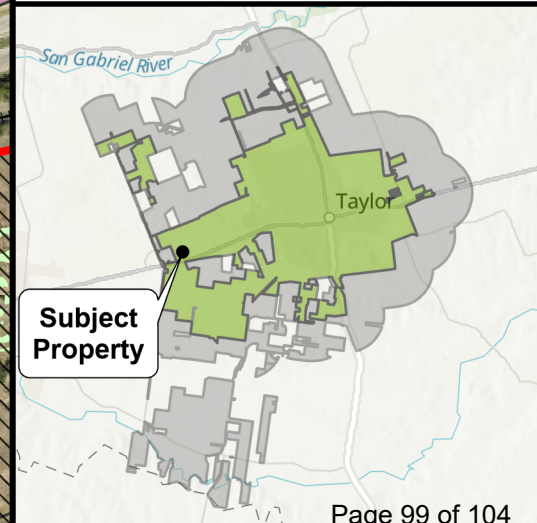
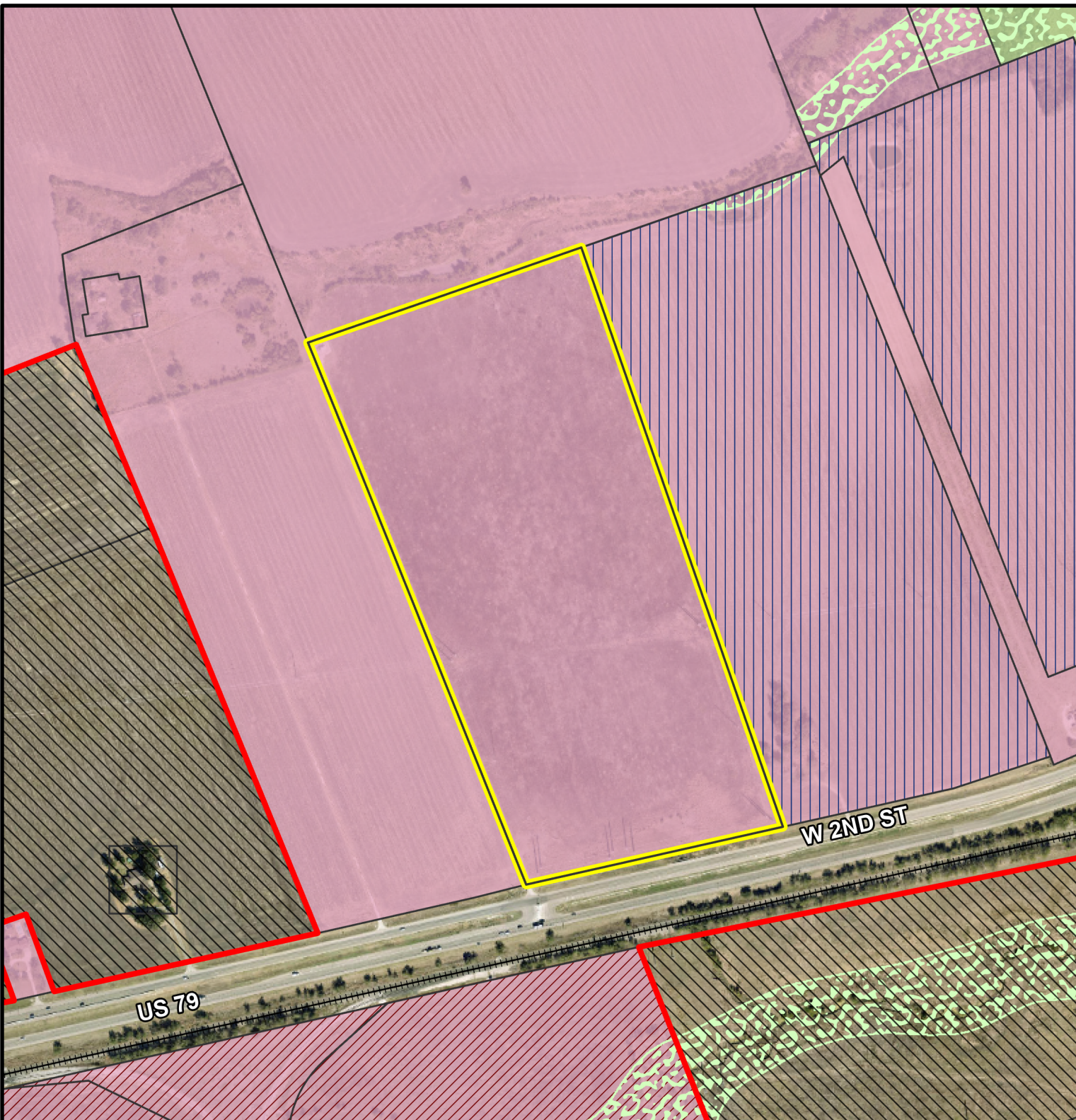




