

AGENDA

CITY OF TAYLOR, TEXAS CITY COUNCIL MEETING CITY HALL, COUNCIL CHAMBERS, 400 PORTER STREET

DECEMBER 12, 2013, 6:00 P.M.

CALL TO ORDER AND DECLARE A QUORUM

INVOCATION

PLEDGE OF ALLEGIANCE

CITIZENS COMMUNICATION

(The City Council welcomes public comments on items not listed on the agenda. However, the Council cannot respond until the item is posted on a future meeting agenda. Registration forms are available at the sign in table.)

CONSENT AGENDA

(The Consent Agenda includes non-controversial and routine items that the Council may act on with one single vote. The Mayor or any Council member may pull any item from the Consent Agenda to discuss and act upon individually on the Regular Agenda.)

1. Approve minutes for November 14, 2013. (Susan Brock)
2. Approve Ordinance 2013-26 amending the Zoning Ordinance to allow Mobile food Vendors within commercial areas. (Bob vanTil)
3. Accept Semi Annual Impact Fee Report from the Taylor Impact Fee Advisory Committee for April –September 30, 2013. (Bob vanTil)
4. Receive the Tax Increment Financing Annual District Annual Report. (Bob vanTil)
5. Concur with preliminary financials for October, 2013. (Rosemarie Dennis)

RECOGNITION

6. Recognize the Finance Department for receiving a Gold Leadership Circle Award for financial transparency. (Jim Dunaway)
7. Recognize the Finance Department for receiving a Certificate of Achievement for Excellence in Financial Reporting by the Government Finance Officers Association of the United States and Canada for its Comprehensive Annual Financial Report (CAFR). (Jim Dunaway)

PUBLIC HEARING

8. Conduct Public Hearing and consider introducing Ordinance 2013-29 regarding a request to rezone property generally located at 3609 Old Georgetown Road, also known as 3.06 acres of land out of the Samuel A. Pharrass Survey, Abstract No. 496, City of Taylor, from B-1 Local Business to B-2 General Business. (Bob vanTil)

REGULAR AGENDA; REVIEW/DISCUSS AND CONSIDER ACTION

9. Consider Publicity and Tourism agreement with Taylor Chamber of Commerce. (Jeff Straub)
10. Receive executive summary regarding the water and wastewater rate study. (Rosemarie Dennis; Mickey Fishbeck)
11. Authorize City Manager to execute an agreement with Hogaboom Road, Inc. to partially fund a documentary about the former Governor Dan Moody. (Bob vanTil; Susan Komandosky)
12. Consider revised Tax Increment Financing (TIF) Project and Financing Plan. (Bob vanTil)
13. Consider authorizing City Manager to enter into a 380 Agreement with Chisum Pierce for asbestos abatement on property located at 220 W. 4th Street. (Bob vanTil)

14. Consider Resolution R13-19 setting January 23, 2014 as the date for a Public Hearing to receive comments regarding roadway impact fees. (Bob vanTil)
15. Consider proposals to remove the 1935 City Hall building. (Bob vanTil; Jeff Straub)
16. Consider appointments to Taylor Economic Development Corporation Board of Directors. (Jeff Straub)
17. Discuss and consider search mechanism and process for recruitment and selection of a City Manager. (Mayor)
18. Discuss future agenda items. (Mayor)

EXECUTIVE SESSION

19. Executive Session. The Taylor City Council will hold a closed executive meeting pursuant to the provisions of the Open Meetings Law, Chapter 551, Government Code, in accordance with the authority contained in Section 551.074 to discuss personnel matters.
 - Interim City Manager compensation
20. Consider action from Executive Session.

ADJOURN

The Council may vote and/or act upon each of the items listed in this Agenda. The Council reserves the right to retire into executive session concerning any of the items listed on this Agenda, whenever it is considered necessary and legally justified under the Open Meetings Act including: Section 551.071 (Consult with attorney); Section 551.072 (Real Property); Section 551.073 (Gifts and Donations); Section 551.074 (Personnel Matters); Section 551.076 (Security Devices); and Section 551.087 (Economic Development).

CERTIFICATION

I certify that the notice of meeting was posted in the Taylor City Hall Lobby before 6:00 pm on December 9, 2013 and remained posted for at least 72 hours continuously before the scheduled time of said meeting. I further certify that the following news media was notified of this meeting: Taylor Daily Press.

In compliance with the ADA the City Hall and Council Chambers are wheelchair accessible. Reasonable accommodations will be provided for persons attending city council meetings in need of special assistance. Please contact Susan Brock, City Clerk, at least 24 hours prior to the meeting for special assistance.

Posted By:

Susan Brock
Susan Brock, City Clerk

12/6/13
Date

Date Removed: _____



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 1
Agenda Title: Approve minutes for November 14, 2013.
Council Action: Approve by consent or approve with corrections
Initiating Department: City Management/City Clerk
Staff Contact: Susan Brock, City Clerk

1. INTRODUCTION/PURPOSE

Pursuant to the Open Meetings Law, Chapter 551, Local Government Code and in accordance with the authority contained in Section 551.021 and the City Charter, the "Minutes" of each City Council must be recorded, compiled and approved by the City Council in subsequent meetings. The purpose of this item is to conform to these legal requirements.

2. DESCRIPTION/ JUSTIFICATION

N/A

3. FINANCIAL/BUDGET

N/A

4. RECOMMENDATION

Approve as submitted or amend with changes noted.

5. REFERENCE FILES

1a. [Minutes, November 14, 2013.](#)

The City Council of the City of Taylor met on November 14, 2013, at City Hall, 400 Porter St., Taylor, Texas. Noting the absence of Mayor Pro Tem Gonzales, Mayor Jesse Ancira, Jr. declared a quorum and called the meeting to order at 6:00 p.m. with the following present:

Council Member Scott Green
Council Member Do Hill
Council Member Brandt Rydell

Jim Dunaway, City Manager
Jeff Straub, Assistant City Manager
Ted Hejl, City Attorney
Susan Brock, City Clerk

INVOCATION

Mr. Straub led the group in prayer.

PLEDGE OF ALLEGIANCE

CITIZENS COMMUNICATION

Mr. Andreas Leal, Sr., read a letter he had distributed to Council regarding his difficulty getting a specific issue resolved with city staff. Additional citizens who signed up to speak during this time opted to wait until their issue was addressed on the agenda.

CONSENT AGENDA

1. APPROVE MINUTES FOR OCTOBER 24, 2013.
2. APPROVE ORDINANCE 2013-25 AMENDING THE FUTURE LAND USE MAP BY ADDING FUTURE LAND USE DESIGNATIONS TO AREAS ADJACENT TO ANNEXED PROPERTIES WITHIN THE EXTRATERRITORIAL JURISDICTION OF TAYLOR, TEXAS.

ORDINANCE NO. 2013-25

AN ORDINANCE ADDING FUTURE LAND USES TO ADJACENT AREAS WITHIN TAYLOR'S EXTRATERRITORIAL JURISDICTION AS SHOWN ON EXHIBIT A; AMENDING THE OFFICIAL FUTURE LAND USE MAP OF THE CITY OF TAYLOR, TEXAS, TO SHOW THE FUTURE LAND USE ADDITIONS ADOPTED HEREIN; PROVIDING A SAVINGS CLAUSE.

3. APPROVE ORDINANCE 2013-28 ESTABLISHING SCHOOL ZONES IN THE CITY OF TAYLOR.

ORDINANCE NO. 2013-28

ORDINANCE ESTABLISHING SCHOOL ZONES WITHIN THE CITY OF TAYLOR, TEXAS, AT LOCATIONS SET FORTH HEREIN; ESTABLISHING REDUCED SPEED LIMITS WITHIN THE ESTABLISHED SCHOOL ZONES DURING THE HOURS SET FORTH HEREIN OR WHEN DESIGNATED BY A FLASHING SIGN; PROVIDING FOR A FINE OR PENALTY OF THIS ORDINANCE AS A MISDEMEANOR SUBJECT TO A FINE NOT TO EXCEED \$500.00 FOR EACH OFFENSE, EXCEPT HOWEVER, WHERE A DIFFERENT PENALTY HAS BEEN ESTABLISHED BY STATE LAW FOR SUCH OFFENSE, IN WHICH

EVENT THE PENALTY SHALL BE FIXED BY STATE LAW AND IF DEEMED A VIOLATION OF ANY PROVISION THAT GOVERNS FIRE SAFETY, ZONING, OR PUBLIC HEALTH AND SANITATION, THE PENALTY SHALL NOT EXCEED THE SUM OF \$2,000.00 FOR EACH OFFENSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING FOR PUBLICATION.

4. APPROVE CONTRACT WITH LANGFORD MANAGEMENT SYSTEMS FOR ADMINISTRATIVE SERVICES OF THE AMY YOUNG BARRIER REMOVAL PROGRAM.
5. CONCUR WITH PRELIMINARY FINANCIALS FOR SEPTEMBER, 2013.
Council Member Hill moved to approve the consent agenda as presented and Council Member Rydell seconded the motion. VOTE: Four voted AYE. Motion passed.

PUBLIC HEARINGS

6. CONTINUE PUBLIC HEARING AND CONSIDER INTRODUCING ORDINANCE 2013-21 REGARDING A REQUEST FROM HUMBERTO SUAREZ, PROPERTY OWNER IS TAPIMATA LLC, TO REZONE PROPERTY IN THE VICINITY OF 1202-1402 WELCH STREET ALSO DESCRIBED AS 12.44 ACRES OUT OF THE JAMES C. EAVES SURVEY ABSTRACT NO. 214 AND THE WILLIAM R WILLIAMS SURVEY, ABSTRACT NO. 665, CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS FROM R1 (SINGLE FAMILY) TO M1 (LIGHT INDUSTRIAL) AND ALSO A REQUEST FOR A SPECIFIC USE PERMIT IN THE M-1 DISTRICT FOR A RODEO.
Mayor Ancira continued the Public Hearing on this item from the previous meeting on October 24. Mr. Bob vanTil, Director of Planning and Development, presented an overview of the process and the current situation regarding a request to rezone property located at 1402 Welch Street. He reminded Council that the Planning and Zoning Commission had approved this request. Mayor Ancira invited any speakers to step forward to the podium.

Speaking against the proposed zoning request were: Meggan Crow, Union Pacific Railroad; Andrew Dye, Correction Corporation of America (CCA); Francisco Venegas, Immigration and Customs Enforcement (ICE); and Janice Killian, Director of T. Don Hutto. Speaking in favor of the rezoning issue were: Andreas Leal, Tony Gomes, Andrew Gonzales, Destiny Pena, Johan Borger, Daniel Jones, Ray Pena, Patricio Meza, Alicia Gonzales, Virginia Pena, and Arturo Flores. Citing continued concerns regarding this issue Council Member Hill moved to send this item back to the Planning and Zoning Commission to seek a compromise through negotiations with all parties. Council Member Green seconded the motion. VOTE: Four voted AYE. Motion passed.

ORDINANCE NO. 2013-21

AN ORDINANCE REZONING PROPERTY FROM R-1 TO M-1 AND INCLUDING A SPECIFIC USE PERMIT FOR A RODEO, INCLUDING CONDITIONS, AND INCLUDING AN EXPIRATION DATE FOR PROPERTY LOCATED AT 1202-1402 WELCH STREET; AND PROVIDING A SAVINGS CLAUSE.

7. CONTINUE PUBLIC HEARING AND CONSIDER INTRODUCING ORDINANCE 2013-22 REGARDING AMENDING THE ZONING ORDINANCE TO ALLOW MUSIC CONCERT AND DANCE HALL, OUTDOOR, WITH A SPECIFIC USE PERMIT IN CERTAIN ZONING DISTRICTS.

Mayor Ancira reopened the Public Hearing and stated that this item relates to the previous subject and may have already been addressed. Hearing no public comment, the hearing was closed and no further discussion or action was taken.

ORDINANCE NO. 2013-22

AN ORDINANCE AMENDING THE ZONING ORDINANCE TO ADD MUSIC CONCERT AND DANCE HALL, OUTDOOR TO TABLE 3 PERMITTED USES; ADD A DEFINITION FOR MUSIC CONCERTS AND DANCE HALL, OUTDOOR; AND PROVIDING A SAVINGS CLAUSE.

REGULAR AGENDA: REVIEW/DISCUSS AND CONSIDER ACTION

8. CONSIDER REQUEST FROM WILLIAMSON COUNTY PARK FOUNDATION TO RETURN FIVE ACRES OF LAND DEEDED TO THE CITY FOR THE PURPOSE OF BUILDING AN INDOOR RECREATION CENTER.

Mr. Dunaway presented a request from the Williamson County Park Foundation to return property previously deeded to the city to build a recreation center. Now that the possibility of such a venture is no longer planned the county is asking for the property to be returned.

Council Member Green moved to return the property as described and Council Member Hill seconded the motion. VOTE: Four voted AYE. Motion passed.

9. CONSIDER REQUEST FROM SUMMERFIELD HOME OWNERS ASSOCIATION REGARDING BULK WATER RATE.

Mr. Dunaway presented a request from the Summerfield Home Owners Association to consider offering water at a reduced rate for their landscaping needs. Mr. Matthew Temple spoke on behalf of the association and provided council information on the group's efforts to plant drought resistant landscaping in an effort to reduce water usage.

Mr. Dunaway emphasized the negative effect this action could have on future utility revenues.

Council Member Rydell suggested we work on a plan to develop tiered prices for such use and was told that staff will be bringing a water rate study to them for their review in the very near future. No further action was taken on this item.

10. CONSIDER ADOPTION OF THE LOCAL HISTORY AND ARCHIVES POLICY FOR THE TAYLOR PUBLIC LIBRARY.

Ms. Karen Ellis, Library Director, presented a request to consider adopting a collection policy regarding Local History and Archives.

Council Member Rydell moved to approve the policy as presented and Council Member Green seconded the motion. VOTE: Four voted AYE. Motion passed.

11. CONSIDER APPROVING RESOLUTION R13-18 SUBMITTING A BALLOT FOR THE WILLIAMSON CENTRAL APPRAISAL BOARD OF DIRECTORS.

Mr. Straub provided information regarding a resolution indicating the voting preference of the council regarding the election of a board member to the Williamson Central Appraisal Board of Directors. Previously, Council had nominated Deborah Hunt to the ballot, and Council Member Green moved that Council cast their 40 votes for Ms. Hunt via the resolution presented. Council Member Hill seconded the motion. VOTE: Four voted AYE. Motion passed.

12. CONTINUE DISCUSSION ON MUNICIPAL DRAINAGE UTILITY SYSTEM FUNDED PROJECTS AND CONSIDER RFQ FOR ENGINEERING SERVICES.

Mr. Straub reminded Council that they had directed staff to move forward with the process of soliciting Requests For Qualifications (RFQ) by invitation. Mr. Sledge presented the list of possible projects to be considered for funding with the MDUS fees. Council Member Hill moved to direct staff to advertise for RFQ's rather than solicit by invitation in an effort to attract more firms and Council Member Green seconded the motion. VOTE: Four voted AYE. Motion passed.

13. DISCUSS AND CONSIDER SEARCH MECHANISM AND PROCESS FOR RECRUITMENT AND SELECTION OF A CITY MANAGER.

Mayor Ancira provided council members with copies of the proposals received from firms interested in conducting a search for the next city manager. Citing the absence of Mayor Pro Tem Gonzales, Mayor Ancira chose to not move forward at this time until a full council was present.

14. DISCUSS AND CONSIDER FUTURE ITEMS FOR DISCUSSION

Mayor Ancira asked for a status report on the Taylor Housing Authority, an update on the disposition of the Old City Hall, and information regarding the water rate study; Council Member Hill would like to continue with work on developing an annual street maintenance plan and funding mechanisms; and Council Member Green asked for more information regarding Bureau Veritas and the possibility of an in-house engineering department as well as a discussion on a possible charter amendment election.

Mayor Ancira and council members retired to closed session at 8:18 pm.

15. EXECUTIVE SESSION I. The Taylor City Council will conduct a closed executive meeting pursuant to the provisions of the Open Meetings Law, Chapter 551, Texas Local Government Code, and the authority contained in Section 551.087 to discuss or deliberate regarding commercial and/or financial information on a business prospect that the City of Taylor, Texas, seeks to have locate, stay, or expand in or near the City of Taylor, Texas, and with which the City of Taylor, Texas, is conducting economic development negotiations and/or deliberate the offer of financial or other incentives to the business prospect.

- Project Austin

16. EXECUTIVE SESSION II. The Taylor City Council will conduct a closed executive meeting pursuant to the provisions of the Open Meetings Law, Chapter 551, Government Code, in accordance with the authority contained in Section 551.074 to discuss personnel matters.

- Interim City Manager position.

17. CONSIDER ACTION FROM EITHER EXECUTIVE SESSION.

Council returned to open session at 8:59 pm and Mayor Ancira stated that no action or vote was taken during either executive session. Addressing the issue discussed in Executive Session II, Council Member Hill moved to appoint Jeff Straub as Interim City Manager at 5:00 pm on December 31, 2013. Council Member Green seconded the motion. VOTE: Four voted AYE. Motion passed.

ADJOURN

With no further business; Mayor Ancira adjourned the meeting at 9:00 p.m.

Jesse Ancira, Jr., Mayor

ATTEST:

Susan Brock, City Clerk



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 2

Agenda Title: Approve Ordinance 2013-26 amending the Zoning Ordinance to allow Mobile Food Vendors.

Council Action: Approve Ordinance 2013-26 by consent

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

The purpose of this item is for the City Council to approve Ordinance 2013-26 by consent. This Ordinance amends the Zoning Ordinance to allow Mobile Food Vendors within commercial areas.

Several months ago, a Mobile Food Vendor approached the City about setting up his trailer in front of HEB. The current regulations do not support this activity. The regulations limit these types of facilities to areas that are zoned industrial.

2. DESCRIPTION/ JUSTIFICATION

Currently the Zoning Ordinance allows a business that is not comprised of "brick and mortar" to locate only within the Industrial Zoning Districts. There has been interest by local Mobile Food Vendors or "Food Trucks" to locate within Taylor at an established business, such as HEB. A number of area cities allow for mobile vending including Hutto, Pflugerville and Austin.

This Ordinance will allow for both food trucks in appropriately zoned areas in front of established businesses, as well as within a Mobil Food Vendor food court. The proposed zoning districts that would allow this use are: B-1, B-2, B-3, BP-1, BP-1, M-1, M-2, and with a Specific Use Permit in DN.

Mr. Royce Hatch from Hutto has been kind enough to give us some guidance on this topic, since he has been operating an ice cream truck within Williamson County and is familiar with the operations required for a mobile vending unit. Mr. Hatch has reviewed the proposed ordinance and is in agreement with its requirements.

As part of the outreach effort, in addition to contacting Mr. Hatch and the Austin Food Truck Association, the City published an article in the Taylor Daily Press in late September. The required notices were also published in the newspaper as well. During the planning process, the leadership was also kept apprised of the progress of the project.

3. FINANCIAL/BUDGET

N/A

4. RECOMMENDATION

The Planning and Zoning Commission conducted a public hearing on this proposed amendment on October 8, 2013. Following the public hearing, the Planning and Zoning Commission recommended approval of Ordinance 2013-26.

Staff recommends approval of the ordinance.

5. TIME LINE CONSIDERATIONS

Council held a public hearing and introduced this ordinance on October 24, 2013.

6. REFERENCE FILES (Attachments)

2a. [Ordinance 2013-26](#)

ORDINANCE NO. 2013-26

AN ORDINANCE AMENDING ZONING ORDINANCE NO. 2001-17 ADOPTED BY THE CITY OF TAYLOR, TEXAS, ON APRIL 24, 2001, AS HERETOFORE AMENDED, BY ALLOWING MOBILE FOOD VENDORS AND FOOD COURTS AS PROVIDED IN THIS ORDINANCE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF FIVE HUNDRED DOLLARS (\$500.00) FOR EACH OFFENSE, EXCEPT WHERE A DIFFERENT PENALTY HAS BEEN ESTABLISHED BY STATE LAW FOR SUCH OFFENSE, OR FOR ANY VIOLATION OF ANY PROVISION OR REGULATION WHICH GOVERNS FIRE SAFETY, ZONING, OR PUBLIC HEALTH AND SANITATION, WHICH SHALL BE PUNISHED BY PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); PROVIDING SEVERABILITY, REPEALER, AND PUBLICATION CLAUSES.

WHEREAS, the City of Taylor, Texas, desires to amend the Zoning Ordinance, Ordinance 2001-17 as previously amended ("Zoning Ordinance"), to allow Mobile Food Vendors and Food Courts within certain districts, as a Commercial Accessory Use; and

WHEREAS, the Planning and Zoning Commission conducted a Public Hearing for the changes set forth in this Ordinance on October 8, 2013, and recommended approval of them to the City Council ; and

WHEREAS, the City Council conducted a public hearing regarding this Ordinance and no opposition was expressed during the hearing regarding the zoning changes; and

WHEREAS, the City Council deems it is in the best interest of the City that the amendments to the Zoning Ordinance stated herein be approved.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAYLOR, TEXAS:

SECTION 1. All of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied herein verbatim.

SECTION 2. Section 3.3.5(3) of the Zoning Ordinance is amended by adding additional language so that it now reads as follows:

Sec. 3.3.5(3). Portable buildings having wheels or lacking a permanent foundation shall not be permitted for commercial uses in any zones except M-1 and M-2. Mobile Food Vendors and Food Courts, as defined in this Ordinance, shall be permitted in Zones B-1 Local Business, B-2 General Business, B-3 Central Business, BP-1 Business Park 1, BP-2 Business Park 2, M-1 Light Industrial and M-2 Heavy Industrial and only with a Special Use Permit in the Zone DN Downtown Neighborhood.

SECTION 3. Table 3 in the Zoning Ordinance is amended to permit Mobile Food Vendors and Mobil Food Courts, as defined in this Ordinance, in the following zones with the requirements imposed for such permitted use.

Table 3 Proposed Permitted Uses:

	DN	B-1	B-2	B-3	BP-1	BP-2	M-1	M-2
<u>Mobile Food Vendor</u>	<u>S</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>And</u>								
<u>Mobile Food Court</u>								

SECTION 4. Chapter 11 of the Zoning Ordinance is amended to add the following definitions:

Mobile Food Vendor- A person or entity utilizing a vehicle having a mounted mobile food business designed to be readily moveable.

Food Court- A lot on which two or more Mobil Food Vendors operate in accordance with these provisions and does not have a commercial business in operation on the same lot.

SECTION 5. The Zoning Ordinance is amended to add the following paragraph 3.3.5 (4).

Mobile Food Vendors shall comply with the following requirements before operating as a Mobile Food Vendor and before a City permit is issued for operation as a Mobile Food Vendor:

- (a) Locate on a lot having a commercial business existing on the same lot and which business is in operation;
- (b) Shall not locate on, block or impede any existing right of way or access easement or other easement or driveway;
- (c) Shall comply with all setbacks required by City Ordinance or for the lot on which the Mobile Food Vendor is to be located;
- (d) Shall provide no less than two parking spaces in addition to the parking places required for the commercial business and the parking spaces platted for the lot on which the Mobile Food Vendor and business is located;
- (e) Shall not block, impede or hinder pedestrian traffic;
- (f) Shall not be placed or located in a fire lane;
- (g) Shall not be located less than ten feet from any public sidewalk;
- (h) Shall keep and operate generators three hundred feet or more from any residential dwelling;
- (i) Shall not operate less than ten feet from any existing building or as required in the 2009 International Building Code, whichever is least restrictive;
- (j) Shall have no signage except for a sign attached to the Mobile Food Vendor vehicle which is approved under the permit issued to the Mobile Food Vendor;
- (k) Shall obtain a permit and certificate of occupancy from the City before operation as a Mobile Food Vendor;
- (l) Shall provide the City written proof from a property owner allowing the Mobile Food Vendor on the owner's property before a City permit is issued;

(m) Shall maintain a minimum distance of no less than twelve feet from all other Mobile Food Vendors located on the same lot; and

(n) Shall comply with all requirements, including without limitation all licensing requirements, of the Williamson County and Cities Health District for Mobile Food Vendors and the Texas Department of State Health Services for Mobile Food Establishments.

SECTION 6. The Zoning Ordinance is amended to add the following paragraph 3.3.5 (5).

Food Courts shall comply with the following requirements before operating as a Food Court and before a permit is issued by the City for operation as a Food Court:

(a) Shall establish driveways as required by the City engineer design standards;

(b) Shall provide no less than two parking spaces for each Food vendor;

(c) Shall comply with all setbacks required by City Ordinance;

(d) Shall keep and operate generators three hundred feet or more from any residential dwelling;

(e) Shall comply with landscaping required by City ordinance;

(f) Shall comply with signage required by City ordinance and as required under any permit issued;

(g) Shall establish an account for trash hauling from the Food Court using the City trash haulers;

(h) Shall maintain a minimum distance from another Food vendor of no less than twelve feet;

(i) Shall obtain a permit and certificate of occupancy from the City before operating as a Food Court;

(j) Shall have a permanent restroom with installed plumbing to any site used for a Food Court which shall be required for the public and Food Court employees; and

(k) Shall comply with all requirements, including without limitation all licensing requirements, of the Williamson County and Cities Health District for Mobile Food Vendors and the Texas Department of State Health Services for Mobile Food Establishments.

SECTION 7. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction shall be subjected to a fine not to exceed the sum of Five Hundred Dollars (\$500.00) for each offense, except where a different penalty has been established by State law for such offense in which event the penalty shall be fixed by state law and if deemed a violation of any provision which governs fire safety, zoning or public health or sanitation shall be punished by a penalty of fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation is continued shall be deemed to constitute a separate offense.

SECTION 8. In the event any clause, phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Taylor, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

SECTION 9. All provisions of any Ordinance of the City of Taylor, Texas, in conflict with the provisions of this Ordinance shall be, and the same are hereby repealed, and all other provisions not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 10. The City Clerk is hereby authorized and directed to publish the caption of this Ordinance, together with the penalty provision contained therein, in the manner and for the length of time prescribed by law.

SECTION 11. Ordinance No. 2001-17 as passed, previously amended, and as amended by this Ordinance shall otherwise remain in full force and effect.

In accordance with Article VIII, Section 1, of the City Charter, Ordinance No. 2013-26 was introduced and a public hearing was held before the Taylor City Council on the 12th day of December, 2013.

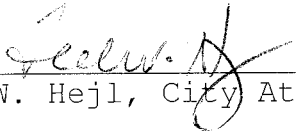
PASSED, APPROVED, and ADOPTED on the _____ day of _____, 2013.

Jesse Ancira Jr., Mayor

ATTEST:

Susan Brock, City Clerk

APPROVED AS TO FORM:



Ted W. Hejl, City Attorney

CERTIFICATE

THE STATE OF TEXAS

COUNTY OF WILLIAMSON

I, Susan Brock, being the City Clerk of the City of Taylor, Texas, do hereby certify that the attached is a true and correct copy of Ordinance No. 2013-26 passed and approved by the City Council of the City of Taylor, Texas, on the _____ day of _____, 2013, and such Ordinance was duly introduced, passed, approved and adopted at meetings open to the public and notices of the meetings, giving the dates, places, and subject matter thereof, were posted as prescribed by Government Code Section 551.043.

Witness my hand and seal of office this the _____ day of _____, 2013.

Susan Brock
City Clerk



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 3

Agenda Title: Accept the Semi-Annual Impact Fee Report from the Taylor Impact Fee Advisory Committee for April 1, 2013 to September 30, 2013.

Council Action: Approve report by consent

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

The purpose of this item is for the City Council to consider the Semi-Annual Impact Fee Update covering the period from April 1, 2013 to September 30, 2013.

2. DESCRIPTION/ JUSTIFICATION

On January 10, 2002, the City Council adopted Ordinance 2001-53, which enacted impact fees for domestic water and wastewater in the City of Taylor. The ordinance was effective on January 16, 2002, and revised on April 25, 2006, by Ordinance 2006-7 and on December 8, 2011 by Ordinance 2011-36. This Ordinance enables the City to collect impact fees for water and wastewater facilities.

On April 24, 2007, the City Council adopted Ordinance 2007-10 adopting roadway impact fees. This ordinance enables the City to collect impact fees for roadway projects within the City limits for all new development. This ordinance is currently being updated.

Section 5.8.20(1)(e) of the ordinance adopted in 2002 requires the Advisory Committee to “File semi-annual reports evaluating the progress of the City in achieving the capital improvements plans and identifying any problems in implementing the plans or administering the impact fees, and any perceived inequities in administration of the fee.” This brief report is intended to comply with that section’s requirements.

During the period from April 1, 2013 through September 30, 2013, \$25,541 of water impact fees, \$13,689.00 of wastewater impact fees, and \$11,416.68 of roadway impact fees were collected, for total revenue of \$50,647.00. The total expenditures during this period were \$226,154.48. This includes the expenditures of \$88,354.10 (water impact fees), \$20,526.01

(wastewater impact fees) and \$117,274.37 (roadway impact fees). The impact fee fund balance as of March 31, 2013 was \$591,443.48. The balance as of September 30, 2013 was \$415,936.18. Expenditures include the Roadway Impact Fee Study and two construction projects.

Current fund totals as of September 30, 2013 are \$65,856.73 for the roadway impact fee fund and \$252,155.49 for the water impact and \$98,293.96 for wastewater for a total in water/wastewater impact fund of \$350,449.45.

Exhibit A shows the detail of revenues and expenditures from April 2013 through September 2013 and total revenues to date.

Staff has not experienced any problems implementing the plans, administering the impact fees, nor have we discovered any inequities in the administration of the fees.

3. FINANCIAL/BUDGET

N/A

4. TIME LINE CONSIDERATIONS

N/A

5. RECOMMENDATION

On November 12, 2013, the Taylor Impact Fee Advisory Committee voted to recommend approval of the impact fee semi-annual report.

6. REFERENCE FILES (Attachments)

3a. [Detail of revenues and expenditures](#) from April 2013 through September 2013

Exhibit A

Water, Wastewater and Roadway Impact Fee Revenue and Expenditure Summary Sheet: Impact Fee Revenue and Expenditure Detail as of September 30, 2013

Fund Balance as of 3/31/13:	\$ 591,443.00
Revenues:	
Water	\$ 25,541.00
Wastewater	\$ 13,689.00
Roadway	\$ 11,417.00
Total:	\$ 50,647.00
Revenues:	
	\$ 642,090.00

Expenditures this period:	
Studies and Construction	\$ 226,154.00

9/30/13 Balance: **\$ 415,936.00**

Totals by Fund as of September 30, 2013	
Water	\$ 252,155.00
Wastewater	\$ 97,924.00
Roadway	\$ 65,857.00
Total:	\$ 415,936.00



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 4

Agenda Title: Receive the Tax Increment Financing (TIF) District's Annual Report

Council Action to be taken: Approve by consent agenda

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

This item is intended for the Council to consider as part of the consent agenda, the annual report of the Taylor Tax Increment Financing (TIF) District.

2. DESCRIPTION/ JUSTIFICATION

State law requires that the City submit an annual report of the TIF District's financial activities to the Comptroller's Office and the Attorney General's Office. Our practice is also to share the report with the County, since they are a funding-partner, the Chamber, Taylor EDC, the Taylor ISD, and the Taylor Daily Press.

The report is due before the 90th day after the fiscal year.

A TIF District is economic development financing tool. Its strength lies in that both the County and the City can contribute to the TIF Fund. The District is a distinct geography (please see the attached map). The funding for the District is derived from an 'increment' of the present property tax values over the property tax values identified in the 'base year' during which the District was created. For instance, the base year value for TIF District #1 was \$24.5 million. In 2012 property values were \$32.7 million. This difference between the two tax years (\$8.2 million) is the value on which the TIF yield is calculated. The current tax rates are applied to the incremental value and the tax yields are then deposited into the TIF Fund. The tax yield on the original \$24.5 million still goes to the respective taxing entities. The school district cannot participate in TIF Districts although they are required to have a representative on the Advisory Board. The TIF District was created to be in effect for 25 years.

The District was created in 2005 in response to one of the objectives in the 2004 Comprehensive Plan to generate funds for economic development in the Downtown area.

The City and the County both participate in the funding of the district. The funds generated are earmarked for public improvements in the district.

Disbursement of funds is made via recommendations from the TIF Advisory Board, which is the Main Street Advisory Board with representation from the Taylor ISD (Bill Mikulencak) and the County (Ed Komandosky).

3. FINANCIAL/BUDGET

The balance in the TIF fund as of September 30, 2013 was \$494,560.59. This year's income from the City was \$66,064.66, \$39,695.06 from the County, and \$448.66 in interest.

During the reporting period TIF dollars were spent on \$56,075 on the following projects:

DHI Plastics:	\$25,000
Mr. Jones' 117 N. Main:	\$20,000
Kinkle Façade Grant:	\$4,500
Zuniga Façade Grant:	\$2,075
Pierce Façade Grant:	\$4,500

Please also see Exhibit "B" of the Annual Report.

4. TIMELINE CONSIDERATIONS

None.

5. RECOMMENDATION

The TIF Advisory Board met on November 20, 2013 to review the annual report. They recommended that the Council approve the report. Staff recommends approval of the attached report.

6. REFERENCE FILES

4a. [2013 Annual Report](#)

TAYLOR TAX INCREMENT FINANCING DISTRICT #1

ANNUAL REPORT

SEPTEMBER 30, 2013

Prepared by:
Department of Planning and Development
The City of Taylor, Texas
www.taylortx.gov
512-352-5990

Legislative Requirements.

Section 311.016 of the Texas Tax Code Requires that prior to the 90th day following the last day of the City's fiscal year, the City must prepare and submit a report on the status of the Zone to the chief executive officer of each taxing entity that levies taxes in the Zone.

Distribution.

In accordance with this section the report will be distributed to:

City Manager of the City of Taylor,
Superintendent of the Taylor Independent School District,
Williamson County Judge
Texas Attorney General's Office
Texas Comptroller's Office

Extra copies will be provided to:

Taylor Economic Development Corporation,
Chamber of Commerce,
Taylor Daily Press.

Finally, the report will also be posted on the City's website.

Local legislative History of the District.

The Taylor Tax Increment Finance (TIF) District #1 was created by Ordinance 2005-9 on June 28, 2005. The Interlocal Agreement with Williamson County was finalized by the County Commissioners on October 25, 2005. The base year for the TIF District is January 1, 2005.

Geography and Map of the zone.

The zone consists of 128 acres. It is generally located in Taylor's Downtown area. However, approximately 40 percent of the district is south of the Union Pacific Rail Road.

A map of the District is attached as exhibit "A".

Governance.

The Taylor TIF District #1 is governed by an Advisory Board and the City Council. The Advisory Board consists of the Main Street Advisory Board and an appointee from both the Taylor Independent School District and the County.

The TIF District #1 Advisory Board is responsible for reviewing information and providing recommendations to the City Council.

Financial Data.

Section 311.016 of the Texas Tax Code requires that the following information be provided to each taxing unit that collects taxes in the District:

1. The amount and source of revenues in the TIF fund. The District was created on January 1, 2005. The 2013 disbursement from the City was \$66,064.66 and the 2013 disbursement from the County was \$39,695.06. Total revenue to the TIF fund #1 since its inception is \$595,282.59.
2. The amount and purpose of expenditures from the TIF Fund. Please see Exhibit "B" for expenditures during this reporting period. Total expenditures since the inception of TIF Fund #1 is \$100,722.
3. The amount of principal and interest due on outstanding bonded indebtedness. The Fund has no bonded indebtedness.
4. The tax increment base and current captured appraisal value retained by the zone. The January 1, 2005 initial tax base was \$24,550,177. The 2012 taxable value was \$32,667,295. This represents a 25 percent increase in taxable value since 2005.
5. The captured appraisal value shared by the City and other taxing units, the total amount of tax increments received, and any additional information necessary to demonstrate compliance with the Tax Increment Financing Plan adopted by the City Council. No activity to report during this period.
6. The current balance of the TIF fund as of September 30, 2013 is **\$494,560.59**

Questions regarding this report should be directed to:

Mr. Bob van Til, AICP, CEcD
Director of Planning and Development
400 Porter Street
Taylor Texas 76574
bob.vantil@taylortx.gov
512-352-5990 x 16



Exhibit "B"

Taylor TIF Fund #1

2013 Financial Report: October 1, 2012 - September 30, 2013

Beginning Fund Balance	\$444,427.60
------------------------	--------------

REVENUE

City TIF Payment	\$66,064.66
County TIF Payment	\$39,695.06
Interest	\$448.66
Total Revenues	\$106,208.38

Total Available Revenue	\$550,635.98
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EXPENDITURES

DHI Plastics	\$25,000.00
John Jones 117 N. Main	\$20,000.00
Kinkle Façade Grant	\$4,500.00
Zuniga Façade Grant	\$2,075.00
Pierce Façade Grant	\$4,500.00
Total Expenditures	\$56,075.00

Ending Fund Balance	\$494,560.98
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City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 5
Agenda Title: Concur with Preliminary Financials for October, 2013.
Council Action to be taken: Approve by consent
Initiating Department: Finance Department
Staff Contact: Rosemarie Dennis, Finance Director

1. INTRODUCTION/PURPOSE

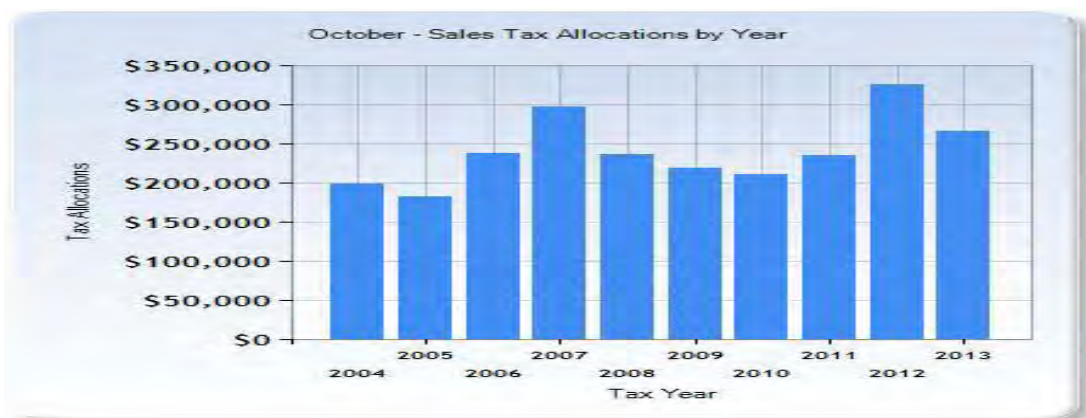
Article 12, Section 12.3 of the City of Taylor's Charter states in part that the City Manager shall prepare and submit to the City Council a written monthly financial report that is in a form satisfactory with the City Council. The referenced report is intended to satisfy the Charter requirement.

2. MONTHLY FINANCIAL REPORT

The reporting period covered for is the month of October 2013. The following provides a brief overview on the preliminary status and/or activity of the major funds or groups of funds as of October 31, 2013:

General Fund

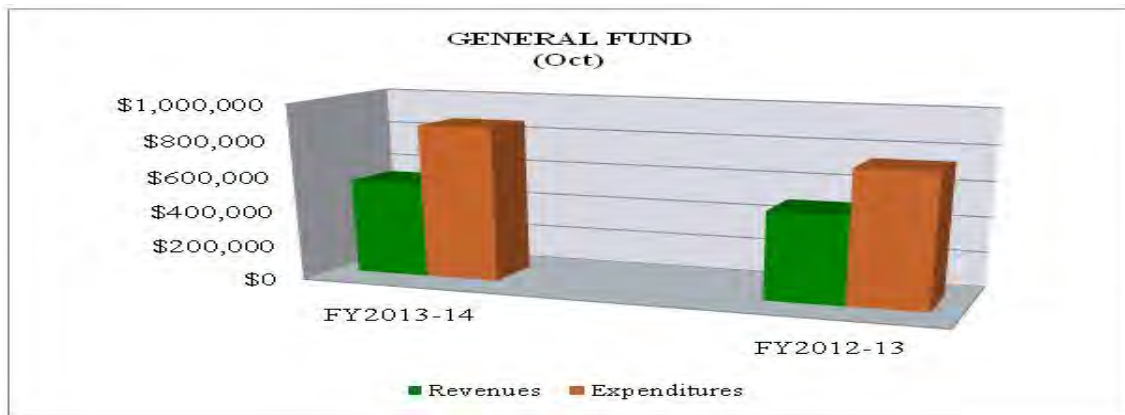
- ❖ October revenues are reported at \$541,002 up by \$47,180 or 9.6% from this same time last year. Revenues are at 5% to total budget. Below summarizes the major General Fund revenue sources.
- ❖ Total sales tax allocations for the month were \$266,290, a decrease from this same time last year for the month of October by \$59,183 or 18.2%. Last October, 2012 additional funds were received as a result of a State audit. The graph below reflects a history trend by year from 2004- 2013 depicting sales tax allocations for the months of October. The City portion of sales tax allocation is \$199,717 which is 75% of total collection and 25% goes to TEDC.



- ❖ Current Property Tax Collections is reported at \$81,789 for the month of October. Majority of the property tax revenue will be collected during the months of December thorough February.
- ❖ Delinquent Property Tax with Penalty and Interest are at \$6,347, a decrease from this same time last year by \$4,439.
- ❖ Franchise Tax collected year-to-date totaled \$152,415 a decrease of \$9,078 or 5.6% from this same time last year. An increase is seen in electric franchise by \$2,530 or 1.7%. Mixed beverage reflects a decrease over the previous year. The decrease in solid waste and telephone franchise tax collection is due to a timing issue of when payments were received. This year franchise tax payments from Progressive Solid Waste Management and various telephone companies were not received in October but in November.

Franchise Tax Collected		
Franchise Tax	As of 10/31/12 FY2012-13	As of 10/31/13 FY2013-14
Cable	\$ - 0-	\$ -0-
Electric	\$ 148,670	\$ 151,200
Gas	\$ -0-	\$ -0-
Mixed Bev.	\$ 1,293	\$ 824
Solid Waste	\$ 8,509	\$ 238
Telephone	\$ 3,021	\$ 153
Skills Games	\$ -0-	\$ -0-
Mobile Home	\$ -0-	\$ -0-
	\$ 161,493	\$ 152,415
<i>Decrease over previous yr.</i>		<i>- \$9,078 or 5.6%</i>

- ❖ Permits and Licenses are at \$15,305 up by \$8,866 when compared to this same time last year. The increases are seen in building permits, plumbing and mechanical permits. This category is at 14% to total budget.
- ❖ Charges for services are at \$35,447 up by \$22,449 from last year. Notable increases are seen in refuse collection charges, parks, dog pound fees and first responder fees.
- ❖ Municipal Court Fines and fees were \$30,091 up by \$8,681 from this same time last year.
- ❖ All other revenue totaled \$19,888 this is a decrease of \$1,562 when compared to prior year.
- ❖ Expenditures are at \$872,890 which is 7% to total budget. This is an increase from prior year by \$131,114 or 17.7%. Majority of this increase is due to a payment made for trash collection paid in October. However in the prior year, this payment was not made until November. This accounts for the difference in expenditures when comparing year to year. All departments are operating within acceptable levels.
- ❖ The General Fund reflects expenditures over revenues of \$331,888. This is an increase when compared to prior year by \$84,419 or 34.1%. It is not unusual to begin the new fiscal year with a deficit. This is why it is important to maintain a three month operating reserves to help get through the month of October through December. Especially since majority of property tax does not get collected until December-February time frame.



Special Revenue Funds

- ❖ Tax Increment Fund- The only activity for this fund is interest income in the amount of \$21.
- ❖ Hotel/Motel Fund-Revenues- Total revenues from hotel occupancy tax is \$5,811 which is 9% to total budget. Expenditures are \$4,358, which is the Taylor Chamber payment.
- ❖ Texas Capital Fund- This is a pass through fund account. TCAT pays the City and the City in turn pays the State.
- ❖ Main Street Fund- Revenues are reported at \$198 which is less than 1% to total budget. Revenues were generated from the historical book sales. Expenditures are at \$8,900 which is 13% to total budget. The expenditures were for rental assistance to ten local businesses.
- ❖ Municipal Court Security/Technology- Revenues generated for building security is \$675 and \$890 for technology. Reporting a total of \$1,565 in revenue for this fund. Expenditures are reported at \$398 which is 19% to total budget. This fund is being charged for security work done by a police officer when court is in session.
- ❖ Library Grant/Donations- Revenues are reported at \$82 with expenditures at \$53. Interest income earned was \$12 and a donation was made in the amount of \$70. Expenditures were for books of \$42 and \$11 in supplies.

Roadway Impact Fund

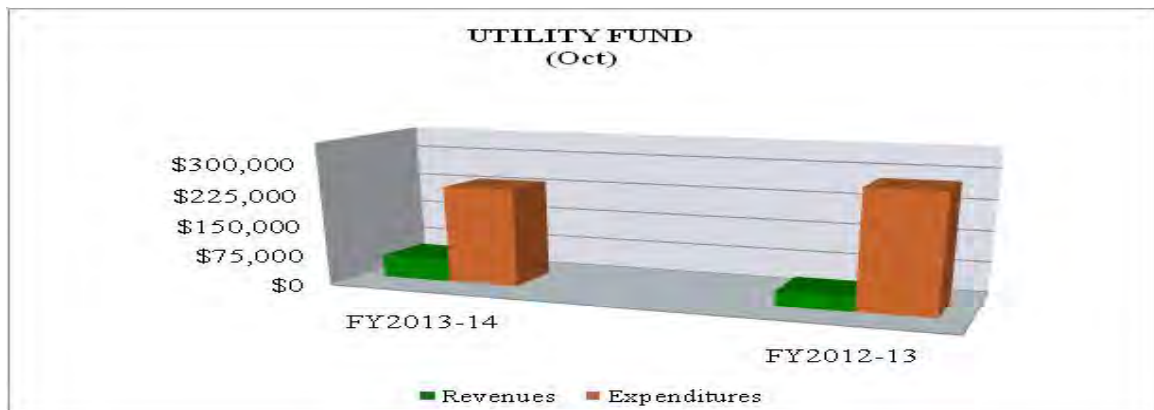
- ❖ Revenues are reported at \$480 and no expenditure activity for the month of October.

Municipal Drainage Utility Fund (MDUS)

- ❖ The MDUS Fund shows revenues at \$790 for the month of October with no expenditure activity.

Utility Fund

- ❖ The Utility Fund operating revenues totaled \$55,106 for the month of October. Utilities (water, sewer, drainage and garbage) are billed in arrears and the accrual method is used at year end. Where revenues for October billing are posted back to September.
- ❖ October expenditures are at \$238,072 which is at 4% to total budget. All departments are operating at acceptable levels.
- ❖ The Utility Fund shows expenditures over revenues in the amount of \$182,966. This fund normally has a slow start and one should not be alarmed. This fund is functioning at a normal level.

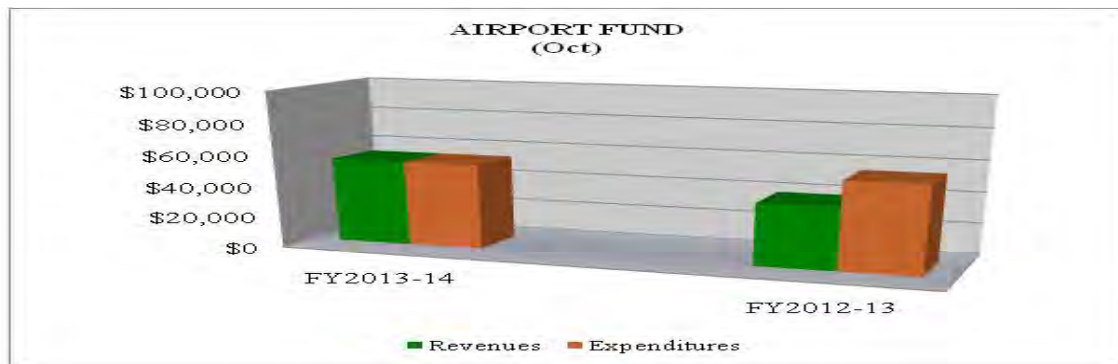


Utility Impact Fund

- ❖ Revenues are reported at \$1,195 with expenditures of \$25,775 for wastewater crossing.

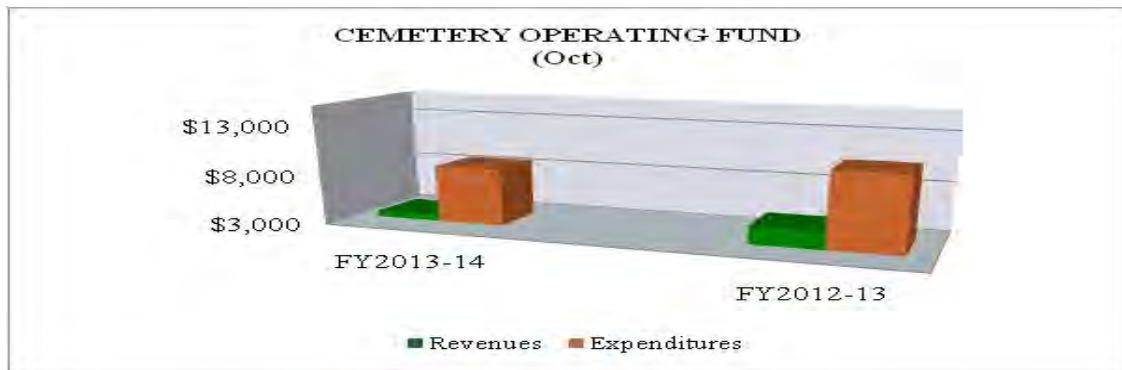
Airport Fund

- ❖ The Airport Fund operating revenues for October are reported at \$54,398, which is up from this same time last year by \$15,032 or 38.1%. Hanger rental is at \$12,888 down by \$236 or 1.8% from this same time last year. The fuel sales are reported at \$41,685 up by \$15,519 or 59% when compared to this same time last year. Revenues are at 12% to total budget.
- ❖ Operating expenditures totaled \$54,398 down by \$1,085 or 2% when compared to last year. Expenditure for fuel for the month of October came in at \$49,040 slightly down by \$598 or 1% when compared to prior year. The final payment owed to the General Fund was posted in October. The principal amount is \$22,225 which is recorded on the balance sheet and interest was posted as an expense to the financial statement in the amount of \$445.



Cemetery Operating Fund

- ❖ The Cemetery Operating Funds shows expenditures over revenues by \$5,136. Revenues are \$3,620 which is 2% to total budget. Grave digging services came in at \$1,200, which is down by \$1,300 from this same time last year. Revenues from cemetery lots are reported at \$630 down by \$1,403 or 69% from last year. Expenditures totaled \$8,756 which is down by \$1,735 or 16.5% from the prior year.



Fleet Services Operating Fund

- ❖ The Fleet Service Operating Fund reflects expenditures over revenues in the amount of \$7,766. This is an internal fund; different departments from various funds are charged a rental fee which is transferred to this fund to off- set the expenses for repairs and maintenance to the City's vehicles and equipment. This fund is operating at an acceptable level.



Fleet Replacement Fund

- ❖ The Fleet Replacement Fund is performing as anticipated and shows a deficit of \$25,331. Revenues are reported at \$3,631 which are the proceeds from an auction sale. No transfers for capital lease payments were done in October. Expenditures are at \$28,963 which consists primarily of the capital lease payments.

3. REFERENCE FILES

[Preliminary Financials for October, 2013:](#)

- **Attachment A:** Preliminary summaries of the total amounts of revenue and expenditures for the month of October 2013.
- **Attachment B:** Preliminary financials summaries of each on the operating funds and the special revenue funds. This shows annual budgeted amounts and the

year-to-date figures for each fund by the major revenue and expenditures categories.

- **Attachment C:** Checks issued during the month of October.
- **Attachment D:** Balance sheets for each of the operating funds.
- **Attachment E:** Sales Tax Tracking Report.
- **Attachment F:** Current investments year to date.

M o n t h l y F i n a n c e R e p o r t f o r M o n t h o f :

O c t o b e r

A t t a c h m e n t A

F i n a n c i a l S u m m a r y

Attachment A

Summary Revenue/Expenditures

Preliminary Year-to-Date as of October 31, 2013

Operating Funds	Revenue		% Y-T-D	Expenditures		% Y-T-D	Difference
	Adopted Budget	Actual Y-T-D		Budget	Actual Y-T-D		
General Fund	\$ 11,911,655	\$ 541,002	5%	\$ 11,911,655	\$ 872,890	7%	\$ (331,888)
Special Revenue							
- Tax Increment Fund (TIF)	\$ 106,260	\$ 21	0%	\$ 30,000	\$ -	0%	\$ 21
- Hotel/Motel Tax	\$ 61,200	\$ 5,811	9%	\$ 55,900	\$ 4,358	8%	\$ 1,453
- Texas Capital Fund	\$ 25,023	\$ 2,085	8%	\$ 25,023	\$ 2,085	8%	\$ -
- Main St. Revenue	\$ 66,700	\$ 198	0%	\$ 66,023	\$ 8,900	13%	\$ (8,702)
- Municipal Court Sec/Tech	\$ 17,000	\$ 1,565	9%	\$ 6,000	\$ 398	0%	\$ 1,167
- Library Grants/Donations	\$ 300	\$ 82	27%	\$ 6,000	\$ 53	1%	\$ 29
Subtotal	\$ 276,483	\$ 9,762	4%	\$ 188,946	\$ 15,794	8%	\$ (6,032)
Roadway Impact Fund	\$ 9,000	\$ 480	5%	-	-	0%	\$ 480
Municipal Utility Drainage Fund	332,000	\$ 790	0%	314,275	-	0%	\$ 790
Utility Fund	\$ 7,201,810	\$ 55,106	1%	\$ 7,201,810	\$ 238,072	3%	\$ (182,966)
Utility Impact Fund	\$ 21,000	\$ 1,195	6%	-	25,775	0%	\$ (24,580)
Airport Fund	\$ 472,187	\$ 54,398	12%	\$ 472,187	\$ 54,410	12%	\$ (12)
Cemetery Op. Fund	\$ 154,350	\$ 3,620	2%	\$ 181,944	\$ 8,756	5%	\$ (5,136)
Fleet Service Operating Fund	\$ 683,329	\$ 57,105	8%	\$ 685,998	\$ 64,871	9%	\$ (7,766)
Fleet Replacement Fund	\$ 171,485	\$ 3,631	2%	\$ 171,485	28,963	17%	\$ (25,332)
Total	\$ 21,233,299	\$ 727,089	3%	\$ 21,128,300	\$ 1,309,531	6%	\$ (582,442)

A t t a c h m e n t B

F i n a n c i a l S u m m a r i e s b y F u n d

G e n e r a l F u n d

S p e c i a l R e v e n u e F u n d s

T a x I n c r e m e n t F u n d (TIF)