PZ-2025-2606

Highway 79 Employment Center Plan Current Zoning Map Approximately 51 acres

- Subject Property
- City Limits
- ETJ Boundary
- Parcel Boundary
- Employment Center Plan Overlay
- Planned Development Overlay
- P1: Nature
- P2: Rural
- Place Type Zoning**
 - EC: Employment Center

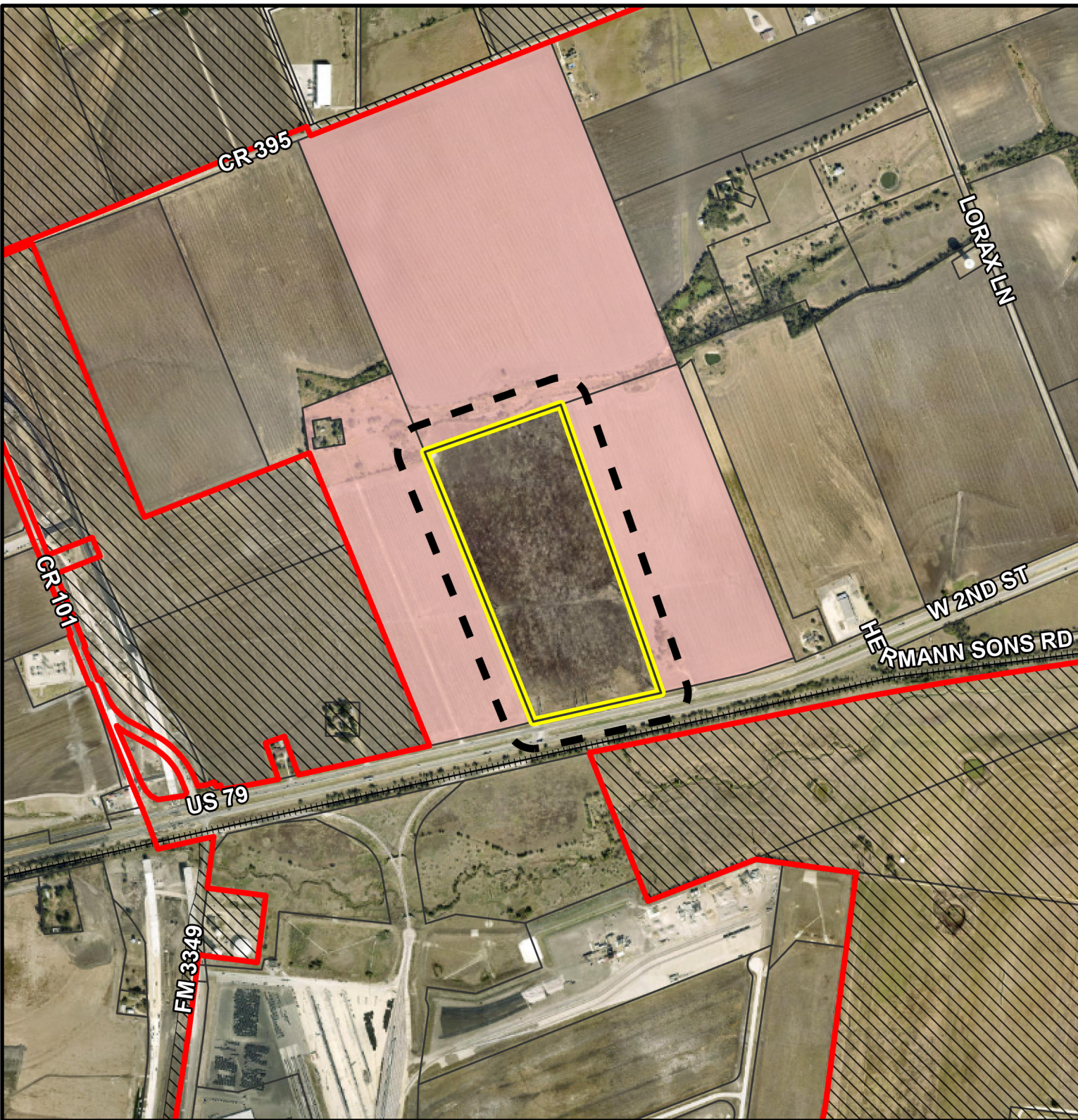
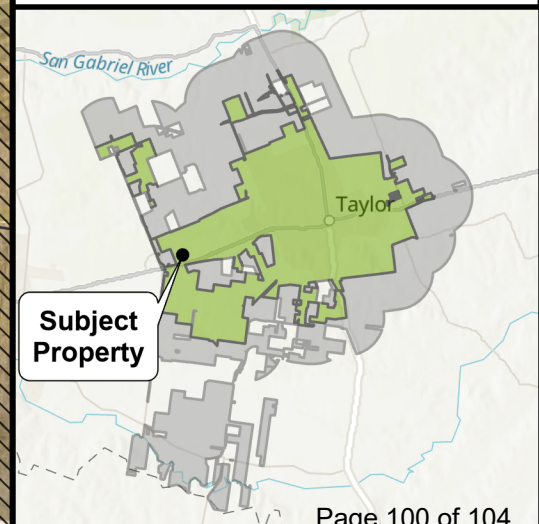
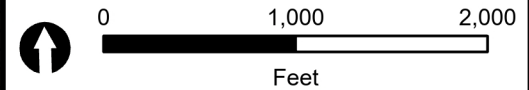