H o t e l M o t e l T a x

T e x a s C a p i t a l F u n d

M a i n S t r e e t R e v e n u e F u n d

M u n i c i p a l C o u r t F e e s F u n d

L i b r a r y G r a n t / D o n a t i o n s

R o a d w a y I m p a c t F u n d

M u n i c i p a l U t i l i t y D r a i n a g e F u n d

U t i l i t y F u n d

U t i l i t y I m p a c t F u n d

A i r p o r t F u n d

C e m e t e r y O p e r a t i n g F u n d

F l e e t S e r v i c e s O p e r a t i n g F u n d

F l e e t R e p l a c e m e n t F u n d

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

100-GENERAL FUND

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
310-TAXES		8,294,255.00	440,269.29	440,269.29	5.31	0.00	7,853,985.71
320-PERMITS AND LICENSES		111,100.00	15,305.45	15,305.45	13.78	0.00	95,794.55
330-INTERGOVERNMENTAL REV		42,000.00	255.00	255.00	0.61	0.00	41,745.00
340-CHARGES FOR SERVICES		1,536,900.00	35,447.15	35,447.15	2.31	0.00	1,501,452.85
410-FINES AND FORFEITURES		321,200.00	30,091.46	30,091.46	9.37	0.00	291,108.54
420-ASSESSMENTS		13,500.00	13,829.32	13,829.32	102.44	0.00	(329.32)
430-USE OF MONEY AND PROP		135,000.00	4,490.63	4,490.63	3.33	0.00	130,509.37
440-DONATIONS FROM PRIVAT		12,700.00	1,240.00	1,240.00	9.76	0.00	11,460.00
450-INTERFUND OPERATING T		1,445,000.00	0.00	0.00	0.00	0.00	1,445,000.00
460-PROCEEDS GEN FIXED AS		0.00	73.50	73.50	0.00	0.00	(73.50)
470-PROCEEDS GEN LONG TER		0.00	0.00	0.00	0.00	0.00	0.00
*** TOTAL REVENUES ***		11,911,655.00	541,001.80	541,001.80	4.54	0.00	11,370,653.20
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
500-CITY COUNCIL		214,254.00	3,595.32	3,595.32	1.68	0.00	210,658.68
501-CITY MANAGEMENT		521,183.00	42,131.45	42,131.45	8.10	72.00	478,979.55
503-PUBLIC INFORMATION		117,919.00	18,981.30	18,981.30	16.16	72.00	98,865.70
504-HUMAN RESOURCES		182,320.00	15,775.46	15,775.46	8.69	72.00	166,472.54
512-FINANCIAL SERVICES		601,211.00	43,429.22	43,429.22	7.36	822.00	556,959.78
516-MUNICIPAL COURT		282,228.00	23,913.94	23,913.94	8.47	0.00	258,314.06
522-PLANNING & DEVELOP		558,821.00	47,374.30	47,374.30	8.49	72.00	511,374.70
524-MAIN STREET PROGRAM		59,697.00	8,859.26	8,859.26	14.84	0.00	50,837.74
527-C D - MOODY MUSEUM		5,861.00	37.99	37.99	0.65	0.00	5,823.01
532-PUBLIC LIBRARY		428,747.00	29,599.25	29,599.25	8.92	8,652.73	390,495.02
542-FIRE SUPPRESSION/EMER		2,019,428.00	133,731.25	133,731.25	7.55	18,796.77	1,866,899.98
552-POLICE FIELD SERVICES		2,719,810.00	198,344.09	198,344.09	7.35	1,614.43	2,519,851.48
558-ANIMAL CONTROL SECTIO		125,063.00	7,599.50	7,599.50	6.08	0.00	117,463.50
561-PUBLIC WORKS ADMINIST		0.00	1,664.02	1,664.02	0.00	0.00	(1,664.02)
563-STREET & GROUND MAIN		1,231,901.00	85,315.47	85,315.47	7.15	2,735.00	1,143,850.53
565-PARKS & RECREATION		711,566.00	41,118.61	41,118.61	7.56	12,682.76	657,764.63
566-INTERNAL SVCS/BLDG		397,135.00	28,331.96	28,331.96	8.22	4,307.06	364,495.98
573-ENGINEERING & INSPECT		217,905.00	13,235.11	13,235.11	6.07	0.00	204,669.89
575-INTERNAL SVC/IT DEPT		101,872.00	7,546.17	7,546.17	7.41	0.00	94,325.83
592-NON-DEPARTMENTAL		1,414,734.00	122,306.36	122,306.36	8.65	0.00	1,292,427.64
*** TOTAL EXPENDITURES ***		11,911,655.00	872,890.03	872,890.03	7.75	49,898.75	10,988,866.22
		=====	=====	=====	=====	=====	=====
*** TOTAL PROFIT / (LOSS) ***		0.00	(331,888.23)	(331,888.23)	0.00	(49,898.75)	381,786.98
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

119-TIF (TAX INCREMENT FUND)

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
310-TAXES		66,065.00	0.00	0.00	0.00	0.00	66,065.00
330-INTERGOVERNMENTAL REV		39,695.00	0.00	0.00	0.00	0.00	39,695.00
430-USE OF MONEY AND PROP		500.00	20.90	20.90	4.18	0.00	479.10
*** TOTAL REVENUES ***		106,260.00	20.90	20.90	0.02	0.00	106,239.10
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
500-CONTRACT SERVICES		30,000.00	0.00	0.00	0.00	0.00	30,000.00
*** TOTAL EXPENDITURES ***		30,000.00	0.00	0.00	0.00	0.00	30,000.00
		=====	=====	=====	=====	=====	=====
*** TOTAL PROFIT / (LOSS) ***		76,260.00	20.90	20.90	0.03	0.00	76,239.10
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

120-HOTEL/MOTEL FUND
FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
310-TAXES		61,200.00	5,810.50	5,810.50	9.49	0.00	55,389.50
420-ASSESSMENTS		0.00	0.00	0.00	0.00	0.00	0.00
430-USE OF MONEY AND PROP		0.00	0.00	0.00	0.00	0.00	0.00
*** TOTAL REVENUES ***		61,200.00	5,810.50	5,810.50	9.49	0.00	55,389.50
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
612-HOTEL/MOTEL TAX		55,900.00	4,357.87	4,357.87	7.80	0.00	51,542.13
*** TOTAL EXPENDITURES ***		55,900.00	4,357.87	4,357.87	7.80	0.00	51,542.13
		=====	=====	=====	=====	=====	=====
*** TOTAL PROFIT / (LOSS) ***		5,300.00	1,452.63	1,452.63	27.41	0.00	3,847.37
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

121-TEXAS CAPITAL FUND
FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
330-	INTERGOVERNMENTAL REV	0.00	0.00	0.00	0.00	0.00	0.00
430-	USE OF MONEY AND PROP	25,023.00	2,085.25	2,085.25	8.33	0.00	22,937.75
***	TOTAL REVENUES ***	25,023.00	2,085.25	2,085.25	8.33	0.00	22,937.75
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
610-	LEASE PAYMENT T J C	25,023.00	2,085.25	2,085.25	8.33	0.00	22,937.75
***	TOTAL EXPENDITURES ***	25,023.00	2,085.25	2,085.25	8.33	0.00	22,937.75
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	0.00	0.00	0.00	0.00	0.00	0.00
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

123-MAIN STREET REVENUE FUND

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
330-	INTERGOVERNMENTAL REV	0.00	0.00	0.00	0.00	0.00	0.00
430-	USE OF MONEY AND PROP	0.00	0.00	0.00	0.00	0.00	0.00
440-	DONATIONS FROM PRIVAT	17,100.00	197.98	197.98	1.16	0.00	16,902.02
450-	INTERFUND OPERATING T	49,600.00	0.00	0.00	0.00	0.00	49,600.00
***	TOTAL REVENUES ***	66,700.00	197.98	197.98	0.30	0.00	66,502.02
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
615-	CONTRIBUTE TO CIVIC P	66,023.00	8,900.00	8,900.00	13.48	0.00	57,123.00
***	TOTAL EXPENDITURES ***	66,023.00	8,900.00	8,900.00	13.48	0.00	57,123.00
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	677.00	(8,702.02)	(8,702.02)	285.38-	0.00	9,379.02
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

125-MUNICIPAL CRT SPECIAL FEE

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
410-FINES AND FORFEITURES		17,000.00	1,565.11	1,565.11	9.21	0.00	15,434.89
430-USE OF MONEY AND PROP		0.00	0.00	0.00	0.00	0.00	0.00
*** TOTAL REVENUES ***		17,000.00	1,565.11	1,565.11	9.21	0.00	15,434.89
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
625-MUNICIPAL COURT BLDG		5,260.00	397.81	397.81	7.56	0.00	4,862.19
626-MUNICIPAL COURT TECHN		740.00	0.00	0.00	99.98	739.88	0.12
*** TOTAL EXPENDITURES ***		6,000.00	397.81	397.81	18.96	739.88	4,862.31
		=====	=====	=====	=====	=====	=====
*** TOTAL PROFIT / (LOSS) ***		11,000.00	1,167.30	1,167.30	3.89	(739.88)	10,572.58
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

129-LIBRARY GRANT/DONATION
FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
330-	INTERGOVERNMENTAL REV	0.00	0.00	0.00	0.00	0.00	0.00
430-	USE OF MONEY AND PROP	300.00	12.42	12.42	4.14	0.00	287.58
440-	DONATIONS FROM PRIVAT	0.00	70.00	70.00	0.00	0.00	(70.00)
***	TOTAL REVENUES ***	300.00	82.42	82.42	27.47	0.00	217.58
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
624-	LIBRARY	6,000.00	53.29	53.29	0.89	0.00	5,946.71
***	TOTAL EXPENDITURES ***	6,000.00	53.29	53.29	0.89	0.00	5,946.71
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	(5,700.00)	29.13	29.13	0.51-	0.00	(5,729.13)
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

200-ROADWAY IMPACT FEE FUND
FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
420-	ASSESSMENTS	9,000.00	480.32	480.32	5.34	0.00	8,519.68
***	TOTAL REVENUES ***	9,000.00	480.32	480.32	5.34	0.00	8,519.68
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
631-	ROADWAY IMPACT FEE	0.00	0.00	0.00	0.00	0.00	0.00
***	TOTAL EXPENDITURES ***	0.00	0.00	0.00	0.00	0.00	0.00
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	9,000.00	480.32	480.32	5.34	0.00	8,519.68
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

300-MUNICIPAL DRAINAGE UTILIT

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
330-	INTERGOVERNMENTAL REV	0.00	0.00	0.00	0.00	0.00	0.00
340-	CHARGES FOR SERVICES	332,000.00	789.78	789.78	0.24	0.00	331,210.22
430-	USE OF MONEY AND PROP	0.00	0.00	0.00	0.00	0.00	0.00
460-	PROCEEDS GEN FIXED AS	0.00	0.00	0.00	0.00	0.00	0.00
470-	PROCEEDS GEN LONG TER	0.00	0.00	0.00	0.00	0.00	0.00
***	TOTAL REVENUES ***	332,000.00	789.78	789.78	0.24	0.00	331,210.22
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
750-	MUNICIPAL DRAINAGE	314,275.00	0.00	0.00	0.00	0.00	314,275.00
***	TOTAL EXPENDITURES ***	314,275.00	0.00	0.00	0.00	0.00	314,275.00
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	17,725.00	789.78	789.78	4.46	0.00	16,935.22
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

340-PUBLIC UTILITIES FUND

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
330-INTERGOVERNMENTAL REV		0.00	0.00	0.00	0.00	0.00	0.00
340-CHARGES FOR SERVICES		7,141,310.00	48,684.72	48,684.72	0.68	0.00	7,092,625.28
420-ASSESSMENTS		16,000.00	4,181.00	4,181.00	26.13	0.00	11,819.00
430-USE OF MONEY AND PROP		43,000.00	2,116.73	2,116.73	4.92	0.00	40,883.27
450-INTERFUND OPERATING T		0.00	0.00	0.00	0.00	0.00	0.00
460-PROCEEDS GEN FIXED AS		1,500.00	124.00	124.00	8.27	0.00	1,376.00
470-PROCEEDS GEN LONG TER		0.00	0.00	0.00	0.00	0.00	0.00
*** TOTAL REVENUES ***		7,201,810.00	55,106.45	55,106.45	0.77	0.00	7,146,703.55
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
701-UTILITIES ADMINISTRAT		405,541.00	25,528.50	25,528.50	6.99	2,812.84	377,199.66
706-WASTEWATER TREATMENT		466,384.00	16,699.94	16,699.94	4.28	3,278.00	446,406.06
708-UTILITY DISTRIBUTION/		1,371,135.00	82,453.46	82,453.46	6.76	10,215.00	1,278,466.54
709-UTILITIES NON-DEPARTM		4,958,750.00	113,390.16	113,390.16	2.29	0.00	4,845,359.84
*** TOTAL EXPENDITURES ***		7,201,810.00	238,072.06	238,072.06	3.53	16,305.84	6,947,432.10
		=====	=====	=====	=====	=====	=====
*** TOTAL PROFIT / (LOSS) ***		0.00	(182,965.61)	(182,965.61)	0.00	(16,305.84)	199,271.45
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

345-UTILITY IMPACT FEE FUND

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
340-	CHARGES FOR SERVICES	21,000.00	1,195.00	1,195.00	5.69	0.00	19,805.00
***	TOTAL REVENUES ***	21,000.00	1,195.00	1,195.00	5.69	0.00	19,805.00
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
592-	NON-DEPARTMENTAL	0.00	25,775.00	25,775.00	0.00	49,797.00	(75,572.00)
***	TOTAL EXPENDITURES ***	0.00	25,775.00	25,775.00	0.00	49,797.00	(75,572.00)
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	21,000.00	(24,580.00)	(24,580.00)	354.18-	(49,797.00)	95,377.00
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

350-AIRPORT FUND

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
330-INTERGOVERNMENTAL REV		0.00	0.00	0.00	0.00	0.00	0.00
340-CHARGES FOR SERVICES		472,187.00	54,398.16	54,398.16	11.52	0.00	417,788.84
420-ASSESSMENTS		0.00	0.00	0.00	0.00	0.00	0.00
430-USE OF MONEY AND PROP		0.00	0.00	0.00	0.00	0.00	0.00
440-DONATIONS FROM PRIVAT		0.00	0.00	0.00	0.00	0.00	0.00
450-INTERFUND OPERATING T		0.00	0.00	0.00	0.00	0.00	0.00
*** TOTAL REVENUES ***		472,187.00	54,398.16	54,398.16	11.52	0.00	417,788.84
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
732-AIRPORT OPERATIONS DE		472,187.00	54,410.49	54,410.49	11.52	0.00	417,776.51
*** TOTAL EXPENDITURES ***		472,187.00	54,410.49	54,410.49	11.52	0.00	417,776.51
		=====	=====	=====	=====	=====	=====
*** TOTAL PROFIT / (LOSS) ***		0.00	(12.33)	(12.33)	0.00	0.00	12.33
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

370-CEMETERY OPERATING FUND

FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
340-	CHARGES FOR SERVICES	82,750.00	1,940.00	1,940.00	2.34	0.00	80,810.00
430-	USE OF MONEY AND PROP	2,500.00	31.79	31.79	1.27	0.00	2,468.21
440-	DONATIONS FROM PRIVAT	0.00	1,018.40	1,018.40	0.00	0.00	(1,018.40)
450-	INTERFUND OPERATING T	24,000.00	0.00	0.00	0.00	0.00	24,000.00
460-	PROCEEDS GEN FIXED AS	45,100.00	630.00	630.00	1.40	0.00	44,470.00
***	TOTAL REVENUES ***	154,350.00	3,620.19	3,620.19	2.35	0.00	150,729.81
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
761-	CEMETERY OPERATING DE	181,944.00	8,755.86	8,755.86	4.81	0.00	173,188.14
***	TOTAL EXPENDITURES ***	181,944.00	8,755.86	8,755.86	4.81	0.00	173,188.14
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	(27,594.00)	(5,135.67)	(5,135.67)	18.61	0.00	(22,458.33)
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

382-FLEET SERVICES OPERATING
FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
340-	CHARGES FOR SERVICES	683,329.00	57,105.00	57,105.00	8.36	0.00	626,224.00
420-	ASSESSMENTS	0.00	0.00	0.00	0.00	0.00	0.00
430-	USE OF MONEY AND PROP	0.00	0.00	0.00	0.00	0.00	0.00
450-	INTERFUND OPERATING T	0.00	0.00	0.00	0.00	0.00	0.00
470-	PROCEEDS GEN LONG TER	0.00	0.00	0.00	0.00	0.00	0.00
***	TOTAL REVENUES ***	683,329.00	57,105.00	57,105.00	8.36	0.00	626,224.00
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
517-	FLEET SERVICES	685,998.00	64,870.65	64,870.65	10.01	3,773.40	617,353.95
***	TOTAL EXPENDITURES ***	685,998.00	64,870.65	64,870.65	10.01	3,773.40	617,353.95
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	(2,669.00)	(7,765.65)	(7,765.65)	432.34	(3,773.40)	8,870.05
		=====	=====	=====	=====	=====	=====

FINANCIAL STATEMENT

AS OF: OCTOBER 31ST, 2013

384-FLEET REPLACEMENT FUND
FINANCIAL SUMMARY

ACCT #	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	Y-T-D ENCUMB.	BUDGET BALANCE
REVENUE SUMMARY							
340-	CHARGES FOR SERVICES	171,485.00	0.00	0.00	0.00	0.00	171,485.00
420-	ASSESSMENTS	0.00	0.00	0.00	0.00	0.00	0.00
430-	USE OF MONEY AND PROP	0.00	0.00	0.00	0.00	0.00	0.00
450-	INTERFUND OPERATING T	0.00	0.00	0.00	0.00	0.00	0.00
460-	PROCEEDS GEN FIXED AS	0.00	3,631.25	3,631.25	0.00	0.00	(3,631.25)
470-	PROCEEDS GEN LONG TER	0.00	0.00	0.00	0.00	0.00	0.00
***	TOTAL REVENUES ***	171,485.00	3,631.25	3,631.25	2.12	0.00	167,853.75
		=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY							
518-	EQUIPMENT REPLACEMENT	171,485.00	28,962.69	28,962.69	16.89	0.00	142,522.31
***	TOTAL EXPENDITURES ***	171,485.00	28,962.69	28,962.69	16.89	0.00	142,522.31
		=====	=====	=====	=====	=====	=====
***	TOTAL PROFIT / (LOSS) ***	0.00	(25,331.44)	(25,331.44)	0.00	0.00	25,331.44
		=====	=====	=====	=====	=====	=====

10/31/13

A t t a c h m e n t C

C O U N C I L R E P O R T
C H E C K S I S S U E D I N O C T O B E R

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
NON-DEPARTMENTAL	GENERAL FUND	AFLAC	AFLAC PREMIUMS	2,678.05
			AFLAC PREMIUMS	0.00
		AT&T	E-RATE DISCOUNT	255.00-
		BCBS OF TEXAS	HEALTH INS. PREMIUM	16,974.38
			HEALTH INS. PREMIUM	683.32
			OCT HUBERT COBRA PREMIUMS	482.93
		CINCINNATI LIFE INS. CO.	LIFE INSURANCE PREMIUMS	73.66
		CLIFFORD, PENNY CHRISTINE c/o TX CHILD	CAUSE # 12-1678-FC4	108.88
			CAUSE # 12-1678-FC4	253.20
		HERRERA, EDITH D %ARIZONA SUPPORT PAYM	VINCENT CLIFFORD CS FOR DE	102.11
			VINCENT CLIFFORD CS FOR DE	237.46
		MISCELLANEOUS CASAREZ, VERONICA	CASAREZ, VERONICA: PAV DEP	75.00
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	2,322.30
			DENTAL INSURANCE PREMIUMS	53.22
		MVBA LAW FIRM	COURT COLLECTION FEES	333.57
			COURT COLLECTION FEES	103.40
			SEPTEMBER 2013 FEES	2,704.18
		OMNIBASE SERVICES INC	3RD QTR OMNI JULY-SEPT 201	324.00
		NATIONWIDE RETIREMENT SOLUTIONS	EMPLOYEE CONTRIBUTIONS	801.96
			EMPLOYEE CONTRIBUTIONS	1,865.19
		PRE-PAID LEGAL SERVICES	PRE-PAID LEGAL PREMIUMS	247.10
		CITIZENS NATIONAL BANK	FEDERAL WITHHOLDING	9,230.79
			FEDERAL WITHHOLDING	22,417.80
			FICA CONTRIBUTIONS AND MAT	5,295.82
			FICA CONTRIBUTIONS AND MAT	12,635.45
			MEDICARE CONTRIB AND MATCH	1,238.53
			MEDICARE CONTRIB AND MATCH	2,955.06
		TEXAS GUARANTEED STUDENT LOAN CORP	ELIZABETH EMERSON;228-15-0	50.89
			ELIZABETH EMERSON;228-15-0	120.90
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	6,209.98
			CONTRIBUTIONS	14,771.27
		UNITED WAY OF WILLIAMSON COUNTY	EMPLOYEE CONTRIBUTIONS	9.89
			EMPLOYEE CONTRIBUTIONS	23.00
		UNUM LIFE INS CO OF AMERI	LIFE INSURANCE PREMIUMS	609.88
			LIFE INSURANCE PREMIUMS	0.00
		U S DEPT OF EDUCATION	ELIZABETH EMERSON;10099080	33.35
			ELIZABETH EMERSON;10099080	108.97
		TAYLOR PROFESSIONAL FF AS	ACCT #2091015	173.72_
			TOTAL:	106,054.21
CITY COUNCIL	GENERAL FUND	CAPITAL AREA COUNCIL OF GOVERNMENTS	2014 CAPCOG DUES-MEMBERSHI	1,597.90
		MUNICIPAL CODE CORP.	MUNI CODE SERVICE-ORDINANC	35.00
			MUNICODE UPDATES	637.36
		OFFICE DEPOT CORPORATION	OFFICE SUPPLIES	56.26
			OFFICE SUPPLIES	128.18
		TAYLOR DAILY PRESS	ELECTION DISTRICT MAP	150.00
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	209.66
			INSURANCE/WC 10.01.2013	1.75
		VERIZON WIRELESS	IPAD	37.99
			CELL PHONE	163.97
		TEXAS ASSN OF BLACK CITY COUNCIL MEMBE	DON HILL MEMBERSHIP 2013/1	65.00
		RUSSELL & RODRIGUEZ LLP	NOACK WSC LAWSUIT	440.00
		SWEET PEA'S BAKERY	EXEC SESSION FOOD X2 MTGS	24.00
		ASSOCIATION OF HISPANIC MUNICIPAL OFFI	GONZALES DUES 2013-14 AHMO	50.00_
			TOTAL:	3,597.07

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
CITY MANAGEMENT	GENERAL FUND	AT&T LONG DISTANCE	CITY MANAGEMENT	43.25
		OFFICE OF THE ATTORNEY GENERAL	OPEN GOVT CONFERENCE-AUSTI	150.00
		BCBS OF TEXAS	HEALTH INS. PREMIUM	2,385.66
		BROOKSHIRE INS AGENCY INC	RENEW NOTARY ESTHER WALTON	71.00
		BREWME SUM COFFEE	COFFEE	23.45
		JPMORGAN CHASE BANK NA	JPMORGAN CHASE BANK NA	434.90-
		KELLY PRINTING SUPPLIES	HP 4700 INK CARTRIDGES	20.17
		LINCOLN	LTD INSURANCE PREMIUMS	81.09
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	114.25
		OFFICE DEPOT CORPORATION	CHAIR MAT	50.29
		RELIABLE OFFICE SUPPLIES	COPY PAPER	12.68
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	329.68
			FICA CONTRIBUTIONS AND MAT	760.58
			MEDICARE CONTRIB AND MATCH	77.11
			MEDICARE CONTRIB AND MATCH	177.88
		STAPLES BUSINESS ADVANTAGE	4700 INK	5.59
			4700 INK CARTRIDGE	5.59
		TAYLOR ECONOMIC DEV.CORP.	TEEX COMMUNITY STRATEGIC P	12,767.67
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	0.60
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	190.53
			INSURANCE/WC 10.01.2013	4.10
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	704.45
			CONTRIBUTIONS	1,625.47
		VERIZON WIRELESS	IPAD	113.97
			CELL PHONE	271.20
		CAPITAL CHAPTER OF MUNICIPAL CLERKS	SUSAN BROCK MEMBERSON 2014	15.00
		CINTAS CORPORATION #86	SHREDDING DOCUMENTS 10/20	164.40_
			TOTAL:	19,730.76
PUBLIC INFORMATION	GENERAL FUND	AT&T LONG DISTANCE	PUBLIC INFORMATION OFFICER	34.97
		BCT - #6014	BUSINESS CARDS-PROOF ERROR	50.00
		BREWME SUM COFFEE	COFFEE	23.45
		KELLY PRINTING SUPPLIES	HP 4700 INK CARTRIDGES	28.23
		LINCOLN	LTD INSURANCE PREMIUMS	13.62
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	21.13
		BLACKBOARD CONNECT INC.	BLACKBOARD CONNECT	9,580.56
			ANNUAL SUPPORT FEE	957.13
			ANNUAL NOAA FEE	2,500.00
		OFFICE DEPOT CORPORATION	CARTRIDGE/FOLDER	67.34
		RELIABLE OFFICE SUPPLIES	COPY PAPER	2.54
		ROUND ROCK LEADER	ROUND ROCK LEADER	20.80
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	54.21
			FICA CONTRIBUTIONS AND MAT	132.24
			MEDICARE CONTRIB AND MATCH	12.68
			MEDICARE CONTRIB AND MATCH	30.93
		STAPLES BUSINESS ADVANTAGE	4700 INK	7.83
			4700 INK CARTRIDGE	7.83
		TAYLOR DAILY PRESS	TAYLOR DAILY PRESS SUBSCRI	84.00
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	31.56
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	114.40
			CONTRIBUTIONS	278.99
		VERIZON WIRELESS	CELL PHONE	50.00
		SWAGIT PRODUCTIONS, LLC	VIDEO STREAMING-COUNCIL MT	695.00_
			TOTAL:	14,799.44
HUMAN RESOURCES	GENERAL FUND	AT&T LONG DISTANCE	HUMAN RESOURCES	76.11

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		BCBS OF TEXAS	HEALTH INS. PREMIUM	965.87
		BREWMEUSUM COFFEE	COFFEE	23.45
		COOK ADVERTISING SPECIALI	10 YEAR SERVICE PINS	845.50
			10 YEAR SERVICE PINS	12.55
		TYLER TECHNOLOGIES, INC	APPLICANT TRACKING	696.49
			HR BASE MANAGEMENT	1,568.01
			POSITION CONTROL/BUDGETING	1,220.37
		KELLY PRINTING SUPPLIES	HP 4700 INK CARTRIDGES	48.38
		LINCOLN	LTD INSURANCE PREMIUMS	23.98
		LYNN ROSS & GANNAWAY, LLP	CS LEGAL SERVICES	90.00
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	42.28
		O'NEAL PHD, CASEY	PSYCH EXAM-ROUSAR	180.00
			PSYCH EXAM-SORRICK	180.00
		OFFICE DEPOT CORPORATION	INK CARTRIDGE FOR PRINTER	169.75
			CHRIS CHAIR	127.49
			OFFICE SUPPLIES	37.36
			CHRIS DESK CALENDAR	13.59
			CHRIS CHAIR MAT/HANGING FO	62.47
		RELIABLE OFFICE SUPPLIES	COPY PAPER	22.82
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	93.03
			FICA CONTRIBUTIONS AND MAT	196.43
			MEDICARE CONTRIB AND MATCH	21.76
			MEDICARE CONTRIB AND MATCH	45.94
		STAPLES BUSINESS ADVANTAGE	4700 INK	13.42
			4700 INK CARTRIDGE	13.43
		TAYLOR DAILY PRESS	AD UTILITY CLERK/ MECHANIC	221.50
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	53.68
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	220.32
			CONTRIBUTIONS	470.66
		VERIZON WIRELESS	CELL PHONE	50.00
		WILLIAMSON COUNTY SUN	JOB AD-UTILITY CLERK;MECHA	85.00
		COMPLIANCE ASSOCIATES,LP	OCT PRE-EMP DRUG TESTING	210.00
		HEWLETT-PACKARD COMPANY	HP 8600 PRINTER	234.88
		TEXAS CIVIL SERVICE REPORTER	TEXAS CIVIL SERVICE REPORT	90.00
		RUSSELL & RODRIGUEZ LLP	PERSONNEL MATTERS(WILKES)	330.00_
			TOTAL:	8,756.52
FINANCIAL SERVICES	GENERAL FUND	AT&T LONG DISTANCE	FINANCE	41.89
		BCT - #6014	2500 WINDOW ENVELOPES	447.50
		BCBS OF TEXAS	HEALTH INS. PREMIUM	1,448.80
		BREWMEUSUM COFFEE	COFFEE	23.45
		BURROWS MANUFACTURING DBA: BURROWS CAB	PAYMENT FOR Q3 2013	12,593.34
		CITY NATIONAL BANK	SAFE DEPOSIT BOX	40.00
		DENNIS, ROSEMARIE	TRANSPORTATION-GFOAT CONF	185.17
		GFOA	GFOA-BENJAMIN #300153439	190.00
		TYLER TECHNOLOGIES, INC	MAINT START 10.1.12 TO 9.3	696.49
			BASIC NETWORK SUPPORT SVR	1,205.78
			INVENTORY CONTROL	1,959.39
			PROJECT ACCOUNTING	2,254.77
			PURCHASE ORDERS	1,991.01
		INDEPENDENT STATIONERS, INC	COMPUTER PAPER	67.86
		KELLY PRINTING SUPPLIES	HP 4700 INK CARTRIDGES	88.70
		LINCOLN	LTD INSURANCE PREMIUMS	52.26
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	84.53
		OFFICE DEPOT CORPORATION	MISC SUPPLIES	62.89
			CALENDAR	13.59

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			THERMAL PAPER	12.68
			ELECTRIC STAPLER	95.29
		RELIABLE OFFICE SUPPLIES	COPY PAPER	21.13
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	203.80
			FICA CONTRIBUTIONS AND MAT	497.09
			MEDICARE CONTRIB AND MATCH	47.67
			MEDICARE CONTRIB AND MATCH	116.25
		STAPLES BUSINESS ADVANTAGE	4700 INK	24.61
			RUBBER BANDS	1.57
			MISC SUPPLIES	224.23
			4700 INK CARTRIDGE	24.61
			DOCUMENT FRAME	39.98
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	119.80
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	432.29
			CONTRIBUTIONS	1,053.78
		VERIZON WIRELESS	CELL PHONE	50.00
			MODEM	37.99
		V-QUEST OFFICE MACHINES & SUPPLIES, LT	INK CARTRIDGES	134.44
		WMSN CO. TAX ASSESSOR/COLLECTOR	IN COUNTY PARCELS	2,147.32
		HEWLETT-PACKARD COMPANY	HP 8600 PRINTER	229.99_
			TOTAL:	28,961.94
MUNICIPAL COURT	GENERAL FUND	AT&T LONG DISTANCE	MUNICIPAL COURT	55.53
		ADT SECURITY SERVICES INC	SECURITY-109 W 5TH	145.48
		BCBS OF TEXAS	HEALTH INS. PREMIUM	1,931.72
		BREWMESUM COFFEE	COFFEE	30.00
		CAVALLO ENERGY TEXAS LLC	MUNICIPAL COURT	231.24
		JPMORGAN CHASE BANK NA	JPMORGAN CHASE BANK NA	50.00-
		TYLER TECHNOLOGIES, INC	COURT CASE MANAGEMENT	6,127.37
			EPSON THERMAL RECEIPT PRIN	203.00
			COURTS ONLINE FEE	100.00
			COURTS ONLINE FEE	100.00
		LINCOLN	LTD INSURANCE PREMIUMS	33.42
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	84.52
		MAILFINANCE NEOPOST USA, INC	POSTAGE LEASE 11/5/13-2/4/	145.65
		OFFICE DEPOT CORPORATION	OFFICE SUPPLIES	93.08
			OFFICE SUPPLIES	133.70
			OFFICE SUPPLIES	270.56
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	165.27
			FICA CONTRIBUTIONS AND MAT	396.78
			MEDICARE CONTRIB AND MATCH	38.65
			MEDICARE CONTRIB AND MATCH	92.79
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	95.61
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	280.48
			CONTRIBUTIONS	669.94
		ATMOS ENERGY	NATURAL GAS-109 W 5TH	38.57
		VERIZON WIRELESS	CELL PHONE	50.00
		CONSTABLE MARTY RUBLE	WARRANT SERV-YESSENIA AGUI	100.00
		CINTAS CORPORATION #86	MATS	11.41
			MATS	11.41
			MATS	11.41
			MATS	11.31
			MATS-ANNEX	11.41_
			TOTAL:	11,620.31
PLANNING & DEVELOPMENT GENERAL FUND		AT&T LONG DISTANCE	COMMUNITY DEVELOPMENT	169.70

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		BCBS OF TEXAS	HEALTH INS. PREMIUM	2,414.66
		BREWME SUM COFFEE	COFFEE	23.45
		FED EX	BV SHIPMENTS SEPT - OCT 20	91.14
		McMAKIN AND ASSOCIATES, INC	.85 AC P COURSEY SURVEY A-	150.00
		TYLER TECHNOLOGIES, INC	BUILDING PROJECT	100.00
			BUILDING PROJECTS ONLINE C	100.00
		PROGRESSIVE WASTE SOLUTIONS OF TX, INC	COMM DEV/5 DIFF LOC 995637	3,498.30
		JJ SERVICES	DEMO_1402 WALLACE	11,118.06
		KELLY PRINTING SUPPLIES	HP 4700 INK CARTRIDGES	532.22
		LINCOLN	LTD INSURANCE PREMIUMS	68.63
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	100.38
		OFFICE DEPOT CORPORATION	INK	108.86
			OFC SUPPLIES	74.23
			OFFICE SUPPLIES	1.64
		RELIABLE OFFICE SUPPLIES	COPY PAPER	29.59
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	241.23
			FICA CONTRIBUTIONS AND MAT	617.34
			MEDICARE CONTRIB AND MATCH	56.42
			MEDICARE CONTRIB AND MATCH	144.36
		SOUTHERN COMPUTER WAREHOUSE	VIEWSONIC VA2251-LED	139.95
			DELL OPTIPLEX 3010	575.61
			MICROSOFT WIRELESS	24.32
		STAPLES BUSINESS ADVANTAGE	4700 INK	147.63
			4700 INK CARTRIDGE	147.68
		TAYLOR DAILY PRESS	09/01 - PUBLIC HEARING (J.	43.60
			10/13 - PUBLIC HEARING RET	41.60
			10/09 - PUBLIC HEARING (J.	68.00
			10/10 - PUBLIC HEARING (J.	86.00
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	189.84
			INSURANCE/WC 10.01.2013	1.76
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	527.51
			CONTRIBUTIONS	1,344.78
		VERIZON WIRELESS	CELL PHONE	100.00
			IPAD	75.98
		DAVIS GROCERY & BBQ	UTILITY LUNCH	200.00_
			TOTAL:	23,354.47
MAIN STREET PROGRAM 00 GENERAL FUND		AT&T LONG DISTANCE	MAIN STREET	9.87
		KELLY PRINTING SUPPLIES	HP 4700 INK CARTRIDGES	88.70
		LINCOLN	LTD INSURANCE PREMIUMS	9.19
		MICHAEL C. PESCHEL	SPOOKTACULAR MUSIC	125.00
		RELIABLE OFFICE SUPPLIES	COPY PAPER	8.45
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	37.24
			FICA CONTRIBUTIONS AND MAT	90.77
			MEDICARE CONTRIB AND MATCH	8.71
			MEDICARE CONTRIB AND MATCH	21.23
		STAPLES BUSINESS ADVANTAGE	4700 INK	24.60
			4700 INK CARTRIDGE	24.62
		TAYLOR DAILY PRESS	OCTAYLORFEST ADS	990.00
		TEXAS DOWNTOWN ASSOC.	TDA MEMBERSHIP_DL	245.00
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	21.42
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	78.02
			CONTRIBUTIONS	190.17
		VERIZON WIRELESS	CELL PHONE	50.00
		KRXT, INC	OCTAYLORFEST 2013-ADV	150.00
		PROJECT LOOP	F1 INVITATION/POSTER/T-SHI	2,425.00

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			OCTAYLOR FEST POSTERS	750.00
		VERASTIQUE, MIGUEL	OCTAYLORFEST POSTERS	350.00
		KOKE-FM	OCTAYLORFEST ADS	1,000.00_
			TOTAL:	6,697.99
CD-MOODY MUSEUM	GENERAL FUND	CAVALLO ENERGY TEXAS LLC	MOODY MUSEUM	299.48
		ATMOS ENERGY	ATMOS_MOODY_9/5-10/2/13	37.16
		VERIZON WIRELESS	MODEM	37.99_
			TOTAL:	374.63
PUBLIC LIBRARY	GENERAL FUND	AT&T	352-3434	324.25
		AT&T LONG DISTANCE	LIBRARY	18.14
		ADT SECURITY SERVICES INC	SECURITY0-801 VANCE	132.58
		BCBS OF TEXAS	HEALTH INS. PREMIUM	2,897.59
		BRODART CO.	CD cases & photo sleeves	338.65
			OFFICE SUPPLIES	17.20
		CAVALLO ENERGY TEXAS LLC	LIBRARY	4,202.43
		DEMCO, INC.	OFFICE SUPPLIES	289.99
		INDEPENDENT STATIONERS, INC	OFFICE SUPPLIES	151.00
		INGRAM BOOK COMPANY	BOOK CREDIT FOR DAMAGED BO	13.25-
			CREDIT FOR BARCODES	3.60-
			BOOKS	25.71
			Books	412.48
			Books	1,436.00
			Books	107.17
		LINCOLN	LTD INSURANCE PREMIUMS	49.79
		MAGAZINE SUBSCRIPTIONS	MAGAZINE SUBSCRIPTIONS	1,286.14
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	147.93
		MIDWEST TAPE	DVD SECURE CASE II	237.28
			DVD's	516.75
			DVD's	162.92
			DVD's	106.95
		RECORDED BOOKS, INC.	RECORDED BOOKS	461.40
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	206.69
			FICA CONTRIBUTIONS AND MAT	506.04
			MEDICARE CONTRIB AND MATCH	48.35
			MEDICARE CONTRIB AND MATCH	118.35
		TEGGEMAN, RUTH	OFFICE SUPPLIES	13.53
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	4.84
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	131.56
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	470.59
			CONTRIBUTIONS	1,147.56
		TEXAS STATE LIBRARY AND ARCHIVES COMMI	TEXSHARE DATABASE MEMBERSH	437.00
		ATMOS ENERGY	ATMOS ENERGY-801 VANCE	40.22
		VERIZON WIRELESS	CELL PHONE	50.00
		WAL-MART COMMUNITY/GEMB	OFFICE SUPPLIES	68.70
		CINTAS CORPORATION #86	MATS	11.88_
			TOTAL:	16,560.81
FIRE DEPARTMENT	GENERAL FUND	AT&T	352-6752	216.21
			352-2625	30.25
			352-3195	114.89
		AT&T LONG DISTANCE	FIRE DEPT	245.34
		BCBS OF TEXAS	HEALTH INS. PREMIUM	11,107.41
		CASCO INDUSTRIES INC.	4 HELMET SHIELDS	162.00
		CAVALLO ENERGY TEXAS LLC	FIRE DEPT SUPPRESSION DIV	1,560.10

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		PANDA EMBROIDERY	PANDA EMBROIDERY	410.21
		EKISS, LAURENCE P.	TRANSPORTATION	40.40
			MEALS	70.00
		FIRE ADMINISTRATIVE SERVICES, LLC	TRAINING FOR FIREHOUSE, RE	400.00
		HOME DEPOT CREDIT SERVICES	RIP BARS & CLAMP	55.08
		LINCOLN	LTD INSURANCE PREMIUMS	278.94
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	486.11
		MOTOROLA SOLUTIONS, INC	25 IMPRESS BATTERIES	2,450.00
		OFFICE DEPOT CORPORATION	TONER, DRY ERASE MARKERS	74.94
			OFFICE SUPPLIES	174.52
			POST-ITS	5.60
			LETTER HOLDER	3.41
			BINDER CLIPS	1.80
			FOLDERS, ENVELOPES, FILES	34.27
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	1,141.16
			FICA CONTRIBUTIONS AND MAT	2,854.44
			MEDICARE CONTRIB AND MATCH	266.89
			MEDICARE CONTRIB AND MATCH	667.59
		TAYLOR OFFICE PRODUCT INC	520 COPIES FOR FIRE PREVEN	40.00
		TEXAS COMMISSION ON FIRE PROTECTION	CERTIFICATION-AARON CAMPBE	85.00
		TEXAS DEPT OF STATE HEALTH SERVICES	FRO RENEWAL	70.00
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	4.07
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	4,487.17
			INSURANCE/WC 10.01.2013	38.52
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	2,513.94
			CONTRIBUTIONS	6,266.62
		ATMOS ENERGY	NATURAL GAS	49.85
			NATURAL GAS-200WASHBURN ST	57.00
		VERIZON WIRELESS	AIRCARD	37.99
			CELL PHONE	261.00
			MIFI/AIRCARDS	341.91
		WILLIAMSON COUNTY	1ST QTR FY 2014-RADIO SYST	1,588.50
		WITMER PUBLIC SAFETY GROUP, INC	2 WATERCAN HARNESS STRAPS	78.00
			100 REFLECTIVE NAME ID DE	40.00
			HHARNESS STRAPS	78.00
		ZEE MEDICAL, INC.	MEDICINE CABINET SUPPLIES	35.55
		TEXAS CIVIL SERVICE REPORTER	TEXAS CIVIL SERV, UPDATE #	90.00
		MISSION RESTAURANT SUPPLY	ICE MACHINE CONTRACT	165.00
			ICE MACHINE LEASE	165.00
		GST PUBLIC SAFETY LLC	SORRICK - NAME TAPES, BELT	60.31
		MUNICIPAL EMERGENCY SERVICES, INC	MUNICIPAL EMERGENCY SERVIC	200.25
			1 PAIR GAUNTLET GLOVES	79.10
			PAK-TRACKER & CHARGER	1,484.53
			BLADES	971.99
			KANGAROO GLOVES	1,802.25
			COVER & GASKETS	452.82
		SOUTHERN SAFETY SALES, INC	GLOVES	238.51
			SOUTHERN SAFETY SALES, INC	271.68_
			TOTAL:	44,906.12
POLICE DEPARTMENT	GENERAL FUND	AT&T	352-5551	608.79
		AT&T LONG DISTANCE	POLICE	692.74
		COX TEXAS NEWSPAPERS, LP DBA:	AUSTIN STATESMEN 2013-14	335.40
		BCBS OF TEXAS	HEALTH INS. PREMIUM	15,936.74
		BREWME SUM COFFEE	OFFICE COFFEE SERVICE	123.94
			OFFICE COFFEE SERVICE	28.75

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			OFFICE COFFEE SERVICE	139.00
		CAVALLO ENERGY TEXAS LLC	POLICE DEPARTMENT	1,776.28
		CHIEF SUPPLY CORPORATION	GLOVES	299.97
		CHIRP SECURITY	SECURITY CAMERA SYSTEM REP	295.00
		FOREMOST PROMOTIONS	NNO BRACELETS	195.00
		GEORGENS, DON	TRAINING-MEALS	140.00
		GLOBALSTAR USA	SATELLITE PHONE	58.15
		INDEPENDENT STATIONERS, INC	TONER	76.78
			RECPT BOOKS, PAPER, CLIPS	206.68
			TONER	163.59
			DVD+R, ENVELOPES	100.92
			PACKING TAPE	33.42
			TONER	53.85
			DVD-R	13.64
			PAPER AND CHAIRMAT	41.27
		LEADSONLINE LLC	ANNUAL RENEWAL	1,908.00
		LINCOLN	LTD INSURANCE PREMIUMS	408.48
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	697.44
		MILLER UNIFORM & EMBLEMS	MONTANEZ DUTY UNIFORMS	227.25
			SHIPPING EXPENSE	10.39
		MOTOROLA	ANNUAL SERVICE AGREEMENT	12,126.60
		PITNEY BOWES	POSTAGE METER REFILL	269.99
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	1,805.82
			FICA CONTRIBUTIONS AND MAT	4,026.69
			MEDICARE CONTRIB AND MATCH	422.33
			MEDICARE CONTRIB AND MATCH	941.71
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	7.47
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	6,962.76
			INSURANCE/WC 10.01.2013	58.06
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	3,983.52
			CONTRIBUTIONS	8,901.74
		VERIZON WIRELESS	AIRCARD	455.90
			CELL PHONE	460.00
		WILLIAMSON COUNTY	1ST QTR RADIO SYSTEM BILLI	3,431.16
		DEAN THREADGILL DBA:	SHIPPING EXPENSE - NNO 210	46.30
		A & B RESTORATION, INC	CARPET CLEANING SERVICES	119.00
		ON TECHNOLOGY CONSULTANTS	IT SUPPORT - OCTOBER 2013	1,551.50_
			TOTAL:	70,142.02
ANIMAL CONTROL	GENERAL FUND	AT&T	352-5483	35.45
		AT&T LONG DISTANCE	ANIMAL CONTROL	65.80
		BCBS OF TEXAS	HEALTH INS. PREMIUM	482.93
		CAVALLO ENERGY TEXAS LLC	ANIMAL CONTROL	278.90
		J P COOKE CO	2014 CITY REGISTRATION TAG	258.75
		GRAEF VETERINARY HOSPITAL	10/1 - CAST & RV	36.00
			10-17-13 CAST & RV	51.00
			10-17 CAST & RV	51.00
		LINCOLN	LTD INSURANCE PREMIUMS	10.98
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	21.14
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	61.43
			FICA CONTRIBUTIONS AND MAT	133.24
			MEDICARE CONTRIB AND MATCH	14.37
			MEDICARE CONTRIB AND MATCH	31.16
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	2.41
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	299.28
			INSURANCE/WC 10.01.2013	2.49

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	100.36
			CONTRIBUTIONS	220.16
		TRACTOR SUPPLY COMPANY	CAT & PUPPY FOOD, CAT LITT	240.84
			PRIZES FOR OCTAYLOR FEST B	73.88
			LITTER, DOG FOOD & GRAIN	189.87
		VERIZON WIRELESS	CELL PHONE	50.00
		WAL-MART COMMUNITY/GEMB	ACO SHELTER CLEANING SUPPL	242.77
			TOTAL:	2,954.21
PUBLIC WORKS ADMIN	GENERAL FUND	BCBS OF TEXAS	HEALTH INS. PREMIUM	0.00
		LINCOLN	LTD INSURANCE PREMIUMS	0.00
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	0.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	79.09
			MEDICARE CONTRIB AND MATCH	18.50
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	165.70
			TOTAL:	263.29
STREETS & GROUND MAINT	GENERAL FUND	AT&T	352-6257	370.78
		AT&T LONG DISTANCE	PUBLIC WORKS-STREETS/GROUN	21.92
		ADMIRAL LINEN AND UNIFORM SERVICES, INC	ST,GR/UNIFORMS 59507	26.00
		BETA TECHNOLOGY, INC	ANT KILL-STREETS GROUNDS	218.59
		R LOPEZ ENTERPRISES INC	AQUATICS/GROUNDS MAINT 149	449.40
			SSCAPES/GROUNDS MAINT 1499	1,190.00
			STREETSCAPES/IRRIG REPAIR1	281.25
			ANNEX&TALBOT/GROUNDS MT159	192.50
			HERITAGE/GROUNDS MAINT 150	702.19
			PD/GROUNDS MAINT 15096	387.61
			AQUATICS/GROUNDS MAINT 151	449.40
			S SCAPES/GROUNDS MAINT+ 15	1,200.00
		BCBS OF TEXAS	HEALTH INS. PREMIUM	6,761.02
		BREWME SUM COFFEE	1424 N MAIN/COFFEE SERV 60	74.95
		CAVALLO ENERGY TEXAS LLC	PUBLIC WORKS MAINT DEPT	7,022.49
		COUFAL-PRATER	ST,GR/CHAIN SAW P49735	191.99
		CRAFCO TEXAS, INC.	ST,GR/2 PALLETS CRACK SEA	3,369.00
		ERGON ASPHALT & EMULSIONS, INC	ST,GR/CSS-1H	1,034.97
		GOURMET CATERING	CLINTS RETIREMENT 101413	227.42
		GULF COAST PAPER CO. INC.	ST,GR/T TISSUE 652269	34.41
		PROGRESSIVE WASTE SOLUTIONS OF TX, INC	ST,GR/3 20 YD,1 40 YD 9956	990.21
		LINCOLN	LTD INSURANCE PREMIUMS	122.27
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	295.83
			DENTAL INSURANCE PREMIUMS	0.00
		MOSS & MOSS INC. #4000	ST,GR/SCREWS 113932	10.44
			ST,GR/BARRICADES REP 11397	9.01
		MOSS & MOSS INC. #5000	BULL BRANCH/P CHASE KEY 11	1.75
			PW OFFICE/KEYS 113678	3.50
			ST,GR/BARRICADES REP 11398	7.29
			ST,GR/CHAIN OIL 114411	11.98
		NEWMAN SIGNS, INC.	ST,GR/ARROW SIGNS 7239	112.19
			TRPSC/ENTRANCE SIGNAGE 267	54.33
			ST/STREET SIGNS	1,345.65
		OFFICE DEPOT CORPORATION	ST,GR/FOLDERS,STICKIES 500	27.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	398.00
			FICA CONTRIBUTIONS AND MAT	1,255.20
			MEDICARE CONTRIB AND MATCH	93.09
			MEDICARE CONTRIB AND MATCH	293.57
		TAYLOR DAILY PRESS	1424 N MAIN/PAPER SCRIPT10	84.00

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		TAYLOR SPORTING GOODS	ST,GR/5 JACKETS EMBROID 52	50.00
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	4.65
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	5,059.24
			INSURANCE/WC 10.01.2013	42.19
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	859.85
			CONTRIBUTIONS	2,627.40
		THOMAS, DANNY	TRAINING-TRANSPORTATION	50.50
		TRACTOR SUPPLY COMPANY	P FUESSEL/BOOTS 183677	109.99
			ST,GR/JACKETS,BOOTS 186336	234.97
			ST,GR/JACKETS,BOOTS 186337	239.97
			K KRUSE/JACKET 189033	64.99
			B BACHMEYER/BOOTS 189308	109.99
		ATMOS ENERGY	1424 N MAIN/GAS USAGE 1002	42.09
		VERIZON WIRELESS	CELL PHONE	230.00
		VULCAN CONSTRUCTION MATERIALS, LP DBA:	ST,GR/4 LOADS CC	7,065.20
		WAL-MART COMMUNITY/GEMB	CLINT/PUNCH	41.68
			TISSUE/SPOONS	32.24
			CLEANING	60.44
			FALL CLEAN UP-DRINKS	72.60
		WILLIAMSON COUNTY GRAIN	ST,GR/DUCK FOOD 060412	80.00
		ZEE MEDICAL, INC.	ST,GR/SAFETY GLASSES 2365	78.00
			ST,GR/MED KIT REFILL 2365	36.60
		ZEP MANUFACTURING CO.	ST,GR/ORANGE HAND CLEAN 61	178.90
		MCCOY'S BUILDING SUPPLY	ST,GR/LUMBER TRAIL REP 530	19.52
		CINTAS CORPORATION #86	ST,GR/UNIFORMS 71016	74.36
			ST,GR/UNIFORMS 64436	62.37
			ST,GR/UNIFORMS 67736	231.00
			ST,GR/UNIFORMS 74308	74.36
			ST,GR/UNIFORMS 77587	74.36
		GRAPPLERS, INC	ST,GR/6 40", 1 96" GRAPPLE	274.51_
			TOTAL:	47,503.17
PARKS & RECREATION	GENERAL FUND	JIM McNABB INC DBA: ART	ARBOR DAY/BANNER 26485	176.00
		BETA TECHNOLOGY, INC	TRPSC/ANT POISON 585010	206.00
		BCBS OF TEXAS	HEALTH INS. PREMIUM	2,414.65
		BSN SPORTS	4TH & VERNON/BSKTBALL GOA	469.01
		CAVALLO ENERGY TEXAS LLC	PARKS & RECREATION	3,854.52
			TRPSC	2,112.05
		COCA-COLA ENTERPRISES	TRPSC/COKE CONTRACT 181517	889.44
			TRPSC/COKE CONTRACT 181518	1,438.41
			TRPSC/COKE CONTRACT 74109	2,048.85
		DAVID FENSKE SAND & GRAVEL HAULING	TRPSC/24 YDS RED BALLFIEL	375.00
		GRAINGER, W. W. INC.	TRPSC/CABLE TIES, EX CORD4	226.36
			TRPSC/MARKING PAINT 33399	65.28
		JOSEPH DEAN GLOVER DBA:	TRPSC/RODENT CONTROL 2208	60.00
		LINCOLN	LTD INSURANCE PREMIUMS	43.86
		MATERA PAPER CO INC	TRPSC/LINERS,TP,U BLOCKS05	299.61
			TRPSC/CLOROX,PINESOL,DISP	168.13
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	105.67
		MOBILE MINI, INC	TRPSC/MOBILE UNIT LEASE 74	102.00
		MOSS & MOSS INC. #5000	TRPSC/MARKING PAINT 113888	10.62
			TRPSC/PINE CLEANER 113888	17.08
			TRPSC/CLEANING SUPPLIES 11	34.61
			TRPSC/CLAMPS,SLIPS 114079	17.42
			TRPSC/KEY, K RING 114288	7.81
			TRPSC/BATTERIES,TAPE 11435	8.53

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			TRPSC/HAMMER 114466	36.09
			TRPSC/TAPE 114466	10.44
			TRPSC/PAINT 13565	11.38
			TRPSC/BRACKET,HARDWARE 13	12.41
			TRPSC/6" BLADE 13565	15.19
			TRPSC/RAKE 13565	25.98
		OFFICE DEPOT CORPORATION	TRPSC/NOTEBOOKS,PENS 50001	63.30
		PAUL'S POOL SERVICE	MURPHY PL/POOLIFE 64844	129.99
			MURPHY PL/POOLIFE 65027	159.99
			MURPHY PL/RAINBOW REAGENT6	4.58
		POOLSURE	MURPHY PL/SULFURIC ACID 93	45.00
			MURPHY PL/SULF ACID 419427	45.00
			MURPHY PL/SULF ACID 420003	45.00
			MURPHY POOL SULFURIC ACIDE	45.00
			CREDIT-MURPHY POOL ACID	7.45-
		ROUND ROCK EXPRESS BASEBALL CLUB	TRPSC/CONDITIONER,D AGENT	975.00
			TRPSC/CONDITIONER,D AGENT	950.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	201.75
			FICA CONTRIBUTIONS AND MAT	453.38
			MEDICARE CONTRIB AND MATCH	47.18
			MEDICARE CONTRIB AND MATCH	106.03
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	6.83
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	932.41
			INSURANCE/WC 10.01.2013	7.77
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	448.00
			CONTRIBUTIONS	1,008.70
		TRACTOR SUPPLY COMPANY	TRPSC/TARP 185226	159.99
			TRPSC/BOOTS 186188	179.99
			TRPSC/BOOTS 186205	269.98
			TRPSC/BOOTS 186231	259.98
			TRPSC/RUBBER BOOTS 186247	19.99
			TRPSC/TARP 186724	239.98
			TRPSC/TOOLS 241214	124.84
		VERIZON WIRELESS	CELL PHONE	130.00
			IPAD	37.99
		ACM SERVICES LLC	ROBINSON BFIELD/LIGHTS 260	2,454.18
			PARKS/ELECTRICAL REPAIRS	2,426.73
		WAL-MART COMMUNITY/GEMB	BINDERS/C STOCK	11.90
		RICHARD REYES	TRPSC/ENTRANCE SIGN REP	450.00
		EWING IRRIGATION PRODUCTS	TRPSC/DRYING AGENT 7170541	299.57
			TRPSC/IRRIG REP PARTS 7170	220.29
			TRPSC/DRYING AGENT 7170543	713.22
		MCCOY'S BUILDING SUPPLY	TRPSC/LUMBER,BOLTS 5306870	11.18
			MURPHY PAV/BULBS 5306902	9.54
			MURPHY PAV/BULBS 5306905	15.69
			TRPSC/CLAMPS,SPIGOT 530720	9.56
			TRPSC/HEX BIT TIP SET 5307	7.75
			TRPSC/SHOVEL 5307583	29.97
			TRPSC/HEATER 5307583	59.99
		ECO REFRIGERATION	TRPSC/REFRIG REPAIR 1025	242.19
		CRA PAYMENT CENTER	TRPSC/MISC HARDWARE	9.88
		CINTAS CORPORATION #86	TRPSC/UNIFORMS 64434	42.10
			TRPSC/UNIFORMS 67734	42.10
			TRPSC/UNIFORMS 71022	42.10
			TRPSC/UNIFORMS 74314	352.85
			TRPSC/UNIFORMS 77593	42.10