PZ-2025-2606

Highway 79 Employment Center Plan Notification Map Approximately 51 acres

- Subject Property
- 200-ft. Buffer
- City Limits
- ETJ Boundary
- Parcel Boundary
- Notified Properties



ORDINANCE NO. 2026-0X

AN ORDINANCE APPROVING A EMPLOYMENT CENTER PLAN REFERRED TO AS ONCOR MUSCOVY SWITCH STATION, CONSISTING OF APPROXIMATELY 51.19 ACRES OF LAND IN THE J C EAVES SURVEY, ABSTRACT NO. 213, MORE PARTICULARLY DESCRIBED BY THE WILLIAMSON CENTRAL APPRAISAL DISTRICT PARCELS R565218, TAYLOR, WILLIAMSON COUNTY, TEXAS; AMENDING THE OFFICAL ZONING MAP OF THE CITY OF TAYLOR, TEXAS, TO SHOW THE ZONING CHANGE ADOPTED HEREIN; PROVIDING A SAVINGS CLAUSE.

WHEREAS, the Taylor City Council conducted a public hearing on February 26th, 2026, to consider the request made by the applicant, whose property is legally described in Exhibit “A” attached hereto and incorporated by reference herein for all purposes (“Property”), to approve the Employment Center Plan, referred to as Oncor Muscovy Switch Station; and

WHEREAS, the Planning and Zoning Commission, after proper notice, conducted a public hearing on February 10th, 2026, to consider the zoning request, and recommended approval of the Employment Center Plan and the Property zoning change; and

WHEREAS, the City Council, after the public hearing, approves the request for the Property zoning change.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAYLOR, TEXAS, THAT:

SECTION 1. The facts and recitations contained in the preamble of this Ordinance are hereby declared to be true and correct and are incorporated by reference herein and made a part hereof, as if copied verbatim.

SECTION 2. The Official Zoning map of the City of Taylor, Texas, is changed to indicate that a Neighborhood Plan has been approved for the Property and to show the allocation and location of Place Types on the Property as depicted in the Employment Center Plan attached hereto for the purpose as Exhibit “B” .

SECTION 3. All other terms and conditions contained in the official zoning map, except as amended herein, shall continue and remain in full force and effect.

SECTION 4. Should any section, paragraph, clause, phrase, or provision of this Ordinance be adjudged invalid or held unconstitutional, the same shall not affect the validity of this Ordinance as a whole or any part of the provisions thereof, other than the part so decided to be invalid or unconstitutional.

SECTION 6. In accordance with Article VIII of the City Charter, Ordinance 2026-00 was introduced before the Taylor City Council on the 26th day of February 2026.

PASSED, APPROVED, and ADOPTED on the _____ day of _____, 2026.

Dwayne Ariola, Mayor

ATTEST:

Lucy Aldrich, City Clerk

APPROVED AS TO FORM:

Mark Schroeder,
City Attorney

CERTIFICATE

THE STATE OF TEXAS

COUNTY OF WILLIAMSON

I, Lucy Aldrich, being the current City Clerk of the City of Taylor, Texas, do hereby certify that the attached is a true and correct copy of Ordinance No. 2026-00, passed and approved by the City Council of the City of Taylor, Texas, on the _____ day of _____ 2026, and such Ordinance was duly introduced, passed, approved and adopted at meetings open to the public and notices of the meetings, giving the dates, places, and subject matter thereof, were posted as prescribed by Government Code Section 551.043.

Witness my hand and seal of office this _____ day of _____ 2026.

Lucy Aldrich
City Clerk

EXHIBIT A
(Legal Description/Survey)