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		TAKE FLYTE FARM	TRPSC/SHIRTS	250.00
			TRPSC/SHIRTS 10312013A	120.00_
			TOTAL:	30,215.49
INTERNAL SERVICES/BLDG GENERAL FUND		AT&T	352-3675	2,099.64
		AT&T LONG DISTANCE	PUBLIC WORKS-BLDG MAINT	26.73
			IT DEPT	15.55
			SURCHARGES & OTHER FEES	26.10
		ADT SECURITY SERVICES INC	SECURITY-400 PORTER ST	145.48
		BCBS OF TEXAS	HEALTH INS. PREMIUM	2,414.65
		BREWME SUM COFFEE	COFFEE	23.45
		BUCKEYE CLEANING CENTER	TOILET CLEANER/WIPES	116.07
		D.A. WARDEN COMPANY, INC.	FILTERS	682.52
		CAVALLO ENERGY TEXAS LLC	BUILDING EQUIP & MAINT DIV	2,005.55
		CHARLIE'S PAINTING CO.	PAINT COUNCIL CHAMBERS	450.00
		GULF COAST PAPER CO. INC.	LINERS/BOWL CLEANERS	366.20
			1424 N MAIN/TOWELING 65226	44.27
			DOLLYS	131.24
			TRASH CANS	52.40
			DISPENSER PAPER TOWELS	65.48
		HOME DEPOT CREDIT SERVICES	BULBS-STA 2	8.43
			DOOR KNOB-COURTS	44.63
			POWER INVERTER	79.97
			ANCHOR KIT/ORGANIZER	23.87
		JOSEPH DEAN GLOVER DBA:	FIRE ANTS	50.00
			PEST CONTROL	610.00
			BEES REMOVAL	50.00
		KELLY D. KRUSE	INSTALL RECEPTACLES-PD	129.65
			BULBS-LIBRARY	63.90
			BULBS/STA 1	64.70
			TWIST LOCK	17.95
			BULBS-POLICE	118.50
			CHECK GENERATOR CIRCUIT-ST	60.00
		LINCOLN	LTD INSURANCE PREMIUMS	36.67
		MATERA PAPER CO INC	1424 N MAIN/TOWELING 05964	73.10
			TOWELS/MOPS/HAND SOAP	372.99
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	63.41
		MOSS & MOSS INC. #6000	DRAIN OPENER AUGER-CITY HA	33.23
			SCREWDRIVER	30.38
			WOOL PADS-ACO	15.16
			GLOVES	20.59
			POWER STRIP	4.27
			UPSHOT SPRAY-LIBRARY	6.17
			STAIR EDGE-MAINT OFFICE	5.69
			PAINT-LIBRARY	33.66
			BRUSH SET	3.60
			MISC HARDWARE	15.93
			DOOR STOP	6.26
			PAINT-CITY HALL	50.22
			TOILET FLAPPER	6.63
			COUPLING	8.15
			MOUSE KILLER	14.23
		OFFICE DEPOT CORPORATION	PRINT CARTRIDGE	93.99
			PRINT CARTRIDGE	25.19
			PLANNER/INK CARTRIDGE	42.38
			NOTEBOOK	8.98

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			PENS/ENVELOPES	41.78
			PENS	8.99
			FLASH DRIVE	26.95
			PAPER	50.14
			ADDING PAPER	1.08
			PEN	8.99
		RELIABLE OFFICE SUPPLIES	COPY PAPER	4.23
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	139.87
			FICA CONTRIBUTIONS AND MAT	339.15
			MEDICARE CONTRIB AND MATCH	32.72
			MEDICARE CONTRIB AND MATCH	79.32
		TEXAS COMPTROLLER OF PUBLIC ACCOUNTS	TEXAS CO-OP DUES 2013-2014	100.00
		TAYLOR FIRE & SAFETY	ANNUAL INSPECTION FIRE EXT	2,264.00
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	1.60
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	633.36
			INSURANCE/WC 10.01.2013	5.28
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	301.06
			CONTRIBUTIONS	735.36
		ATMOS ENERGY	NATURAL GAS-307 FERGUSON S	41.01
			NATURAL GAS-400 PORTER ST	44.92
		VERIZON WIRELESS	CELL PHONE	100.00
		VIC'S HEAT & AIR	CLEANED A/C-LIBRARY	89.50
		WAYNE GING, JR DBA: WAYNE'S PLUMBING	REPLACE VALVES-LIBRARY	580.97
			DUG UP LINE	170.00
		COBRA COMMUNICATIONS	SERVICE CALL-FIRE ADMIN	60.00
			CABLE-FIRE ADMIN	982.68
		SPARKLETTS & SIERRA SPRINGS	WATER	23.52
		CINTAS CORPORATION #86	MATS	14.82
			MATS	11.88
			MATS	14.82
			MATS	14.82
			MATS	11.88
			MATS	11.88
			MATS	14.82
			MATS	11.88
			MATS	14.82
			MATS-CITY HALL	14.82
		ATD-AMERICAN CO	COUNCIL CHAIR	315.00
		BARCO PRODUCTS COMPANY	SIGN POST-CITY HALL	95.09_
			TOTAL:	18,370.82
ENGINEERING & INSPECTI	GENERAL FUND	BCBS OF TEXAS	HEALTH INS. PREMIUM	482.94
		BREWMESUM COFFEE	COFFEE	23.45
		BURKS REPROGRAPHICS	ENGINEER/PLOTTER, PRINTER53	75.00
		CAVALLO ENERGY TEXAS LLC	ENGINEERING	72.13
		LINCOLN	LTD INSURANCE PREMIUMS	13.38
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	21.14
		SLEDGE ENGINEERING	MONTHLY RETAINER-SEPT 2013	4,700.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	104.71
			FICA CONTRIBUTIONS AND MAT	294.92
			MEDICARE CONTRIB AND MATCH	24.49
			MEDICARE CONTRIB AND MATCH	68.97
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	139.16
			INSURANCE/WC 10.01.2013	1.36
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	241.94
			CONTRIBUTIONS	670.38

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		VERIZON WIRELESS	CELL PHONE	100.00
		WAL-MART COMMUNITY/GEMB	PRINT CART/BATTERIES	56.91
		CASTLEBERRY SURVEYING, LTD	905 DAVIS ALLEY SURVEY	1,450.00_
			TOTAL:	8,540.88
INTERNAL SVC/ I T DEPT	GENERAL FUND	ALTEX ELECTRONICS	VIDEO CABLES/HAND DRIVES	261.85
		BCBS OF TEXAS	HEALTH INS. PREMIUM	482.93
		LINCOLN	LTD INSURANCE PREMIUMS	9.95
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	21.13
		ALLDATA, LLC	ALLDATA	297.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	32.92
			FICA CONTRIBUTIONS AND MAT	81.16
			MEDICARE CONTRIB AND MATCH	7.70
			MEDICARE CONTRIB AND MATCH	18.98
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	22.81
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	81.64
			CONTRIBUTIONS	199.52
		VERIZON WIRELESS	CELL PHONE	50.00
		ON TECHNOLOGY CONSULTANTS	IT CONSULTING	872.00_
			TOTAL:	2,439.59
NON-DEPARTMENTAL	GENERAL FUND	CNA SURETY	CNA SURETY	406.00
		PROGRESSIVE WASTE SOLUTIONS OF TX, INC	RESIDENTIAL	63,673.15
			FRONT END	41,695.55
			COMMERCIAL TOTERS	5,438.12
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	9,780.51
			INSURANCE/WC 10.01.2013	1,359.87
			INSURANCE/WC 10.01.2013	288.00-
			INSURANCE/WC 11.01.2013	293.19
			INSURANCE/WC 10.01.2013	0.01-
			TOTAL:	122,358.38
HOTEL/MOTEL TAX	HOTEL/MOTEL FUND	TAYLOR CHAMBER OF COMMERC	COLLECTIONS PAYOUT	4,357.87_
			TOTAL:	4,357.87
LEASE PAYMENT T J C	TEXAS CAPITAL FUND	TEXAS DEPT OF AGRICULTURE	TEXAS DEPT OF AGRICULTURE	2,085.25_
			TOTAL:	2,085.25
CONTRIBUTE CIVIC PROGR	MAIN STREET REVENUE	JAYROE, CALVIN & ANNA	#6 OF 10 CHERRY TREE CREAT	500.00
			MAIN ST RENT ASST-#7 OF 10	500.00
		PFEIL, RICHARD OR FAY	#3 OF 10 ABBE'S TREASURE T	225.00
		QUINN, J PATRICK DBA MAIN STREET CENTE	#1 OF 10 BRIGHTSIDE BOOKS	400.00
			#5 OF 10 MAIN AVE PRINTING	225.00
			#6 OF 10 MEEZOOZAH	500.00
			MAIN ST RENT ASST #2 OF 10	400.00
			MAIN ST RENT ASST #6-10 MA	225.00
			MAIN ST RENT ASST #7OF10 M	500.00
		TRUEX, STEPHEN & DANA	MAIN ST RENT ASST-#10 OF 1	750.00
		TIMMERMAN & BOHLS, LLC	#8 OF 10 FRIENDS OF THE BR	425.00
			MAIN ST RENT ASST #9-10 FR	425.00
		PIERCE, CHISUM ARMSTRONG	#6 OF 10 E-JAY'S FABRICS	400.00
			MAIN ST RENT ASST #7-10 E-	400.00
		HAYS, MARY LINDA & HARLAN	#6 OF 10 FRILLS ON FOURTH	750.00
			MAIN ST RENT ASST #7-10 FR	750.00
		STEGER, NELL ET AL	#5 OF 10 TIKI TREATS	600.00
			MAIN ST RENT ASST-#6 OF 10	600.00

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		CHAIDEZ, PATY	MAIN ST RENT ASST-#2 OF 10	162.50
			MAIN ST RENT ASST #3 OF 10	162.50_
			TOTAL:	8,900.00
LIBRARY	LIBRARY GRANT/DONA INGRAM BOOK COMPANY		BOOKS MEMORIAL	42.49_
			TOTAL:	42.49
AMY YOUNG BARRIER #3	GENERAL CAPITAL IM PRECISION CONSTRUCTION, LLC		PRECISION-2300 SMITH	17,460.00
	VALDEZ REMODELING & WEATHERIZATION INC		REMODELING 1001 VANCE	18,200.00
			WEATHERIZATION-1001 VANCE	1,025.00_
			TOTAL:	36,685.00
CDBG STREETS	GENERAL CAPITAL IM SLEDGE ENGINEERING		2012 CDBG STREETS	2,000.00_
			TOTAL:	2,000.00
PAVEMENT MANAGEMENT	GENERAL CAPITAL IM SLEDGE ENGINEERING		2013 PAVEMENT MANAGE DESIG	9,000.00_
			TOTAL:	9,000.00
NON-DEPARTMENTAL	PUBLIC UTILITIES F AFLAC		AFLAC PREMIUMS	506.43
	BCBS OF TEXAS		HEALTH INS. PREMIUM	4,041.98
	EDWARDS, JOSEPH		REIMB DIFF SPOUSE&CHLD 11.	224.56
	ENRIQUEZ, BIANCA %TX CHILD SUPPORT SDU		01-0186 DANIEL JACOB GARCI	128.21
			01-0186 DANIEL JACOB GARCI	298.15
	METLIFE SBC		DENTAL INSURANCE PREMIUMS	430.76
	NATIONWIDE RETIREMENT SOLUTIONS		EMPLOYEE CONTRIBUTIONS	49.62
			EMPLOYEE CONTRIBUTIONS	115.20
	PRE-PAID LEGAL SERVICES		PRE-PAID LEGAL PREMIUMS	67.75
	CITIZENS NATIONAL BANK		FEDERAL WITHHOLDING	1,030.77
			FEDERAL WITHHOLDING	2,384.83
			FICA CONTRIBUTIONS AND MAT	726.32
			FICA CONTRIBUTIONS AND MAT	1,735.03
			MEDICARE CONTRIB AND MATCH	169.85
			MEDICARE CONTRIB AND MATCH	405.78
	TEXAS MUNICIPAL RETIREMENT		CONTRIBUTIONS	884.85
			CONTRIBUTIONS	2,109.64
	UNUM LIFE INS CO OF AMERI		LIFE INSURANCE PREMIUMS	95.37_
			TOTAL:	15,405.10
UTILITIES ADMINISTRATI	PUBLIC UTILITIES F AT&T LONG DISTANCE		UTILITY BILLING	179.62
	BCBS OF TEXAS		HEALTH INS. PREMIUM	2,414.66
	BREWMESUM COFFEE		COFFEE	23.45
	BRINKS, INC.		OCTOBER 2013	532.82
			OCTOBER 2013 - FUEL SURCHA	74.80
	CAVALLO ENERGY TEXAS LLC		UTILITY OPERATING FUND-ADM	262.02
	TYLER TECHNOLOGIES, INC		NEP UTIL HANDHELD MTR/READ	565.20
			MEDIA PLUS AUTO CASH DRWR	40.00
			EPSON THERMAL RECEIPT PRIN	1,238.00
			MAINTENANCE-THERMAL REC PR	609.00
			UT BILLING ONLINE FEE	220.00
			WEBSITE MONTHLY FEE	50.00
			UT BILLING COMPONENT	220.00
			WEBSITE MONTHLY FEE	50.00
	INDEPENDENT STATIONERS, INC		OFFICE SUPPLIES	284.79
			OFFICE SUPPLIES	149.68
			OFFICE SUPPLIES	137.85
			TONER & INK CARTRIDGES	210.99

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			TAPE DISPENSERS, BANDS, ET	26.08
			OFFICE SUPPLIES	112.03
		LINCOLN	LTD INSURANCE PREMIUMS	41.31
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	105.66
		MVBA LAW FIRM	DELUNA	30.10
			IVICIC	38.03
			TANKSLEY	38.90
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	185.30
			FICA CONTRIBUTIONS AND MAT	409.55
			MEDICARE CONTRIB AND MATCH	43.34
			MEDICARE CONTRIB AND MATCH	95.79
		TAYLOR OFFICE PRODUCT INC	COURTESY ENVELOPES	165.00
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	427.15
			INSURANCE/WC 10.01.2013	3.56
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	417.11
			CONTRIBUTIONS	925.20
		TRACTOR SUPPLY COMPANY	RAINCOATS	54.98
		VERIZON WIRELESS	CELL PHONE	150.00
		HEWLETT-PACKARD COMPANY	HP 8600 PRINTER	229.99
			TOTAL:	10,761.96
WASTEWATER TREATMENT	PUBLIC UTILITIES F	A-LINE AUTO PARTS	CYLINDER FOR BAR SCREEN	50.00
		AT&T	352-2412	89.45
		AT&T LONG DISTANCE	WASTEWATER	1.62
		AQUA-TECH LABORATORIES-AQ	SEPT 2013 ANALYSIS	836.00
		BCBS OF TEXAS	HEALTH INS. PREMIUM	1,448.79
		CAVALLO ENERGY TEXAS LLC	SEWER TREATMENT PLANT O&M	15,174.23
		PROGRESSIVE WASTE SOLUTIONS OF TX, INC	WWT/8 SLUDGE HAULS 995637	3,842.00
		CHEMSEARCH DIVISION	MEND-CON	298.00
		LINCOLN	LTD INSURANCE PREMIUMS	16.75
		MANTEK DIVISION	AEROSOL	187.45
			AEROSOL	187.45
			ELITE	254.50
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	42.26
		MOSS & MOSS INC. #3000	PADLOCK	19.94
		NESLONY, AARON	TRAINING-MEALS	90.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	88.13
			FICA CONTRIBUTIONS AND MAT	190.43
			MEDICARE CONTRIB AND MATCH	20.61
			MEDICARE CONTRIB AND MATCH	44.54
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	301.82
			INSURANCE/WC 10.01.2013	2.51
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	185.39
			CONTRIBUTIONS	400.72
		VERIZON WIRELESS	CELL PHONE	30.00
		WAL-MART COMMUNITY/GEMB	WWTP MISC HARDWARE	29.97
		USA BLUEBOOK; INC. DBA	HACH DPD SAMPLES	186.81
			FLUSH MOUNT, TAPE, HOOK	202.58
			FLUSH MOUNT	87.59
		CINTAS CORPORATION #86	UNIFORMS RENTAL	10.34
			CINTAS CORPORATION #86	10.34
			CINTAS CORPORATION #86	10.34
			CINTAS CORPORATION #86	10.34
			CINTAS CORPORATION #86	10.34
		OVIVO USA, LLC	SPROCKET	176.84
			TOTAL:	24,538.08

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
DISTRIBUTION/COLLECTIO	PUBLIC UTILITIES F	A-LINE AUTO PARTS	CYLINDER	50.00
		AT&T	352-3251	181.31
		AT&T LONG DISTANCE	UTILITIES-MAINTENANCE	40.94
		USA MOBILITY WIRELESS, INC	PAGERS	14.12
		AIRGAS, INC.	TORCH RENTAL	38.75
		ADMIRAL LINEN AND UNIFORM SERVICES, INC	ADMIRAL LINEN AND UNIFORM	65.00
		BCBS OF TEXAS	HEALTH INS. PREMIUM	6,278.10
		BREWME SUM COFFEE	CUPS	48.50
			COFFEE	88.75
		CAVALLO ENERGY TEXAS LLC	UTILITY SYSTEM MAINTENANCE	3,706.16
		CLAWSON, DUSTIN	WATER DIST TRAINING-COLLEG	96.00
		CRISP, TIM	WATER DIST TRAINING	96.00
		GULF COAST PAPER CO. INC.	TOILET TISSUE	37.04
		O'REILLY AUTOMOTIVE, INC.	AIR FILTER	47.99
		LINCOLN	LTD INSURANCE PREMIUMS	121.34
		MANTEK DIVISION	ALOEDERM	167.78
			ALOEDERM	167.78
			LATEX GLOVES	165.39
			LATEX GLOVES	165.39
			RED TOWELS	210.39
			RED TOWELS	210.39
			SOAP	300.00
			SOAP	300.00
			CITRI CON	287.14
			PASSAGE V PLUS	288.78
			CITRI CON	287.14
			PASSAGE V PLUS	288.78
			TRIMATIC	217.79
			TRAILBLAZER MAXX	201.53
			TRAILBLAZER	201.53
			TRAILBLAZER MAXX	201.53
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	274.75
		MOSS & MOSS INC. #3000	CEMENT	20.88
			NIPPLE, DRAIN	10.40
			PAIL	9.48
			PIPE, COUPLING	8.05
			HOSE	21.38
			BATTERIES	8.07
			BITS, ADHESIVE	26.09
			KEYS	3.50
			MISC HARDWARE	2.76
		NORTHERN SAFETY & INDUSTRIAL CO. INC	EYEWEAR	212.80
		OFFICE DEPOT CORPORATION	PAPER, STENO BOOKS	91.18
		POPE MATERIALS INC	100 TONS SANDY LOAM	1,200.00
			FREIGHT-BASE/CRUSHED STON	1,575.14
		RDO EQUIPMENT CO	FORKS	3,400.00
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	452.89
			FICA CONTRIBUTIONS AND MAT	1,135.05
			MEDICARE CONTRIB AND MATCH	105.91
			MEDICARE CONTRIB AND MATCH	265.45
		TEXAS CRUSHED STONE CO.	150 TONS-BASE AND 3/8" ST	2,418.02
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	7.97
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	2,520.98
			INSURANCE/WC 10.01.2013	21.02
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	1,039.54
			CONTRIBUTIONS	2,588.95

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		TRACTOR SUPPLY COMPANY	MISC HARDWARE	0.90
			BOOTS-BUNTON	119.98
			BOOTS-CISCO	99.99
			WRENCH KIT, SOCKET SET	199.98
			BOOTS-MEAKER	84.99
			JACKET-JACOB	69.99
		ATMOS ENERGY	NATURAL GAS-1200 N MAIN	44.21
		ULINE, INC.	BROOMS	230.63
		UNITED RENTALS HWY TECH	BLADE	97.34
			BLAD	265.00
		VERIZON WIRELESS	IPAD	37.99
			CELL PHONE	441.15
			MIFI	37.99
		WAL-MART COMMUNITY/GEMB	BLK INK	46.88
			64G	59.98
			CAR CHARGER	19.96
			EMPLOYEE LUNCH	130.95
			265/70R16	238.00
			255/70R16	236.00
			BATTERIES	27.94
			TARPS	75.76
			OTTER BOX	56.88
		USA BLUEBOOK; INC. DBA	METER BOX PUMP	218.23
			T-PROBES	270.17
			CHLORINE METER	877.72
		HAAG, JUSTIN W.	WATER UTIL SAFETY TRAINING	96.00
		MCCOY'S BUILDING SUPPLY	PLUG, ADAPTER	18.42
			NAILS	5.98
			STUDS, LUMBER, NAILS	150.35
		MOODY BROS. INC	HYDRA GUARD 2" METER	3,511.02
		ECO REFRIGERATION	ICE MACHINE REPAIR	161.21
		CINTAS CORPORATION #86	UNIFORMS RENTAL	99.22
			CINTAS CORPORATION #86	77.66
			CINTAS CORPORATION #86	77.66
			CINTAS CORPORATION #86	167.20
			CINTAS CORPORATION #86	77.88_
			TOTAL:	40,422.81
UTILITIES NONDEPARTMEN	PUBLIC UTILITIES F	BRAZOS RIVER AUTHORITY	GRWTP-O&M	106,084.03
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	6,758.89
			INSURANCE/WC 10.01.2013	138.24
		RIMROCK CONSULTING CO	RIMROCK	3,240.00_
			TOTAL:	116,221.16
NON-DEPARTMENTAL	UTILITY IMPACT FEE	SMITH CONTRACTING CO INC	SMITH CONTRACT/WW CROSSING	25,775.00_
			TOTAL:	25,775.00
NON-DEPARTMENTAL	AIRPORT FUND	CITIZENS NATIONAL BANK	FEDERAL WITHHOLDING	61.38
			FEDERAL WITHHOLDING	150.41
			FICA CONTRIBUTIONS AND MAT	36.34
			FICA CONTRIBUTIONS AND MAT	88.06
			MEDICARE CONTRIB AND MATCH	8.50
			MEDICARE CONTRIB AND MATCH	20.60
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	30.31
			CONTRIBUTIONS	73.90_
			TOTAL:	469.50

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
AIRPORT OPERATIONS DEP	AIRPORT FUND	AT&T	352-5747	63.80
		AT&T LONG DISTANCE	AIRPORT	12.09
		AVFUEL CORP.	100LL FUEL	26,039.45
			JET A FUEL	23,000.25
		BREWME SUM COFFEE	COFFEE	64.25
		CAVALLO ENERGY TEXAS LLC	AIRPORT DEPT OPERATIONS	637.30
		JOSEPH DEAN GLOVER DBA:	SPRAYED INSECTICIDE	40.00
		LINCOLN	LTD INSURANCE PREMIUMS	6.54
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	36.34
			FICA CONTRIBUTIONS AND MAT	88.06
			MEDICARE CONTRIB AND MATCH	8.50
			MEDICARE CONTRIB AND MATCH	20.60
		TEXAS WORKFORCE COMMISSIO	QUARTERLY UNEMPLOYMENT TAX	2.38
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	1,653.88
			INSURANCE/WC 10.01.2013	20.97
			INSURANCE/WC 10.01.2013	5.86
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	56.24
			CONTRIBUTIONS	137.13
		VERIZON WIRELESS	CELL PHONE	50.00_
			TOTAL:	51,943.64
NON-DEPARTMENTAL	CEMETERY OPERATING	BCBS OF TEXAS	HEALTH INS. PREMIUM	907.88
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	61.34
		CITIZENS NATIONAL BANK	FEDERAL WITHHOLDING	16.93
			FEDERAL WITHHOLDING	43.89
			FICA CONTRIBUTIONS AND MAT	24.80
			FICA CONTRIBUTIONS AND MAT	60.69
			MEDICARE CONTRIB AND MATCH	5.81
			MEDICARE CONTRIB AND MATCH	14.19
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	28.93
			CONTRIBUTIONS	70.67
		UNITED STATES TREASURY	MOERBE,VIRGINA;IRS TAX LEV	12.87
			MOERBE,VIRGINA;IRS TAX LEV	66.96_
			TOTAL:	1,314.96
CEMETERY OPERATING DEP	CEMETERY OPERATING	AT&T	352-3531	49.80
		AT&T LONG DISTANCE	CEMETERY	45.86
		BCBS OF TEXAS	HEALTH INS. PREMIUM	482.93
		CAVALLO ENERGY TEXAS LLC	CEMETERY DEPT OPERATIONS	80.15
		EVINS TEMPORARIES, INC.	CEM/1 TEMP 9/23-9/27 1182	495.12
			CEM/1 TEMP 9/30-10/4 11824	473.85
			CEM/1 TEMP 10/7-10/11 118	486.00
			CEM/1 TEMP 10/14-10/18 11	315.90
			CEM/1 TEMP 10/21-10/25 118	486.00
		GORE, OTIS A.	CEM/7 REG OPEN CLOSES 1031	3,150.00
		LINCOLN	LTD INSURANCE PREMIUMS	6.54
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	21.14
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	24.80
			FICA CONTRIBUTIONS AND MAT	60.69
			MEDICARE CONTRIB AND MATCH	5.81
			MEDICARE CONTRIB AND MATCH	14.19
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	182.90
			INSURANCE/WC 10.01.2013	210.35
			INSURANCE/WC 10.01.2013	5.86
			INSURANCE/WC 10.01.2013	1.92
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	53.67

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			CONTRIBUTIONS	131.14
		VERIZON WIRELESS	CELL PHONE	50.00
		WMSON COUNTY CLERK	ADDITIONAL FEE TO FILE DEE	25.00
		MCCOY'S BUILDING SUPPLY	CEMETERY/MARK FLAGS 530743	7.36_
			TOTAL:	6,866.98
NON-DEPARTMENTAL	FLEET SERVICES OPE AFLAC		AFLAC PREMIUMS	103.45
		NATIONWIDE RETIREMENT SOLUTIONS	EMPLOYEE CONTRIBUTIONS	8.60
			EMPLOYEE CONTRIBUTIONS	20.00
		PRE-PAID LEGAL SERVICES	PRE-PAID LEGAL PREMIUMS	25.90
		CITIZENS NATIONAL BANK	FEDERAL WITHHOLDING	180.13
			FEDERAL WITHHOLDING	452.90
			FICA CONTRIBUTIONS AND MAT	91.67
			FICA CONTRIBUTIONS AND MAT	224.10
			MEDICARE CONTRIB AND MATCH	21.44
			MEDICARE CONTRIB AND MATCH	52.41
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	104.65
			CONTRIBUTIONS	255.67
		UNUM LIFE INS CO OF AMERI	LIFE INSURANCE PREMIUMS	28.25_
			TOTAL:	1,569.17
FLEET SERVICES SECTION	FLEET SERVICES OPE A-LINE AUTO PARTS		#605 PUMP	149.41
			#508 BATTERY	207.78
			#508 CORE CREDIT	30.00-
			#609 CONNECTOR	21.91
			#109 VACUUM TEE	3.80
			#609 BRACKETS	4.54
			#115 HOSE CLAMP	1.92
			OIL-FLEET	108.60
			#538 LIGHT	39.99
			#73 LIGHT	7.89
			#607 SPARK PLUG	6.71
			#73 LIGHT	7.89
			#549 HOSE	18.47
			#549 FITTING & WINDSHIELD	9.96
			#511 UTILITY LIGHT	3.06
			#51 HYD HOSE	51.16
			#504 BATTERY	39.56
			RAZOR BLADE	8.41
			STOCK	11.35
			730 ADAPTER	15.39
			#327 OIL FILTER	27.52
			#615 BACK UP ALARM	114.19
			GLASS CLEANER	4.19
			#29 FILTERS	67.01
			#508 FLASHER	29.24
			#615 TRAILER PLUG	14.89
			#29 AIR FRESHENER	6.76
			BULB	3.28
			TRAILER PLUG FLASHER	29.51
			#324/#326 OIL FILTERS	58.99
			FLASHER	14.62
			OIL FILTERS	31.47
			#302 BALL JOINTS SUSPENSIO	734.50
			#115 OIL	64.07
			SPARK PLUG	3.82

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
			BRAKE LINE	3.95
		AT&T (ATLANTA)	INSPECTION LINE	51.02
		AIRGAS, INC.	OXYGEN	101.57
			OXYGEN	345.04
		JIM McNABB INC DBA: ART	DECALS/NUMBERS	660.00
			LETTERS	10.00
		AUSTIN POMA, INC	MINIBAR	1,224.00
		AUSTIN TURF & TRACTOR	TRPSC FILTERS/OIL	263.05
		BCBS OF TEXAS	HEALTH INS. PREMIUM	482.93
		COUFAL-PRATER	#47 STEEL EMBLEM	20.66
			#552 REPAIRS	2,572.38
			CHANINS	63.96
			MOTOMIX FUEL	255.00
			REPLACE SPARK PL/FILTER-FI	66.27
			#552 REPLACED GEARBOX	711.49
			SEAL/SPARK PLUG	87.50
		FLOYDCO INC	#94 WINDSHIELD REPAIR	60.00
		GCR TIRE CENTER	#47 TIRE	848.20
			#47 TIRE	848.20
			#604 TIRES	522.66
			#508 TIRE	91.00
			TIRES - 2 MOWERS	407.20
			#700 TRANSFORCE	201.36
			SPARE KUBOTA	30.00
			#508 TIRE	91.00
		HENNA CHEVROLET INC	#730 MATS	119.00
			#610 CAP	206.57
			#548 LAMPS	173.47
			#535 DOOR TRIM HANDLE	106.12
			#548 LAMP	104.90
			#548 LIGHT SOCKET	39.22
			#548 LAMPS CREDIT	123.07-
			#615 MATS	59.50
			#45 CIRCUIT BOARD	47.02
			#269 DOOR HANDLE	333.78
		O'REILLY AUTOMOTIVE, INC.	#605 FLUID	5.89
			#609 LIGHT	4.39
			#115 FILTER	162.54
			#35 FILTER	162.55
			#548 BULBS	12.28
			BULBS-STOCK	18.87
			B2 HATCH SUPPORT	54.28
			P/S FLUID #502	10.98
		INTERSTATE BATT. N AUSTIN	#553 BATTERY	116.95
			#522 BATTERY	113.95
			#47 BATTERY	113.95
			#115 BATTERY	113.95
			#324 BATTERY	111.95
			#608 BATTERY	211.90
			#604 BATTERY	105.95
			#320 BATTERY	108.95
			EXCISE	21.00
		LAWSON PRODUCTS INC.	SWITCHES/SCREWS	293.69
			CABLE TIES	10.00
		LINCOLN	LTD INSURANCE PREMIUMS	13.72
		MAGNUM TRAILERS	#519/#520 GAUGE WHEELS	97.83

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		NYLE MAXWELL CHRYSLER DODGE JEEP	#502 SOCKET	52.65
			#502 LINE	118.40
		METLIFE SBC	DENTAL INSURANCE PREMIUMS	21.13
		MOSS & MOSS INC. #6000	RAT TRAPS	14.21
		MOSS & MOSS INC. #8000	BATTERIES/SHOP METERS	17.08
			BATTERY/SHOP METER	4.74
			UTILITY BLADE	7.59
			DIESEL CAN	18.04
			GLUE TRAPS	12.81
			BATTERY	4.74
		PROFESSIONAL TURF PDT INC	#508 WHEEL	478.77
		RDO EQUIPMENT CO	#115 CAP SCREW	9.64
			#47 MUFFLER	188.09
			#35 FILTER	76.89
			#115 CYLINDER	72.11
			#47 TIRE ROD	474.00
		ALL AREA OVERHEAD	#519/#520 REPLACE SPRING C	428.00
		ALLDATA, LLC	ALLDATA	1,188.00
		SAFETY KLEEN SYSTEMS, INC	SOLVENT	168.55
		SHARE CORPORATION	AEROSOL	404.89
		SIDDONS FIRE APPARATUS	Q1 REPAIRS	3,145.37
		CITIZENS NATIONAL BANK	FICA CONTRIBUTIONS AND MAT	91.67
			FICA CONTRIBUTIONS AND MAT	224.10
			MEDICARE CONTRIB AND MATCH	21.44
			MEDICARE CONTRIB AND MATCH	52.41
		SPILLAR CUSTOM HITCHES,IN	#730 TOOLBOX	1,445.00
			#615 HEADACHE RACK	343.40
		TAYLOR AUTO ELECTRIC, INC	#164 STARTER	122.12
		TAYLOR EQUIPMENT	#525 BELT	77.92
			#400 BLADES	54.00
			KUBOTA MOWER BELT	77.92
			MOWER SNAP RING	4.10
			TIRES/WHEELS-ZERO TURN MOW	201.37
		TAYLOR FIRE & SAFETY	ANNUAL INSPECTION FIRE EXT	543.75
		TAYLOR IRON-MACHINE WORKS	WELD SOCKET	48.00
		TIRES & OIL, INC.	#500 STATE INSPECTION	28.75
			#611 OIL CHANGE	30.99
			#603 OIL CHANGE	30.99
		PAUL FLORES DBA:	#324 TOWING FEE	50.00
		TONY MORGAN DBA:	#47 & #115 FLAT REPAIR	190.00
		TEXAS HYDRAULICS & PNEUMATICS	#115 RESEAL CYLINDER	770.00
		TML INTERGOVERNMENTAL	INSURANCE/WC 10.01.2013	8,819.20
			INSURANCE/WC 10.01.2013	474.38
			INSURANCE/WC 10.01.2013	5.86
			INSURANCE/WC 10.01.2013	3.96
		TEXAS TOLLWAYS CSC	TOLL FEES	8.53
		TEXAS MUNICIPAL RETIREMENT	CONTRIBUTIONS	194.18
			CONTRIBUTIONS	474.45
		TRACTOR SUPPLY COMPANY	#52 HITCH	119.99
		TEXAS FLEET FUEL, LTD.	FUEL	3,736.77
			FUEL	4,488.35
			FUEL	3,015.14
			FUEL	3,432.98
		UNDERGROUND INC	#607 JOYSTICK	417.64
		VERIZON WIRELESS	CELL PHONE	80.00
			IPAD	714.48

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT_
		H A WILSON MOTOR CO	#324 REPAIR	1,015.31
		CINTAS CORPORATION #86	FLEET/UNIFORMS 64435	17.08
			TRPSC/UNIFORMS 67735	17.08
			FLEET/UNIFORMS 71017	17.08
			FLEET/UNIFORMS 74309	17.08
			FLEET/UNIFORMS 77588	17.08_
			TOTAL:	53,242.63
FLEET REPLACEMENT	FLEET REPLACEMENT	JOHN DEERE FINANCIAL	020-0056894-002	4,732.53
			020-0056894-003	228.71
			MOD#2930M,SER#1TC930MGHDT0	4,732.53
			MOD VC-60, SERIAL #1059VC	228.71
			020-0056894-001	1,406.02
		SOVEREIGN LEASING, LLC	SOVEREIGN	15,345.53
			SOVEREIGN	2,288.66_
			TOTAL:	28,962.69
NON-DEPARTMENTAL	POOLED CASH	JPMORGAN CHASE BANK NA	JPMORGAN CHASE BANK NA	5,151.32
			JPMORGAN CHASE BANK NA	6,243.30
		MISCELLANEOUS PHILLIPS-CRAFT, RACHEL	Cash Refund:1034073 -01	75.00_
			TOTAL:	11,469.62

===== FUND TOTALS =====

100	GENERAL FUND	588,202.12
120	HOTEL/MOTEL FUND	4,357.87
121	TEXAS CAPITAL FUND	2,085.25
123	MAIN STREET REVENUE FUND	8,900.00
129	LIBRARY GRANT/DONATION	42.49
162	GENERAL CAPITAL IMPROVEME	47,685.00
340	PUBLIC UTILITIES FUND	207,349.11
345	UTILITY IMPACT FEE FUND	25,775.00
350	AIRPORT FUND	52,413.14
370	CEMETERY OPERATING FUND	8,181.94
382	FLEET SERVICES OPERATING	54,811.80
384	FLEET REPLACEMENT FUND	28,962.69
950	POOLED CASH	11,469.62

GRAND TOTAL: 1,040,236.03

SELECTION CRITERIA

SELECTION OPTIONS

VENDOR SET: 95-CITY OF TAYLOR
VENDOR: All
CLASSIFICATION: All
BANK CODE: Include: AP, PRAP
ITEM DATE: 10/01/2013 THRU 10/31/2013
ITEM AMOUNT: 9,999,999.00CR THRU 9,999,999.00
GL POST DATE: 0/00/0000 THRU 99/99/9999
CHECK DATE: 0/00/0000 THRU 99/99/9999

PAYROLL SELECTION

PAYROLL EXPENSES: NO
CHECK DATE: 0/00/0000 THRU 99/99/9999

PRINT OPTIONS

PRINT DATE: None
SEQUENCE: By Department
DESCRIPTION: Distribution
GL ACCTS: NO
REPORT TITLE: C O U N C I L R E P O R T
SIGNATURE LINES: 0

PACKET OPTIONS

INCLUDE REFUNDS: YES
INCLUDE OPEN ITEM:NO

A t t a c h m e n t D

O p e r a t i n g F u n d s B a l a n c e S h e e t s

G e n e r a l F u n d

S p e c i a l R e v e n u e F u n d s

R o a d w a y I m p a c t F u n d

M u n i c i p a l U t i l i t y D r a i n a g e F u n d

U t i l i t y F u n d

U t i l i t y I m p a c t F u n d

A i r p o r t F u n d

C e m e t e r y F u n d

F l e e t S e r v i c e s O p e r a t i n g F u n d

F l e e t R e p l a c e m e n t F u n d

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

100-GENERAL FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
100-100-100	PETTY CASH	1,675.06
100-100-102	CLAIM ON POOLED CASH	(905,974.95)
100-100-103	SECURITY INVESTMENTS	0.00
100-100-104	CHASE #99-22784847	0.00
100-100-105	MONEY MARKET @CNB #4260618	12,222.61
100-100-106	CHASE ACCT 836345132	0.00
100-100-107	MBIA TX-01-0247-0001	0.00
100-100-108	TEXSTAR (NOBLE) MOODY MUSEUM	254,454.08
100-100-109	PRINCOR GEN FUND 6FR-139362	672,207.33
100-100-110	TEXPOOL 78404; 2465300006	3,084,325.19
100-100-111	TXU DESIGNATED CNB 2067064	0.00
100-100-113	MOODY TEXPOOL 2465300015	50,006.99
100-100-115	TIF TEXPOOL 2465300004	0.00
100-120-100	PROPERTY TAXES RECEIVABLE	111,615.90
100-120-102	TEXSTAR 000 2295	0.00
100-120-103	MISC. ACCOUNTS RECEIVABLE	47,503.37
100-120-110	ALLOWANCE UNCOLLECTED TAXES	(28,136.85)
100-120-120	SALES TAXES RECEIVABLE	620,595.13
100-120-130	ACCTS RECEIVABLE GARBAGE	132,261.70
100-120-131	ALLOWANCE - GARBAGE	(2,691.04)
100-120-132	P.I.L.O.T. RECEIVABLE	0.00
100-120-140	GRANTS RECEIVABLE	0.00
100-120-240	DUE FROM TAXES	0.00
100-120-250	DUE FROM FUND 350 FOR LOAN	0.00
100-120-251	DUE FROM FUND 350 (2ND LOAN)	0.00
100-120-302	TEDC REIMBURSE FOR MAIN ST	0.00
100-150-100	OTHER ASSETS (AUDITOR'S ENTRY)	0.00
100-170-100	CURRENT YR RES FOR ENCUMBRANCE	(116,664.72)
100-170-101	PRIOR YR RES FOR ENCUMBRANCE	68,790.99
100-180-101	DUE FROM SOURCES-GRANT REVENUE	0.00
100-190-102	DEFERRED CHGS-BOND ISSUE COST	0.00
		4,002,190.79
TOTAL ASSETS		4,002,190.79
=====		
LIABILITIES		
=====		
100-200-100	ACCRUED PAYBLES	0.00
100-200-110	ENCUMBERED PAYABLE GEN.	(116,664.72)
100-200-111	PRIOR YEAR ENCUMBRANCE	68,790.99
100-200-200	FICA & MEDICARE PAYABLE	0.00
100-200-201	FEDERAL WITHHOLDING PAYABLE	0.00
100-200-202	TMRS PAYABLE	0.00
100-200-203	DEFERRED COMP PAYABLE	1,385.88
100-200-204	CIVIL SERVICE-SICK LEAVE	0.00
100-200-205	TEDC SALES TAX PAYABLE	155,149.08
100-200-210	CHILD SUPPORT PAYABLE	(92.31)
100-200-211	GARNISHMENTS PAYABLE	0.00
100-200-212	UNUM LIFE INS PAYABLE	(211.77)

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

100-GENERAL FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
100-200-213	TX DENTAL PLANS-AUSTIN PAYABLE	0.00
100-200-214	AFLAC PAYABLE	2,431.56
100-200-215	CLOTHES RENTAL PAYABLE	0.00
100-200-216	CINCINNATI LIFE PAYABLE	28.71
100-200-218	BLUE CHOICE PAYABLE	27.62
100-200-219	SCOTT & WHITE HEALTH PAYABLE	(9,793.98)
100-200-221	HEALTH PROGRAM-AMIL-PAYABLE	0.00
100-200-222	PRE-PAID LEGAL PAYABLE	192.25
100-200-223	GUARDIAN DENTAL	0.00
100-200-228	MISC DEDUCTIONS PAYABLE	0.00
100-200-229	MET LIFE DENTAL PAYABLE	(551.91)
100-200-230	UNITED WAY PAYABLE	0.00
100-200-231	MEMBERSHIP/DUES PAYABLE	200.00
100-200-232	COURT BOND REFUND PAYABLE	123.00
100-200-233	OTHER A/P PENDING (AUDITOR)	(52,259.66)
100-200-301	COURT COLLECTIONS	7,548.66
100-200-500	DUE TO OTHER FUNDS	259,681.66
100-200-502	DUE TO STATE/COURT FEES	15,290.38
100-200-503	DUE TO COMPT. SALES TAX	8,428.61
100-200-504	DUE TO TEDC-MONTHLY SALES TAX	0.00
100-200-505	DUE TO OMNIBASE SERVICES INC	1,209.96
100-200-507	DUE TO S&W/COBRA FROM OTHERS	5,055.14
100-200-508	DUE TO TISD:HOUSING AUTH PILOT	0.00
100-210-111	DUE TO I&S (TAX COLLECTIONS)	2,153.54
100-220-100	TAX DISTRIBUTION	0.00
100-240-100	DEFERRED TAX REVENUE	83,479.05
100-240-101	UNCLAIMED FUNDS	12,115.79
100-240-102	DEFERRED REV-BOND PREMIUM	0.00
100-240-103	DEFERRED REVENUE	0.00
	TOTAL LIABILITIES	443,717.53
EQUITY		
=====		
100-260-110	HOLD DEPOSIT-5YRS FROM 10/1999	0.00
100-260-111	LEGAL OPINION-BOGGY CREEK GOLF	0.00
100-260-112	ESCROW:DRAINAGE/OTHER PROJECTS	0.00
100-260-113	ESCROW-BONDS POSTED-DEFENDENTS	(200.00)
100-260-114	ESCROW:FUTURE PARK LAND	0.00
100-260-115	ESCROW:TEDC FOR LAND PURCHASE	0.00
100-260-116	ESCROW - TREE REPLACEMENT PARK	0.00
100-260-117	ESCROW-WEATHERIZATION PROGRAM	0.00
100-260-118	ESCROW-MOODY MUSEUM	0.00
100-260-120	RESERVE-PAVING ESCROW	0.00
100-260-121	RESERVE FOR CAPITAL OUTLAY	0.00
100-265-100	RESTRICTED PORTION FUND BA	0.00
100-270-100	FUND BALANCE	3,858,165.20
100-280-100	ASSIGNED FUND BALANCE	32,396.29
	TOTAL BEGINNING EQUITY	3,890,361.49
	TOTAL REVENUE	541,001.80
	TOTAL EXPENSES	872,890.03
	TOTAL INCREASE/(DECREASE) IN FUND BAL. (	331,888.23)
	TOTAL EQUITY & FUND BALANCE	3,558,473.26
	TOTAL LIABILITIES, EQUITY & FUND BALANCE	2 4,002,190.79

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

119-TIF (TAX INCREMENT FUND)

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
119-100-102	CLAIM ON POOLED CASH	0.00	
119-100-115	TEXPOOL 246530004	494,581.70	
119-170-100	CURRENT YR RES FOR ENCUMBRANCE	0.00	
119-170-101	PRIOR YR RES FOR ENCUMBRANCE	0.00	
		494,581.70	
TOTAL ASSETS			494,581.70
			=====
LIABILITIES			
=====			
119-200-110	CURRENT YEAR ENCUMBRANCE	0.00	
119-200-111	PRIOR YEAR ENCUMBRANCE	0.00	
119-200-500	ACCOUNTS PAYABLE PENDING	0.00	
TOTAL LIABILITIES			0.00
EQUITY			
=====			
119-270-100	FUND BALANCE	494,560.80	
TOTAL BEGINNING EQUITY		494,560.80	
TOTAL REVENUE		20.90	
TOTAL EXPENSES		0.00	
TOTAL INCREASE/(DECREASE) IN FUND BAL.		20.90	
TOTAL EQUITY & FUND BALANCE		494,581.70	
TOTAL LIABILITIES, EQUITY & FUND BALANCE			494,581.70
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

120-HOTEL/MOTEL FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
120-100-102	CLAIM ON POOLED CASH	98,475.56	
120-120-103	MISC ACCOUNTS RECEIVABLE	0.00	
120-170-100	CURRENT YR RES FOR ENCUMBRANCE	0.00	
120-170-101	PRIOR YR RES FOR ENCUMBRANCE	0.00	
			98,475.56
TOTAL ASSETS			98,475.56
			=====
LIABILITIES			
=====			
120-200-110	CURRENT YEAR ENCUMBRANCE	0.00	
120-200-111	PRIOR YEAR ENCUMBRANCE	0.00	
120-200-500	ACCOUNTS PAYABLE PENDING	0.00	
TOTAL LIABILITIES			0.00
EQUITY			
=====			
120-270-100	FUND BALANCE	97,022.93	
TOTAL BEGINNING EQUITY		97,022.93	
TOTAL REVENUE		5,810.50	
TOTAL EXPENSES		4,357.87	
TOTAL INCREASE/(DECREASE) IN FUND BAL.		1,452.63	
TOTAL EQUITY & FUND BALANCE			98,475.56
TOTAL LIABILITIES, EQUITY & FUND BALANCE			98,475.56
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

121-TEXAS CAPITAL FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
121-100-102	CLAIM ON POOLED CASH	4,252.09	
121-160-206	TCF 718012,719132,721172	0.00	
			4,252.09
TOTAL ASSETS			4,252.09
			=====
LIABILITIES			
=====			
121-200-500	ACCOUNTS PAYABLE PENDING	0.00	
TOTAL LIABILITIES			0.00
EQUITY			
=====			
121-270-100	FUND BALANCE	4,252.09	
TOTAL BEGINNING EQUITY		4,252.09	
TOTAL REVENUE		2,085.25	
TOTAL EXPENSES		2,085.25	
TOTAL INCREASE/(DECREASE) IN FUND BAL.		0.00	
TOTAL EQUITY & FUND BALANCE			4,252.09
TOTAL LIABILITIES, EQUITY & FUND BALANCE			4,252.09
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

123-MAIN STREET REVENUE FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
123-100-102	CLAIM ON POOLED CASH	(6,865.66)
123-120-103	MISC ACCOUNTS RECEIVABLES	0.00
123-170-100	CURRENT YR RES FOR ENCUMBRANCE	0.00
123-170-101	PRIOR YR RES FOR ENCUMBRANCE	0.00
		(6,865.66)
TOTAL ASSETS		(6,865.66)
		=====
LIABILITIES		
=====		
123-200-110	CURRENT YEAR ENCUMBRANCE	0.00
123-200-111	PRIOR YEAR ENCUMBRANCE	0.00
123-200-500	ACCOUNTS PAYABLE PENDING	0.00
123-240-100	PRE-REGISTRATION FOR FESTIVAL	0.00
TOTAL LIABILITIES		0.00
EQUITY		
=====		
123-270-100	FUND BALANCE	1,836.36
TOTAL BEGINNING EQUITY		1,836.36
TOTAL REVENUE		197.98
TOTAL EXPENSES		8,900.00
TOTAL INCREASE/(DECREASE) IN FUND BAL.		(8,702.02)
TOTAL EQUITY & FUND BALANCE		(6,865.66)
TOTAL LIABILITIES, EQUITY & FUND BALANCE		(6,865.66)
		=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

125-MUNICIPAL CRT SPECIAL FEE

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
125-100-102	CLAIM ON POOLED CASH	89,582.90	
125-170-100	CURRENT YR RES FOR ENCUMBRANCE	(1,992.88)	
125-170-101	PRIOR YR RES FOR ENCUMBRANCE	1,253.00	
			88,843.02
TOTAL ASSETS			88,843.02
			=====
LIABILITIES			
=====			
125-200-110	CURRENT YEAR ENCUMBRANCE	(1,992.88)	
125-200-111	PRIOR YEAR ENCUMBRANCE	1,253.00	
125-200-500	ACCOUNTS PAYABLE PENDING	0.00	
TOTAL LIABILITIES		(739.88)	
EQUITY			
=====			
125-270-100	FUND BALANCE	88,415.60	
TOTAL BEGINNING EQUITY		88,415.60	
TOTAL REVENUE		1,565.11	
TOTAL EXPENSES		397.81	
TOTAL INCREASE/(DECREASE) IN FUND BAL.		1,167.30	
TOTAL EQUITY & FUND BALANCE			89,582.90
TOTAL LIABILITIES, EQUITY & FUND BALANCE			88,843.02
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

129-LIBRARY GRANT/DONATION

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
129-100-102	CLAIM ON POOLED CASH	13,777.85	
129-100-103	TEXSTAR: NOBLE TRUST - 3444	18,338.39	
129-100-108	TEXSTAR; NED REQUEST (LIBRARY)	318,448.48	
129-100-115	NOBLE TRUST: ACCT 2063352	0.00	
129-170-100	CURRENT YR RES FOR ENCUMBRANCE	(1,436.37)	
129-170-101	PRIOR YR RES FOR ENCUMBRANCE	1,436.37	
			350,564.72
TOTAL ASSETS			350,564.72
			=====
LIABILITIES			
=====			
129-200-110	CURRENT YEAR ENCUMBRANCE	(1,436.37)	
129-200-111	PRIOR YEAR ENCUMBRANCE	1,436.37	
129-200-233	OTHER A/P PENDING (AUDITOR)	(10,945.00)	
129-200-500	ACCOUNTS PAYABLE PENDING	10,945.00	
TOTAL LIABILITIES			0.00
EQUITY			
=====			
129-270-100	FUND BALANCE	350,535.59	
TOTAL BEGINNING EQUITY			350,535.59
TOTAL REVENUE			82.42
TOTAL EXPENSES			53.29
TOTAL INCREASE/(DECREASE) IN FUND BAL.			29.13
TOTAL EQUITY & FUND BALANCE			350,564.72
TOTAL LIABILITIES, EQUITY & FUND BALANCE			350,564.72
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

200-ROADWAY IMPACT FEE FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE		
ASSETS				
=====				
200-100-102	CLAIM ON POOLED CASH	66,337.05		
			66,337.05	
	TOTAL ASSETS			66,337.05
				=====
LIABILITIES				
=====				
200-200-500	ACCOUNTS PAYABLE PENDING	0.00		
	TOTAL LIABILITIES		0.00	
EQUITY				
=====				
200-270-100	FUND BALANCE	65,856.73		
	TOTAL BEGINNING EQUITY	65,856.73		
	TOTAL REVENUE	480.32		
	TOTAL EXPENSES	0.00		
	TOTAL INCREASE/(DECREASE) IN FUND BAL.	480.32		
	TOTAL EQUITY & FUND BALANCE		66,337.05	
	TOTAL LIABILITIES, EQUITY & FUND BALANCE			66,337.05
				=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

300-MUNICIPAL DRAINAGE UTILIT

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
300-100-102	CLAIM ON POOLED CASH	422,613.29	
300-120-100	DRAINAGE RECEIVABLE	28,888.26	
300-120-130	ALLOWANCE FOR DOUBTFUL ACCTS	(597.28)	
300-160-206	FIXED ASSET-WORK IN PROGRESS	0.00	
300-170-100	CURRENT YR RES FOR ENCUMBRANCE	0.00	
300-170-101	PRIOR YR RES FOR ENCUMBRANCE	0.00	
300-190-103	ACCUMULATED DEPRECIATION	0.00	
		450,904.27	
	TOTAL ASSETS		450,904.27
			=====
LIABILITIES			
=====			
300-200-104	ACCRUED INTEREST PAYABLE	0.00	
300-200-110	CURRENT YEAR ENCUMBRANCES	0.00	
300-200-111	PRIOR YEAR ENCUMBRANCES	0.00	
300-200-233	OTHER A/P PENDING (AUDITOR)	0.00	
300-200-240	BOND PAYABLE - CURRENT	0.00	
300-200-300	RETAINAGE PAYABLE	0.00	
300-200-500	ACCOUNTS PAYABLE PENDING	0.00	
	TOTAL LIABILITIES		0.00
EQUITY			
=====			
300-250-100	CONTRIBUTED CAPITAL-DRAINAGE	0.00	
300-270-100	FUND BALANCE	450,114.49	
	TOTAL BEGINNING EQUITY	450,114.49	
	TOTAL REVENUE	789.78	
	TOTAL EXPENSES	0.00	
	TOTAL INCREASE/(DECREASE) IN FUND BAL.	789.78	
	TOTAL EQUITY & FUND BALANCE	450,904.27	
	TOTAL LIABILITIES, EQUITY & FUND BALANCE		450,904.27
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

340-PUBLIC UTILITIES FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
340-100-100	PETTY CASH	1,350.00
340-100-101	CHASE WW&SS 97 ESCROW 201664.2	0.00
340-100-102	CLAIM ON POOLED CASH	253,324.78
340-100-103	INVESTMENTS - C O BONDS 2000	0.00
340-100-104	INVESTMENTS	0.00
340-100-105	CHASE #99-22784847	0.00
340-100-106	TEXPOOL 78404; 2465300002	0.00
340-100-107	TEXPOOL: 2465300012	291,900.55
340-100-108	CHASE GLOBAL #10203188.1	0.00
340-100-109	TEXPOOL 78404; 2465300008	0.00
340-100-110	TEXPOOL 78404; 2465300001	545,086.64
340-100-111	TEXSTAR 2010-340 (WATER)	1,032,306.99
340-100-112	TEXSTAR 2007-340	0.00
340-100-113	TEXSTAR 2006-000	0.00
340-100-114	PRINCOR: WATER/WASTEWATER	0.00
340-100-115	TEXSTAR 2010-340 (WASTEWATER)	672,381.60
340-100-116	MBIA TX-01-0247-0007	0.00
340-100-117	TEXPOOL 2465300010-2008 CO	320,461.70
340-120-100	ACCOUNTS RECEIVABLE	655,624.65
340-120-101	CURRENT REFUND PAYABLE	(2,209.04)
340-120-102	UNAPPLIED CREDITS	(16,709.01)
340-120-103	MISC. ACCOUNTS RECEIVABLE	14,388.84
340-120-130	ALLOWANCE-ACCTS. RECEIVABLE	(16,596.78)
340-140-100	INVENTORY	248,731.15
340-150-100	BOND ISSUANCE COSTS	219,884.87
340-150-105	DEFERRED AMT ON REFUNDING	208,347.59
340-160-100	LAND	457,201.00
340-160-200	BUILDINGS	6,363,714.34
340-160-206	FIXED ASSETS: WORK IN PROGRESS	1,308,527.82
340-160-225	PLANT DISTRIBUTION/COLLECTION	41,360,614.16
340-160-235	EQUIPMENT	907,809.73
340-170-100	CURRENT YR RES FOR ENCUMBRANCE	(155,365.27)
340-170-101	PRIOR YR RES FOR ENCUMBRANCE	124,353.42
340-180-100	PRE-PAID BRAZOS RIVER	0.00
340-180-101	PRE-PAID EXPENSES	0.00
340-190-100	DISCOUNT 1993 REFUNDING	0.00
340-190-101	DISCOUNT 93 CO	0.00
340-190-102	DEFERRED LOSS 93 REFUNDING	0.00
340-190-103	ACCUMULATED DEPRECIATION	(15,302,023.86)
		39,493,105.87
TOTAL ASSETS		39,493,105.87
		=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

340-PUBLIC UTILITIES FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
LIABILITIES		
=====		
340-200-104	ACCRUED INTEREST PAYABLE	146,585.75
340-200-110	CURRENT YEAR ENCUMBRANCES (	155,365.27)
340-200-111	PRIOR YEAR ENCUMBRANCE	124,353.42
340-200-200	FICA AND MEDICARE PAYABLE (	831.14)
340-200-201	FEDERAL WITHHOLDING PAYABLE (	1,144.93)
340-200-202	TMRS PAYABLE	0.00
340-200-203	DEFERRED COMP PAYABLE	134.73
340-200-204	DEFERRED CHARGES (	21,010.61)
340-200-208	ACCRUED VACATION	17,104.08
340-200-209	CHILD SUPPORT PAYABLE	0.00
340-200-211	GARNISHMENTS PAYABLE	0.00
340-200-212	UNUM LIFE INS PAYABLE (	229.73)
340-200-213	TX DENTAL PLANS-AUSTIN PAYABLE	0.00
340-200-214	AFLAC PAYABLE	147.97
340-200-215	CLOTHES RENTAL PAYABLE	0.00
340-200-218	BLUE CHOICE PAYABLE (	49.08)
340-200-219	SCOTT & WHITE HEALTH PAYABLE (	2,747.25)
340-200-221	AMIL HEALTH PAYABLE	0.00
340-200-222	PRE-PAID LEGAL PAYABLE (	37.85)
340-200-223	GUARDIAN DENTAL	0.00
340-200-228	MISC. DEDUCTIONS PAYABLE	0.00
340-200-229	MET LIFE DENTAL PAYABLE (	135.78)
340-200-230	UNITED WAY PAYABLE (	1.00)
340-200-233	OTHER A/P PENDING (AUDITOR) (	15,805.47)
340-200-240	BONDS PAYABLE-CURRENT	0.00
340-200-300	RETAINAGE PAYABLE	0.00
340-200-500	ACCOUNTS PAYABLE PENDING	19,917.65
340-200-999	UNRECONCILED DIFFERENCES	0.00
340-210-100	UNAMORT. BOND DISCOUNT	114,962.75
340-210-101	BOND PREMIUMS	73,097.26
340-210-102	DEFERRED AMT ON REFUNDING (	62,912.65)
340-230-103	93 CERTIFICATE OF OBLIGATION	0.00
340-230-104	93 REFUNDING BONDS	0.00
340-230-105	94 CERTIFICATE OF OBLIGATION	0.00
340-230-106	96 CERTIFICATE OF OBLIGATION	0.00
340-230-107	97 2.95M REVENUE BONDS	0.00
340-230-109	CAPITAL LEASE BANC ONE NEMI	0.00
340-230-111	8.745M CO SERIES 2010 (6.11M)	4,175,000.00
340-230-112	3.5 M CO SERIES 2000	0.00
340-230-114	4.5M CO SERIES 2003 (65%)	295,022.00
340-230-115	4.2M COMB CO 2006 (4M)	4,000,000.00
340-230-116	10M COMB SERIES 2007 (7M)	7,000,000.00
340-230-117	9.615M COMB SERIES 08 (6.615M)	5,950,000.00
340-230-118	8.995 GO REFUNDING 2009	2,315,000.00
340-230-119	2.625 GO REF 2010	1,780,000.00
340-230-120	5.450M GO REF 2012 (1.460M)	1,440,000.00
340-240-100	METER DEPOSITS	362,858.78
340-240-101	UNCLAIMED FUNDS	2,956.69
340-240-102	DEFERRED REVENUE - CONST COSTS	0.00

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

340-PUBLIC UTILITIES FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
340-240-120	ALLOWANCE FOR BAD DEBT	0.00
	TOTAL LIABILITIES	27,556,870.32
EQUITY		
=====		
340-250-100	CONTRIBUTED CAPITAL-WATER OPER	454,779.30
340-250-101	CONTRIBUTED CAPITAL SEWER OPER	60,475.00
340-270-100	FUND BALANCE	11,603,946.86
	TOTAL BEGINNING EQUITY	12,119,201.16
	TOTAL REVENUE	55,106.45
	TOTAL EXPENSES	238,072.06
	TOTAL INCREASE/(DECREASE) IN FUND BAL. (	182,965.61)
	TOTAL EQUITY & FUND BALANCE	11,936,235.55
	TOTAL LIABILITIES, EQUITY & FUND BALANCE	39,493,105.87
		=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

345-UTILITY IMPACT FEE FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
345-100-102	CLAIM ON POOLED CASH	351,274.45	
345-160-206	WORK IN PROGRESS	0.00	
345-170-100	CURRENT YR RES FOR ENCUMBRANCE	(51,208.60)	
345-170-101	PRIOR YR RES FOR ENCUMBRANCE	1,411.60	
		301,477.45	
TOTAL ASSETS			301,477.45
=====			
LIABILITIES			
=====			
345-200-110	CURRENT YEAR ENCUMBRANCE	(51,208.60)	
345-200-111	PRIOR YEAR ENCUMBRANCE	1,411.60	
345-200-233	OTHER A/P PENDING (AUDITOR)	0.00	
345-200-500	ACCOUNTS PAYABLE PENDING	25,775.00	
	TOTAL LIABILITIES	(24,022.00)	
EQUITY			
=====			
345-270-100	FUND BALANCE	350,079.45	
	TOTAL BEGINNING EQUITY	350,079.45	
TOTAL REVENUE		1,195.00	
TOTAL EXPENSES		25,775.00	
	TOTAL INCREASE/(DECREASE) IN FUND BAL.	(24,580.00)	
TOTAL EQUITY & FUND BALANCE		325,499.45	
TOTAL LIABILITIES, EQUITY & FUND BALANCE			301,477.45
=====			

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

350-AIRPORT FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
350-100-102	CLAIM ON POOLED CASH	6,834.36
350-100-103	INVESTMENTS @ CHASE	0.00
350-100-104	CASH @ CHASE 099-22784847	0.00
350-100-105	2002 ESCROW 10202245.1	0.00
350-120-100	AIRPORT RECEIVABLES	4,419.51
350-120-101	REFUND CHECKS PAYABLE	0.00
350-120-103	MISC. ACCOUNTS RECEIVABLES	0.00
350-120-140	GRANTS RECEIVABLE	0.00
350-120-250	DUE FROM OTHER FUNDS (AUDITOR)	1,360.00
350-150-100	BOND ISSUANCE COSTS	5,368.39
350-150-105	DEFERRED AMT ON REFUNDING	9,602.71
350-160-100	LAND	859,833.00
350-160-200	T-HANGERS (BUILDINGS)	1,264,756.23
350-160-206	FIXED ASSETS:WORK IN PROGRESS	234,706.96
350-160-210	EQUIPMENT	107,159.00
350-160-300	RUNWAY	2,003,709.00
350-160-335	FIELD EQUIPMENT	0.00
350-170-100	CURRENT YR RES FOR ENCUMBRANCE	0.00
350-170-101	PRIOR YR RES FOR ENCUMBRANCE	0.00
350-190-103	ACCUMULATED DEPRECIATION	(1,049,781.33)
		3,447,967.83
TOTAL ASSETS		3,447,967.83
=====		
LIABILITIES		
=====		
350-200-100	ACCRUED ACCOUNTS PAYABLE	(60.44)
350-200-110	CURRENT YEAR ENCUMBRANCE	0.00
350-200-111	PRIOR YEAR ENCUMBRANCE	0.00
350-200-200	FICA AND MEDICARE PAYABLE	0.00
350-200-201	FEDERAL WITHHOLDING PAYABLE	0.00
350-200-202	TMRS PAYABLE	0.00
350-200-233	OTHER A/P PENDING (AUDITOR)	(617.76)
350-200-240	BONDS PAYABLE-CURRENT	0.00
350-200-500	ACCOUNTS PAYABLE PENDING	468.65
350-200-501	DUE TO FUND 100 (LOAN ADVANCE)	0.00
350-200-502	DUE TO FUND 100 (2ND LN ADV)	0.00
350-200-505	DUE TO OTHER FUNDS	19,710.00
350-210-100	UNAMORT. BOND DISCOUNT	11,471.11
350-230-101	LONG TERM DEBT	0.00
350-230-102	BOND PAYABLE-\$290K REF 2010	255,000.00
350-240-101	ACCRUED INTEREST PAYABLE	1,187.25
TOTAL LIABILITIES		287,158.81

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

350-AIRPORT FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
EQUITY		
=====		
350-250-100	CONTRIBUTED CAPITAL GRANT	2,011,189.92
350-250-101	CONTRIBUTED CAPITAL CITY	75,265.82
350-280-100	RETAINED EARNINGS	631,883.52
350-281-100	PRIOR PERIOD ADJUSTMENTS	442,482.09
	TOTAL BEGINNING EQUITY	3,160,821.35
	TOTAL REVENUE	54,398.16
	TOTAL EXPENSES	54,410.49
	TOTAL INCREASE/(DECREASE) IN FUND BAL. (	12.33)
	TOTAL EQUITY & FUND BALANCE	3,160,809.02
	TOTAL LIABILITIES, EQUITY & FUND BALANCE	3,447,967.83
=====		

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

370-CEMETERY OPERATING FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
370-100-102	CLAIM ON POOLED CASH	267,456.84	
370-100-112	TEXSTAR: 2288-000	0.00	
370-120-103	MISC ACCOUNTS RECEIVABLES	7,585.00	
370-160-206	FIXED ASSETS-WORK IN PROGRESS	10,032.80	
370-170-100	CURRENT YR RES FOR ENCUMBRANCE	0.00	
370-170-101	PRIOR YR RES FOR ENCUMBRANCE	0.00	
370-190-103	ACCUMULATED DEPRECIATION	0.00	
		285,074.64	
	TOTAL ASSETS		285,074.64
			=====
LIABILITIES			
=====			
370-200-110	CURRENT YR ENCUMBRANCE	0.00	
370-200-111	PRIOR YEAR ENCUMBRANCE	0.00	
370-200-200	FICA & MEDICARE PAYABLE	0.00	
370-200-201	FEDERAL WITHHOLDING PAYABLE	0.00	
370-200-202	TMRS PAYABLE	0.00	
370-200-211	GARNISHMENTS PAYABLE	0.00	
370-200-218	BLUE CHOICE PAYABLE	0.00	
370-200-229	MET LIFE DENTAL PAYABLE	0.00	
370-200-233	OTHER A/P PENDING (AUDITOR)	(1,342.29)	
370-200-500	ACCOUNTS PAYABLE PENDING	5,387.68	
370-210-100	DUE TO CEMETERY LAND PURCHASE	203,944.99	
	TOTAL LIABILITIES		207,990.38
EQUITY			
=====			
370-270-100	FUND BALANCE	82,219.93	
	TOTAL BEGINNING EQUITY	82,219.93	
	TOTAL REVENUE	3,620.19	
	TOTAL EXPENSES	8,755.86	
	TOTAL INCREASE/(DECREASE) IN FUND BAL. (	5,135.67)	
	TOTAL EQUITY & FUND BALANCE		77,084.26
	TOTAL LIABILITIES, EQUITY & FUND BALANCE		285,074.64
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

382-FLEET SERVICES OPERATING

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
382-100-102	CLAIM ON POOLED CASH	(4,279.60)	
382-100-103	LASALLE BANK ESCROW #998	0.00	
382-120-250	DUE TO OTHER FUNDS	8,213.00	
382-160-206	ESCROW FOR EQUIPMENT PURCHASES	0.00	
382-160-301	VEHICLES	0.00	
382-160-303	OFFICE EQUIPMENT	0.00	
382-160-305	FIELD EQUIPMENT	0.00	
382-160-306	HEAVY EQUIPMENT	0.00	
382-160-320	EQUIPMENT	0.00	
382-170-100	CURRENT YR RES FOR ENCUMBRANCE	(4,678.40)	
382-170-101	PRIOR YR RES FOR ENCUMBRANCE	905.00	
382-190-103	ACCUMULATED DEPRECIATION	0.00	
			160.00
	TOTAL ASSETS		160.00
			=====
LIABILITIES			
=====			
382-200-110	CURRENT YEAR ENCUMBRANCE	(4,678.40)	
382-200-111	PRIOR YEAR ENCUMBRANCE	905.00	
382-200-200	FICA AND MEDICARE PAYABLE	0.00	
382-200-201	FEDERAL WITHHOLDING PAYABLE	0.00	
382-200-202	TMRS PAYABLE	(0.01)	
382-200-203	DEFERRED COMPENSATION PAYABLE	0.00	
382-200-208	ACCRUED VACATION	2,569.87	
382-200-212	UNUM LIFE INSURANCE PAYABLE	(1.29)	
382-200-214	AFLAC PAYABLE	87.59	
382-200-215	CLOTHES RENTAL PAYABLE	0.00	
382-200-218	BLUE CHOICE PAYABLE	0.00	
382-200-219	SCOTT & WHITE HEALTH PAYABLE	0.00	
382-200-222	PRE-PAID LEGAL PAYABLE	51.80	
382-200-229	MET LIFE DENTAL PAYABLE	0.00	
382-200-233	OTHER A/P PENDING (AUDITOR)	(2,723.96)	
382-200-500	ACCOUNTS PAYABLE PENDING	11,678.09	
	TOTAL LIABILITIES		7,888.69
EQUITY			
=====			
382-260-121	RESERVE:FUTURE EQUIP PURCHASES	0.00	
382-270-100	FUND BALANCE	36.96	
	TOTAL BEGINNING EQUITY	36.96	
	TOTAL REVENUE	57,105.00	
	TOTAL EXPENSES	64,870.65	
	TOTAL INCREASE/(DECREASE) IN FUND BAL. (	7,765.65)	
	TOTAL EQUITY & FUND BALANCE	(7,728.69)	
	TOTAL LIABILITIES, EQUITY & FUND BALANCE		160.00
			=====

BALANCE SHEET

AS OF: OCTOBER 31ST, 2013

384-FLEET REPLACEMENT FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
384-100-102	CLAIM ON POOLED CASH	(292,164.86)	
384-120-103	MISC ACCOUNTS RECEIVABLES	0.00	
384-140-100	PREPAID CAP LEASE	57,629.40	
384-160-320	MACHINERY & EQUIPMENT	1,537,145.91	
384-170-100	CURRENT YR RES FOR ENCUMBRANCE	(472,244.24)	
384-170-101	PRIOR YR RES FOR ENCUMBRANCE	526,648.24	
384-190-103	ACCUMULATED DEPRECIATION	(1,099,229.11)	
		257,785.34	
TOTAL ASSETS			257,785.34
			=====
LIABILITIES			
=====			
384-200-104	ACCRUED INTEREST PAYALBE	0.00	
384-200-110	CURRENT YEAR ENCUMBRANCE	(417,840.24)	
384-200-111	PRIOR YEAR ENCUMBRANCE	472,244.24	
384-200-500	ACCOUNTS PAYABLE PENDING	0.00	
384-200-505	DUE FROM OTHER FUNDS	9,573.00	
384-230-115	CAPITAL LEASE PAYABLE-CURRENT	0.00	
384-230-120	CAP LEASE PAYABLE-NONCURRENT	176,230.08	
384-240-101	ACCRUED INTEREST PAYABLE	6,262.46	
TOTAL LIABILITIES		246,469.54	
EQUITY			
=====			
384-270-100	FUND BALANCE	36,647.24	
TOTAL BEGINNING EQUITY		36,647.24	
TOTAL REVENUE		3,631.25	
TOTAL EXPENSES		28,962.69	
TOTAL INCREASE/(DECREASE) IN FUND BAL. (		25,331.44)	
TOTAL EQUITY & FUND BALANCE		11,315.80	
TOTAL LIABILITIES, EQUITY & FUND BALANCE			257,785.34
			=====

10/31/13

A t t a c h m e n t E

S a l e s T a x T r a c k i n g R e p o r t

City of Taylor

Sales Tax Tracking (City's Portion) - FY 2013-14

Monthly

	2004-05	2005-06	2006-07	2007-08	2008-09	2009-10	2010-11	2011-12	2012-13	2013-14	\$ Difference from Prior Year Amount	% from Pr. Yr. Actual
	Actual	Actual	Actual	Actual	Actual	Actual	Actual	Actual	Actual	Actual		
October	148,904	136,820	178,753	223,478	177,998	164,555	158,062	177,106	244,104	199,717	-44,387	-18.2%
November	217,691	216,476	278,949	276,383	235,220	211,014	232,195	215,917	221,342			
December	141,397	145,072	186,624	268,939	174,114	172,197	153,524	165,918	187,866			
January	147,119	162,339	221,297	231,952	175,991	175,247	164,882	167,144	202,212			
February	282,883	266,616	321,948	454,332	269,362	271,256	240,568	249,943	259,618			
March	162,227	152,344	177,904	212,501	153,137	141,801	148,006	154,766	161,456			
April	130,669	132,955	203,303	225,431	148,242	131,709	142,415	167,990	200,410			
May	203,911	248,743	279,416	292,008	216,214	254,676	247,203	242,853	246,059			
June	130,711	165,996	276,395	233,795	177,246	162,137	159,853	173,984	190,426			
July	137,011	186,325	306,169	234,836	170,014	139,020	156,841	184,660	198,208			
August	238,238	242,789	348,341	246,376	225,047	215,303	234,641	227,896	236,448			
Sept.	145,130	167,305	224,425	203,520	158,634	164,093	156,022	187,535	199,083			
% Monthly Increase over prior year	-9.0%	15.3%	34.1%	-9.3%	-22.1%	3.4%	-4.9%	20.2%	27.6%	199,717	\$ (44,387)	

Cumulative Year -to- Date on Actual

	2004-05	2005-06	2006-07	2007-08	2008-09	2009-10	2010-11	2011-12	2012-13	2013-14	\$ Difference from Prior Year Amount	% from Pr. Yr. Actual
	Actual	Actual	Actual	Actual	Actual	Actual	Actual	Actual	Actual	Actual		
October	148,904	136,820	178,753	223,478	177,998	164,555	158,062	177,106	\$ 244,104	\$ 199,717	\$ (44,387)	-18.2%
November	\$ 366,595	353,296	457,702	499,862	413,218	375,569	390,257	393,023	465,446			
December	\$ 507,992	498,368	644,326	768,800	587,332	547,766	543,781	558,941	653,313			
January	\$ 655,111	660,707	865,623	1,000,752	763,323	723,013	708,663	726,085	855,524			
February	\$ 937,994	927,323	1,187,571	1,455,084	1,032,685	994,270	949,231	976,028	1,115,142			
March	\$ 1,100,221	1,079,667	1,365,475	1,667,585	1,185,823	1,136,071	1,097,237	1,130,794	1,276,598			
April	\$ 1,230,890	1,212,622	1,568,778	1,893,017	1,334,065	1,267,780	1,239,651	1,298,784	1,477,008			
May	\$ 1,434,801	1,461,365	1,848,194	2,185,024	1,550,279	1,522,456	1,486,854	1,541,637	1,723,067			
June	\$ 1,565,512	1,627,361	2,124,589	2,418,819	1,727,525	1,684,593	1,646,707	1,715,621	1,913,493			
July	\$ 1,702,523	1,813,686	2,430,758	2,653,655	1,897,540	1,823,613	1,803,548	1,900,280	2,111,701			
August	\$ 1,940,761	2,056,475	2,779,099	2,900,031	2,122,587	2,038,916	2,038,189	2,128,176	2,348,148			
Sept.	\$ 2,085,891	2,223,780	3,003,524	3,103,551	2,281,221	2,203,009	2,194,211	2,315,711	2,547,231			
% Y-T-D Increase over prior year	10.0%	6.6%	35.1%	3.3%	-26.5%	-3.4%	-0.4%	5.5%	10.0%			

A t t a c h m e n t F

L i s t i n g o f C u r r e n t I n v e s t m e n t s

Monthly Financial Report - Attachment F
City of Taylor
Summary of Security Investments - As of 10/31/13

Source of Funds	Fund Type*	Investment Instruments	ACCT/CUSIP Number	Invest. Type**	Settlement Date	Coupon Rate	Yield Rate	Maturity/ Call Date	Paid Principal/ Current Balance	Market Value	Interest	
											Month	FY to-Date
General Fund												
GF -Pooled Cash	F1	TexPool	2465300006	I 4	-	-	0.0498%	-	\$ 3,084,325	\$ 3,084,325	131	131
General Fund	F1	Princor Portfolio	6FR-139362	I 2	-	-	0.7900%	-	\$ 672,207	\$ 672,207	501	501
General Fund	F1	City-Money Market	4260618	I 5	-	-	0.0100%	-	\$ 12,223	\$ 12,223	0	0
Library - (Noble)	F6	TexStar	24606/3444/000	I 4	-	-	0.0434%	-	\$ 18,338	\$ 18,338	1	1
CO Series 2010 (Const)	F2	TexStar	24606/2010/162	I 4			0.0434%	-	\$ 2,133,466	\$ 2,133,466	79	79
Ned Bequest - Moody	F6	TexStar	24606/2010/100	I 4			0.0434%	-	\$ 254,454	\$ 254,454	9	9
Ned Bequest - Library	F6	TexStar	24606/2010/129	I 4			0.0434%	-	\$ 318,448	\$ 318,448	12	12
CO Series 2012 (Const)	F2	TexPool	2465300013	I 4			0.0498%	-	\$ 983,299	\$ 983,299	42	42
CO Series 2012 (MDUS)	F2	TexPool	2465300014	I 4			0.0498%	-	\$ 526,730	\$ 526,730	22	22
CO Series 2013 Combination	F2	TexStar	24606/2013/165	I 4			0.0434%	-	\$ 2,974,278	\$ 2,974,278	110	110
Nancy Moody Bequest	F6	TexPool	2465300015	I 4			0.0498%	-	\$ 50,007	\$ 50,007	2	2
General Fund - I & S	F4	TexPool	2465300003	I 4	-	-	0.0498%	-	\$ 297,788	\$ 297,788	13	13
Subtotal General Fund									\$ 11,325,564	\$ 11,325,564	920	920
Special Revenue-Tax Increment Fund												
TIF	F6	TexPool	2465300004	I 4			0.0498%	-	\$ 494,582	\$ 494,582	21	21
Subtotal TIF Funds									\$ 494,582	\$ 494,582	21	21
Utility Funds												
Water Fund	F1	TexPool	2465300001	I 4	-	-	0.0498%	-	\$ 545,087	\$ 545,087	23	23
CO Series 2008	F2	TexPool	2465300010	I 4	-	-	0.0498%	-	\$ 320,462	\$ 320,462	14	14
Water Tower Rent	F3	TexPool	2465300012	I 4	-	-	0.0498%	-	\$ 291,901	\$ 291,901	12	12
CO Series 2010 (Water)	F2	TexStar	24606/2010/340	I 4	-	-	0.0434%	-	\$ 1,032,307	\$ 1,032,307	38	38
CO Series 2010 (WW)	F2	TexStar	24606/2010/341	I 4	-	-	0.0434%	-	\$ 672,382	\$ 672,382	25	25
Subtotal Utility Funds									\$ 2,862,137	\$ 2,862,137	112	112
Cemetery Fund												
Permanent Trust Fund	F3	TexPool	2465300007	I 4	-	-	0.0498%	-	\$ 101,251	\$ 101,251	4	4
Permanent Fund	F3	Princor Portfolio	6FR-139222	I 2	-	-	1.1770%	-	\$ 644,210	\$ 644,210	3,229	3,229
Permanent Fund	F2	(MBIA) Cutwater	TX-01-0247-0006	I 4	-	-	0.1000%	-	\$ 30,532	\$ 30,532	2	2
Cemetery Operating Fund (Noble)	F6	TexStar (Noble)	24606/2288/000	I 4	-	-	0.0434%	-	\$ 184,387	\$ 184,387	7	7
Subtotal Cemetery Funds									\$ 960,380	\$ 960,380	3,242	3,242
Total All Funds									\$ 15,642,663	\$ 15,642,663	4,295	4,295

Monthly Financial Report - Attachment F
City of Taylor
Summary of Security Investments - As of 10/31/13

*Fund Types:	
Code	Description:
F1	Current Operating Funds
F2	Bond Proceeds
F3	Repair/Replacement Funds
F4	Debt Service Funds
F5	Bond Reserve Funds
F6	Operating Reserve Funds

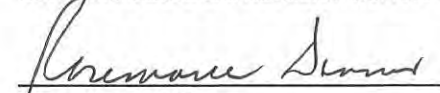
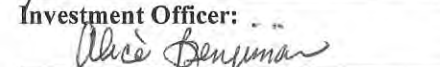
**Investment Types:			
Code	Description:	% Authorized	Current %
I 1	U.S. Treasuries (Notes,Bills, Bonds)	100%	0%
I 2	U.S. Agencies & Instrumentalities	80%	8%
I 3	Certificates of Deposit	50%	0%
I 4	Eligible Investment Pools	100%	92%
I 5	Money Market Mutual Funds	50%	0.08%
I 6	Repurchase Agreements	50%	0%
I 7	Commercial Paper	65%	0%
		Total	100%

Book Value:	As of 10/31/2013	As of 9/30/2013	Change
I 1 \$	-	\$ -	\$ -
I 2 \$	1,316,418	\$ 1,307,561	\$ 8,856
I 3 \$	-	\$ -	\$ -
I 4 \$	14,314,023	\$ 14,645,776	\$ (331,753)
I 5 \$	12,223	\$ 12,222	\$ -
I 6 \$	-	\$ -	\$ -
I 7 \$	-	\$ -	\$ -
Total Book Value	\$ 15,642,663	\$ 15,965,560	\$ (322,897)

Market Value:	As of 10/31/2013	As of 9/30/2013	Gain/(Loss)
I 1 \$	-	\$ -	\$ -
I 2 \$	1,316,418	\$ 1,307,561	\$ 8,856
I 3 \$	-	\$ -	\$ -
I 4 \$	14,314,023	\$ 14,645,776	\$ (331,753)
I 5 \$	12,223	\$ 12,222	\$ -
I 6 \$	-	\$ -	\$ -
I 7 \$	-	\$ -	\$ -
Total Market Value	\$ 15,642,663	\$ 15,965,560	\$ (322,897)

Certification:

This is to certify that the Investment Report submitted herewith complies in all respects with the Public Funds Investment Act Sec 2256 of the Local Government Code and Resolution No. R13-02 of the City of Taylor.


Investment Officer: _____ 12/2/13
 Date

Investment Officer: _____ 12-2-13
 Date



***City Council Meeting
December 12, 2013
Agenda Item Transmittal***

Agenda Item #: 6
Agenda Title: Recognize Finance Department for receiving a Gold Leadership Circle Award for financial transparency.

Council Action to be taken: Recognition of staff.

Initiating Department: City Administration

Staff Contact: Jim D. Dunaway, City Manager

1. INTRODUCTION/PURPOSE

The Comptroller of Public Accounts launched the Texas Comptroller Leadership Circle program in December 2009 to recognize local governments across Texas who strive to meet a high standard for financial transparency online.

Currently there are three levels of recognition: gold, silver and bronze. The City of Taylor has earned the Gold Leadership Circle Award for three consecutive years, scoring 17 out of a possible 20 points.

2. DESCRIPTION/ JUSTIFICATION

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

Accept award

6. REFERENCE FILES

6a. [Gold Leadership Circle Award](#)

6b. [Press Release](#)



Third
Year
Award

Texas Comptroller
Leadership Circle
Gold Member



Media Contact:
Jean Johnson, PIO
City of Taylor
512.352.5448 (w)
512.784.5818 (c)
Jean.johnson@taylortx.gov

FOR IMMEDIATE RELEASE

November 27, 2013

City of Taylor Receives Texas Comptroller Gold Circle Leadership Award For Third Consecutive Year

The City of Taylor has received the Gold Circle Leadership Award for 2013 for the third consecutive year from the Texas Comptroller of Public Accounts.

The Leadership Circle award recognizes local governments across Texas that are striving to meet a high standard for on-line financial transparency by opening their books to the public; by providing clear, consistent pictures of spending; and by sharing information in a user-friendly format that helps taxpayers understand how their tax dollars are spent.

"The City of Taylor website shares financial information such as budgets, accounts/payable expense check register, financial reports, tax rate, and much more," according to Assistant City Manager Jeff Straub. "Transparency efforts, however, do not end here. Any resident is welcome to call or come by City Hall any time and we will help them get or find what they need."

The Comptroller of Public Accounts launched the Texas Comptroller Leadership Circle program in December 2009 to recognize local governments across Texas that are striving to meet a high standard for financial transparency online.

###

Jean Johnson
Public Information Officer
City of Taylor
512.352.5448 [O]



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 7

Agenda Title: Recognize Finance Department for receiving a Certificate of Achievement for Excellence in Financial Reporting by the Government Finance Officers Association of the United States and Canada for its Comprehensive Annual Financial Report.

Council Action to be taken: None required

Initiating Department: City Administration

Staff Contact: Jim D. Dunaway, City Manager

1. INTRODUCTION/PURPOSE

Rose's department has achieved another milestone in their work by receiving the fourth (consecutive) award for financial excellence. This award is for the Comprehensive Annual Financial Report (CAFR) or our annual audit. Congratulations to Rose and her department!

2. DESCRIPTION/ JUSTIFICATION

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

6. REFERENCE FILES

7a. [Award Notice](#)



Government Finance Officers Association
203 N. LaSalle Street - Suite 2700
Chicago, IL 60601
Phone (312) 977-9700 Fax (312) 977-4806

September 20, 2013



The Honorable Don R. Hill
Mayor
City of Taylor
400 Porter Street
Taylor TX 76574

Dear Mayor Hill:

We are pleased to notify you that your comprehensive annual financial report for the fiscal year ended **September 30, 2012** qualifies for a Certificate of Achievement for Excellence in Financial Reporting. The Certificate of Achievement is the highest form of recognition in governmental accounting and financial reporting, and its attainment represents a significant accomplishment by a government and its management.

The Certificate of Achievement plaque will be shipped to:

Jim D. Dunaway
City Manager

under separate cover in about eight weeks. We hope that you will arrange for a formal presentation of the Certificate and Award of Financial Reporting Achievement, and that appropriate publicity will be given to this notable achievement. A sample news release is enclosed to assist with this effort. In addition, details of recent recipients of the Certificate of Achievement and other information about Certificate Program results are available in the "Awards Program" area of our website, www.gfoa.org.

We hope that your example will encourage other government officials in their efforts to achieve and maintain an appropriate standard of excellence in financial reporting.

Sincerely,
Government Finance Officers Association

Stephen J. Gauthier, Director

Technical Services Center

SJG/ds



Government Finance Officers Association
203 N. LaSalle Street - Suite 2700
Chicago, IL 60601

Phone (312) 977-9700 Fax (312) 977-4806

09/20/2013

NEWS RELEASE

For Information contact:
Stephen Gauthier (312) 977-9700

(Chicago)--The Certificate of Achievement for Excellence in Financial Reporting has been awarded to **City of Taylor** by the Government Finance Officers Association of the United States and Canada (GFOA) for its comprehensive annual financial report (CAFR). The Certificate of Achievement is the highest form of recognition in the area of governmental accounting and financial reporting, and its attainment represents a significant accomplishment by a government and its management.

An Award of Financial Reporting Achievement has been awarded to the individual(s), department or agency designated by the government as primarily responsible for preparing the award-winning CAFR. This has been presented to:

Rosemarie Dennis, Finance Director

The CAFR has been judged by an impartial panel to meet the high standards of the program including demonstrating a constructive "spirit of full disclosure" to clearly communicate its financial story and motivate potential users and user groups to read the CAFR.

The GFOA is a nonprofit professional association serving approximately 17,500 government finance professionals with offices in Chicago, IL, and Washington, D.C.



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 8

Agenda Title: Conduct Public Hearing and consider introducing Ordinance 2013-29 regarding a request to rezone property generally located at 3609 Old Georgetown Road, also known as 3.06 acres of land out of the Samuel A. Pharrass Survey, Abstract No. 496, City of Taylor, from B-1 Local Business to B-2 General Business.

Council Action to be taken: Conduct Public Hearing and consider introducing Ordinance 2013-29

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

The purpose of this item is to conduct a Public Hearing to rezone property in the vicinity of 3609 Old Georgetown Road from B-1 to B-2, and to consider introducing Ordinance 2013-29.

2. DESCRIPTION/ JUSTIFICATION

Location and Acres of the Property

Vicinity of 3609 Old Georgetown Rd
3.06 acres

Property Owner/Applicant

Sam Dowdy

Applicant's intentions for the property (development objective)

Construct facility for Building Materials, Outdoor

Existing Zoning

B-1, Local Business

Previous Zoning History

Unknown

Proposed Zoning

B-2, General Business

Future Land Use Map

The Future Land Use Map designates this area as Commercial, except for a portion of the parcel on the west side shown as Single Family

Current Use of Property

Vacant

Surrounding Property: Zoning and land use

North: B-1/ R-1 - Commercial/Single Family

South: B-1/R-1 - Commercial/Single Family

East: B-1 - Commercial

West: Single Family

Existing Thoroughfares (type and size)

Carlos G. Parker NW - Major Arterial, size varies from 60' to 90'

The City's Thoroughfare Plan

Major Arterial, 120', to be widened

Traffic Impact Analysis

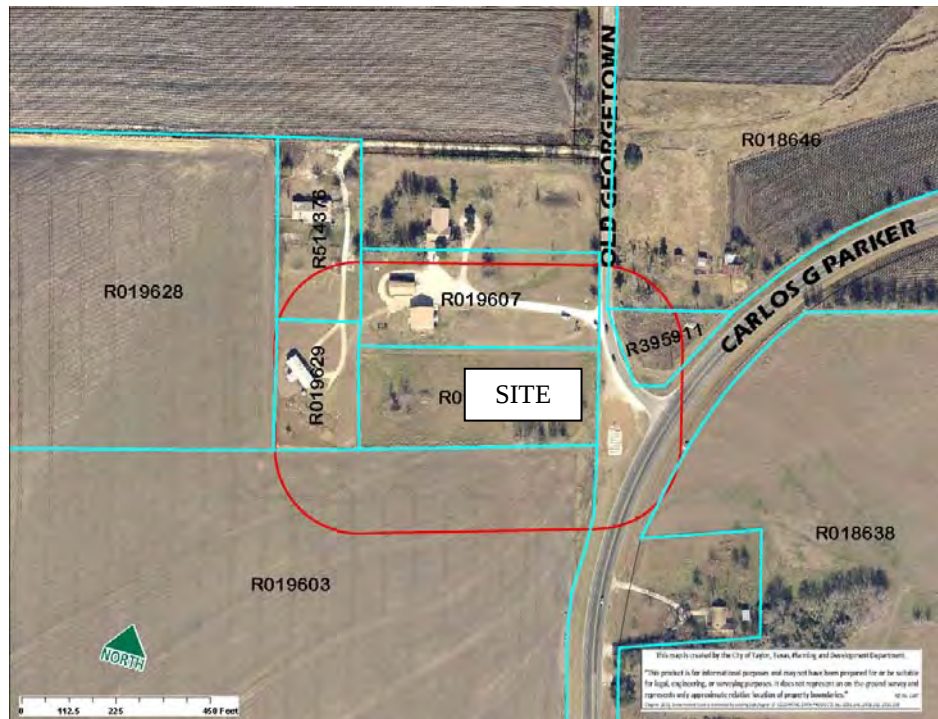
Will be required during site plan review

Platting Information

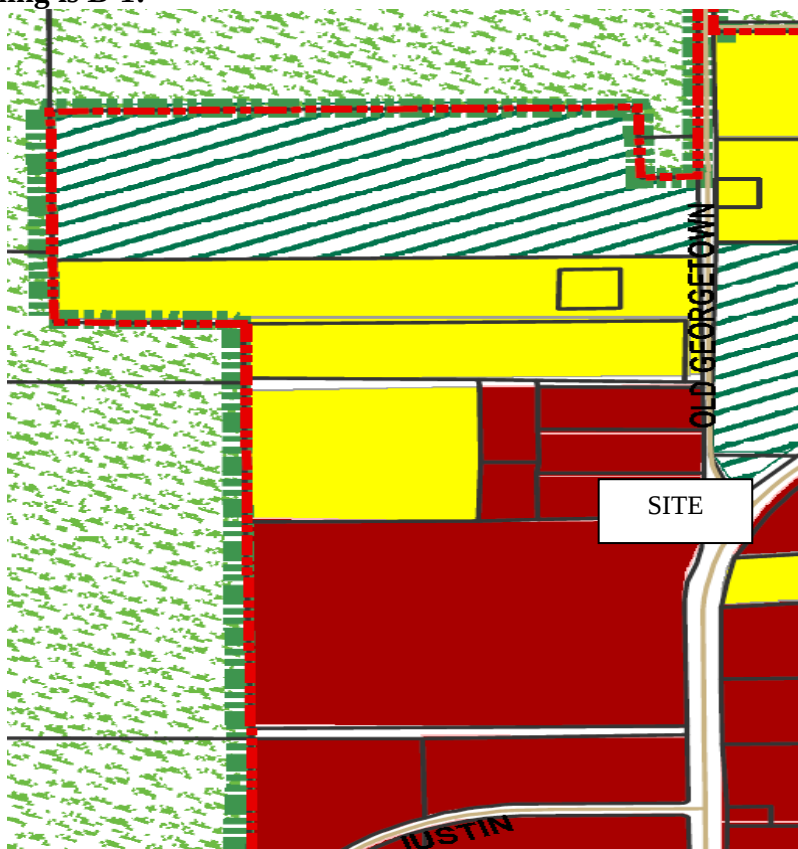
Platting is required prior to construction

[illegible]

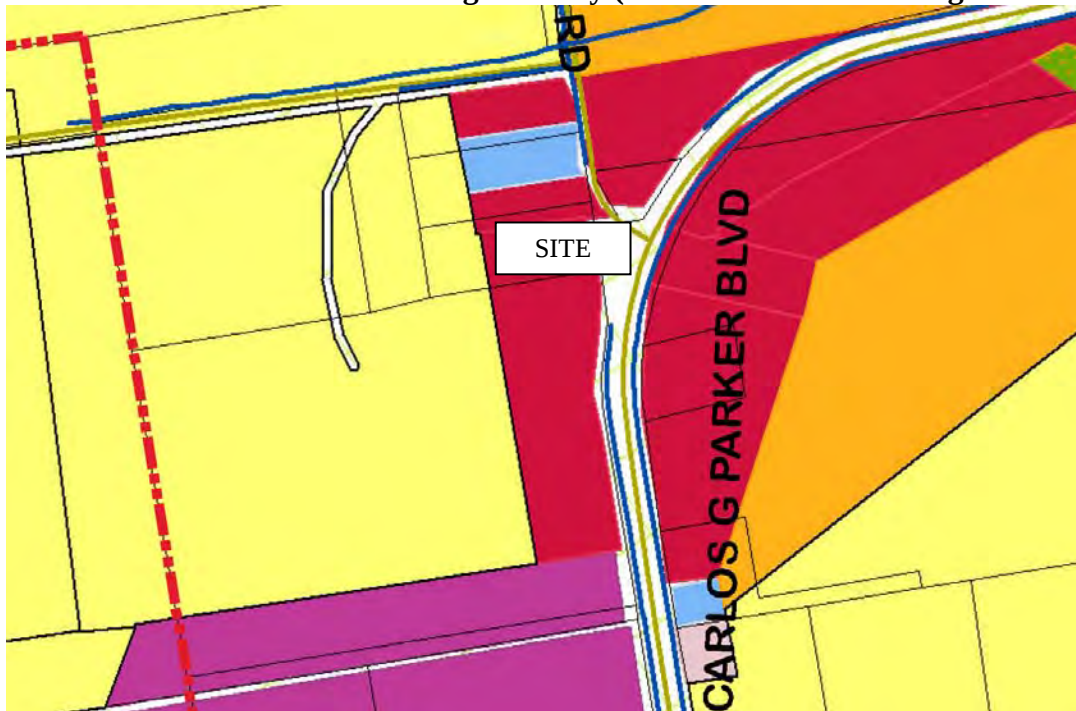
Aerial Photo:



Current Zoning is B-1:



Future Land Use is Commercial/Single Family (Commercial for building location):



Discussion

The site is currently zoned B-1. A rezone to B-2 is appropriate since approximately 70% of this site is designated for Commercial land use.

A variance was approved earlier this year for relief from the requirement to connect to city wastewater facilities.

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

The Planning and Zoning Commission's recommendation after a public hearing on November 12, 2013 is approval of the rezone from B-1 to B-2.

Staff recommends that Council conduct the Public Hearing and introduce Ordinance 2013-29.

6. REFERENCE FILES

8a. [Ordinance 2013-29](#) with Legal Description

ORDINANCE 2013-29

AN ORDINANCE CHANGING THE ZONING OF PROPERTY GENERALLY LOCATED AT 3609 OLD GEORGETOWN ROAD, CITY OF TAYLOR, WILLIAMSON COUNTY, TEXAS, FROM LOCAL BUSINESS B-1 TO GENERAL BUSINESS B-2; AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF TAYLOR, TEXAS, TO SHOW THE ZONING CHANGE ADOPTED HEREIN; PROVIDING A SAVINGS CLAUSE.

Whereas, the Taylor City Council conducted a public hearing on December 12, 2013, to consider a request from Sam Dowdy, the owner of said Property, generally located at 3609 Old Georgetown Road, also known as 3.06 acres of land out of the Samuel A. Pharrass Survey, Abstract No. 496, City of Taylor, the legal description of which is attached hereto as "Exhibit A" and made a part of this ordinance, to change the zoning for the Property from Local Business B-1 to General Business B-2; and

Whereas, the Planning and Zoning Commission, after conducting a public hearing on November 12, 2013, to consider the zoning request, recommended the zoning change to the City Council; and

Whereas, the City Council, after a public hearing, approves the request for the Property zoning change to B-2.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAYLOR, TEXAS, that:

SECTION 1. The facts and recitations contained in the preamble of this Ordinance are hereby declared to be true and correct, and are incorporated by reference herein and made a part hereof, as if copied verbatim.

SECTION 2. The zoning of the Property is changed from Local Business B-1 to General Business B-2.

SECTION 3. The Official Zoning map of the City of Taylor, Texas, is changed to show the Property zoning changed from Local Business B-1 to General Business B-2.

SECTION 5. All other terms and conditions contained in the official zoning map, except as amended herein, shall continue and remain in full force and effect.

SECTION 6. Should any section, paragraph, clause, phrase, or provision of this Ordinance be adjudged invalid or held

unconstitutional, the same shall not affect the validity of this Ordinance as a whole or any part of the provisions thereof, other than the part so decided to be invalid or unconstitutional

SECTION 7. In accordance with Article VIII of the City Charter, Ordinance 2013-29 was introduced before the Taylor City Council on the 12th day of December, 2013.

PASSED, APPROVED, and ADOPTED on the _____ day of _____, 2013.

Jesse Ancira, Jr., Mayor

ATTEST:

Susan Brock, City Clerk

APPROVED AS TO FORM:

Ted W. Hejl,
City Attorney

CERTIFICATE

THE STATE OF TEXAS

COUNTY OF WILLIAMSON

I, Susan Brock, being the current City Clerk of the City of Taylor, Texas, do hereby certify that the attached is a true and correct copy of Ordinance No. 2013-29, passed and approved by the City Council of the City of Taylor, Texas, on the _____ day of _____, 2013, and such Ordinance was duly introduced, passed, approved and adopted at meetings open to the public and notices of the meetings, giving the dates, places, and subject matter thereof, were posted as prescribed by Government Code Section 551.043.

Witness my hand and seal of office this _____ day of _____, 2013.

Susan Brock
City Clerk

STATE OF TEXAS
COUNTY OF WILLIAMSON

JUNE 25, 2013

3.605 Acres (133,511 Square Feet)

These notes describe that certain "3.605 Acres" of land situated in the **SAMUEL PHARRASS SURVEY, ABSTRACT-496**, located in Williamson County, Texas; subject tract being all of a called "3.06 Acres" conveyed in a General Warranty Deed from Ludie Alber to BGSR, Inc., a Texas corporation and Southwest Building Systems, Inc., dated 7-20-2004 and recorded in Document No. 2004044175 of the Official Public Records of Williamson County, Texas (OPRWC); being surveyed on the ground under the direct supervision of Corey Joseph Hall, Registered Professional Land Surveyor No. 6362, on June 25, 2013; subject tract being more fully described as follows {Bearings described herein are based on the Texas State Plane Coordinate System, Central Zone (4203), NAD 83, 93 adj. Distances and Areas are shown in grid values.}:

BEGINNING at a 1/2" Iron Rod in concrete found in the West Right-of-Way of Old Georgetown Road at the Southeast corner of a said "3.06 Acres", the Northeast corner or a called "38.64 Acres" conveyed in a Warranty Deed from Mark Thomas Kubala and Teresa S. Kubala, signing Pro Forma to Reza Alavi, dated 8-09-2007 and recorded in Document No. 2007067983, OPRWC, and marking the Southeast corner of herein described tract; For Reference, a TxDot Concrete Monument in the East line of said "38.64 Acres" bears South 21°51'04" East, 132.55 feet;

THENCE South 68°23'15" West, with the non-fenced common South line of said "3.06 Acres" and the North line of said "38.64 Acres", a distance of **573.20 feet** {573.60 feet}, to an Iron Pipe at an old fence post found at the Southwest corner of said "3.06 Acres", the Southeast corner of a called "Second Tract - 3.28 Acres" conveyed in a Warranty Deed from Patricia Kattner to Charles C. Small, III and wife, Mary Jo Small, dated 3-28-1991 and recorded in Volume 1999, Page 057 of the Official Records of Williamson County, Texas (ORWC), and marking the Southwest corner of herein described tract;

THENCE North 21°39'18" West, with the West line of said "3.06 Acres" and the East line of said "Second Tract - 3.28 Acres", a distance of **232.83 feet** {232.47 feet}, to 1/2" Iron Rod found at the Northwest corner of said "3.06 Acres", the Southwest corner of a called "3.06 Acres" conveyed in an Assumption Warranty Deed with Vendor's Lien from Templo Ebenezer Church to Crosspoint Community Church of Taylor, Inc., dated 12-18-2007 and recorded in Document No. 2007104289, OPRWC, and marking the Northwest corner of herein described tract;

THENCE North 68°22'43" East, with the North line of said subject "3.06 Acres" and the South line of said adjoining "3.06 Acres", a distance of **573.44 feet** {573.53 feet}, to a 1/2" Iron Rod found in the West Right-of-Way line of aforesaid Old Georgetown Road at the Southeast corner of said adjoining "3.06 Acres", the Northeast corner of subject tract, and marking the Northeast corner of herein described tract; For Reference, a 1/2" Iron Rod found at the Northeast corner of the adjoining "3.06 Acres" bears North 21°38'01" East, 232.85 feet;

THENCE South 21°35'37" East, with the East line of said "3.06 Acres" and the West Right-of-Way of said Old Georgetown Road, a distance of **232.92 feet** {232.80 feet}, to the **PLACE OF BEGINNING**, containing according to the dimensions herein stated, an area of **3.065 Acres (133,511 Square Feet)**.

Surveyor's Note:

- Attention is invited to accompanying plat for location of improvements, visible utilities, and roadways.

Corey Joseph Hall

Registered Professional Land Surveyor No. 6362





City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 9

Agenda Title: Consider Publicity and Tourism Agreement with Taylor Chamber of Commerce.

Council Action to be taken: Approve, deny or table

Initiating Department: City Management

Staff Contact: Jeff Straub, Assistant City Manager

1. INTRODUCTION/PURPOSE

The City's contract/agreement with the Chamber of Commerce for the distribution of a portion of the City's Hotel/Motel Occupancy Tax expired September 30, 2013. The Chamber Board requested that staff consider some nominal changes to the contract prior to renewing the contract. After discussion and research, it was discovered that some suggested changes were not possible because of the statute governing the distribution of HOT funds for visitors' bureau services by contract.

2. DESCRIPTION/ JUSTIFICATION

This is an annual agreement and requires council review and approval each year.

3. FINANCIAL/BUDGET

This agreement stipulates that the City will pay the Chamber seventy-five percent (75%) of the Hotel/Motel taxes collected by the City, but the amount collected shall exclude the amounts derived from sporting events during the term of the contract. The former requirement that the amount paid to the Chamber not exceed \$60,000 annually was removed in that this threshold was never close to being reached. The contract was clarified to indicate that the city pays the Chamber on a monthly basis.

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

6. REFERENCE FILES

9a. [Revised Agreement](#) with the Taylor Chamber of Commerce

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF WILLIAMSON §

PUBLICITY AND TOURISM AGREEMENT

This Publicity and Tourism Agreement ("Agreement") is made by and between the City of Taylor, Texas, a Texas Home Rule Municipal Corporation, (referred to herein as the "City") and the Taylor Chamber of Commerce, a Texas non-profit corporation organized and existing under the laws of the State of Texas, (referred to herein as "Chamber of Commerce"). The City and the Chamber of Commerce are also referred to collectively in this Agreement as the "Parties" and singularly as "Party". The Parties have entered into other Publicity and Tourism Agreements prior to the date of this Agreement. However, the Parties intend that this Agreement will supersede and replace all previously adopted and finalized Publicity and Tourism Agreements in their entirety.

RECITALS

WHEREAS, V.A.T.S. Tax Code, Chapter 351, entitled Local Hotel Occupancy Tax, provides that a hotel/motel sleeping room tax of seven percent (7%) may be collected by cities, and that the proceeds from such tax may be used for promotion of tourism, in support of the arts, historical preservations and other purposes as set out in the statute as now written and as may be amended, and the City has been and is collecting the tax; and

WHEREAS, the City, acting under the authority granted to it under state statutes and its Home-Rule Charter, has theretofore enacted a local hotel/motel occupancy tax on occupants of hotels and motels within the City and it's extraterritorial jurisdiction; and

WHEREAS, the City desires to use a portion of the revenue generated from the hotel/motel occupancy tax to promote tourism in the City and to publicize activities and special events occurring in and around the City; and

WHEREAS, the Chamber of Commerce has expressed a desire to establish ongoing programs to promote tourism in and around the City, and desires to work with the City to accomplish this goal; and

WHEREAS, the City, has determined that it desires to work with the Chamber of Commerce toward the mutual goal of promoting tourism in and around the City; and

WHEREAS, the City has determined the Chamber of Commerce is an organization that is able to receive information from the public concerning promotion of tourism in the Taylor area, and that the Chamber of Commerce is able to summarize the input received from the public in this regard and to present that information to the City Council for its consideration; and

WHEREAS, the City desires to periodically receive from the Chamber of Commerce information concerning requests of local businesses and organizations so that the City may evaluate the information when budgeting for expenditures related to publicity for the City, and for promoting tourism in and around the City; and

WHEREAS, in consideration of their mutual desire to promote tourism and to attract visitors to the City, the Parties desire to contract for the management and supervision by the Chamber of Commerce for programs and activities funded with revenue from the hotel/motel occupancy tax.

NOW, IN CONSIDERATION OF THE MUTUAL COVENANTS TO BE PERFORMED BY THE PARTIES AND OTHER VALUABLE CONSIDERATION HEREBY ACKNOWLEDGED THE PARTIES AGREE TO THE FOLLOWING:

I.

GENERAL TERMS

As more specifically detailed herein, the Parties generally agree to the following basic terms:

- 1) In conformity with the Texas Tax Code, Chapter 351 and the City ordinances pertaining thereto, the City shall collect the hotel/motel occupancy tax. The City shall provide to the Chamber of Commerce seventy-five per cent (75%) of hotel/motel taxes collected by the City, but the amount collected shall exclude the amounts derived from sporting events. ~~Notwithstanding, the payment shall be limited to an amount not to exceed Sixty Thousand and No/100 Dollars (\$60,000.00).~~ The remaining twenty five (25%) per cent and all amounts collected from sporting events held by City owned facilities shall be retained and used by the City as determined by the City in its

sole discretion. The payments to the Chamber of Commerce shall be made monthly within fifteen (15) days of receipt of the tax by the City. ~~The anticipated months for revenue payments by the City to the Chamber of Commerce are February, May, August and November.~~

- 2) The Chamber of Commerce shall expend the tax revenue disbursed under this Agreement for the exclusive purpose of advertising and conducting solicitations and programs to attract tourists and visitors to the City and its vicinity, as provided by the Texas Tax Code Chapter §351.101(a)(3). All such revenues shall be expended in a manner directly enhancing and promoting tourism and the hotel industry in the City and the immediate vicinity.

II.

SERVICES TO BE PERFORMED BY THE CHAMBER OF COMMERCE

Section 2.1 LOCAL ORGANIZATIONS'/BUSINESSES' REQUESTS FOR FUNDING:

The Parties agree that the Chamber of Commerce shall meet with members of the Taylor community to receive information from them, related to their requests for assistance from the City for promotion of business and/or publicity related to various local events and activities. Subsequently, on a quarterly basis, the Chamber of Commerce will coordinate with the City Manager to attend a regularly scheduled City Council meeting to present a written update on the information the Chamber of Commerce has gathered from the Taylor community and with year-to-date budget, income and expenditure information. The Parties agree that if and when entities, businesses or individuals in the Taylor community request an audience for presentation of information to the City concerning promotion of tourism or special events or activities, the City may refer these entities, businesses, and individuals to the Chamber of Commerce and the Chamber of Commerce shall schedule a time for presentation to the Chamber of Commerce.

Section 2.2 PROMOTION OF TOURISM:

The Chamber of Commerce shall perform services related to advertising and promoting tourism for the visitor market, from which the City derives direct tourist income benefit.

The Chamber of Commerce agrees to conduct a continuing program of advertising and promotion for the purpose of attracting visitors, tourists, and meetings/conventions to the City and the local area by: publishing and distributing brochures and community information packets; advertising in various tourists publications and general media publications as appropriate; representing the City at travel shows and other such events; participating with state and regional agencies in tourist development programs of benefit to the local area and to the City; and, using all appropriate means to increase the traveling public's awareness of the resort and recreational advantages of the local area and the City.

The Chamber of Commerce further agrees that it will: seek to achieve economic benefits for the City through all such activities; provide tourist-related information about the City, upon request; and serve as an advisory body to the City, on request, in matters related to expanding the tourist-derived economy.

Section 2.3 STAFFING:

The Chamber of Commerce shall use its best efforts to secure sufficient numbers of employees and volunteers to accomplish the responsibilities set forth in this Agreement. The Chamber of Commerce shall further provide office space, equipment, supplies and other materials necessary to accomplish the purposes of this Agreement.

It is expressly understood and agreed by and between the Parties that the Chamber of Commerce is hired and engaged as an independent contractor and is not an officer, agent or employee of the City.

III.

BUDGET AND PERFORMANCE REVIEW

Section 3.1 BUDGET PROCESS:

~~During the fourth quarter of this Agreement term, On or about June 30th of each year that this Agreement is in effect,~~ the Chamber of Commerce shall provide to the City a proposed budget for the upcoming year outlining the amount of hotel/motel occupancy tax revenue it expects to receive and how it will be expended. The proposed budget will then be considered and either rejected or approved by the City Council, in writing, in

advance of the release of any local hotel/motel occupancy tax funds. It is understood and agreed by and between the Parties that, upon budget approval by the City, a fiduciary duty is created in the Chamber of Commerce with respect to expenditures of revenue provided.

The Chamber of Commerce shall maintain complete and accurate financial record of each expenditure of local hotel/motel occupancy tax revenue it has received and, upon request of the City Council or other person acting on behalf of the City Council, shall make the records available for inspection and review. The Chamber of Commerce shall maintain the revenue provided from the local hotel/motel occupancy tax in a separate account established for that purpose and shall not commingle that revenue with any other monies of the Chamber of Commerce.

It is understood and agreed by and between the Parties that hotel/motel occupancy tax funds may be spent by the Chamber of Commerce for day-to-day operations including supplies, salaries, office rental, travel expenses, and other administrative costs, if the expenses have been previously approved in the budget and if directly related to the promotion of tourism. The portion of the total administrative costs for which hotel/motel occupancy tax revenues are expended may not exceed the actual administrative costs for the activities, nor may the administrative expense exceed thirty (30%) per cent of the hotel/motel occupancy tax paid by the City to the Chamber of Commerce. The administrative cost, once approved in the budget as provided herein, may be transferred into a separate Chamber of Commerce account.

Section 3.2 PERFORMANCE EVALUATION/STANDARDS:

Twice a year, during the term of this Agreement, the Chamber of Commerce shall conduct limited polling of the local businesses (i.e., restaurants, hotel/motels and specialty shops) to evaluate the benefit to the community derived from Chamber of Commerce expenditures of hotel/motel tax funds provided by the City and the economic impact, if any, of the City and Chamber of Commerce support of advertising and promoting the City and of various community events. The Chamber of Commerce shall provide the results of the polls to the City Council in its April and October reports to the City Council (required in Section 3.3 below). The reports will indicate, for example, what increase, if any, has occurred in revenues generated for local hotel/motels, as a result of specific publicity and promotion

campaigns. The reports shall compare the increase and/or decrease in the hotel/motel tax collection for that period with the proceeding periods. The Parties agree, however, that should any state, local, or national circumstances beyond the control of the Chamber of Commerce negatively effect the Chamber of Commerce performance under this Agreement, the City Council shall take the factors into consideration in evaluating the Chamber of Commerce annual performance under this Agreement. In addition, the Chamber of Commerce shall conduct a survey and generate a report of the survey as a result of all events held on Taylor regional Park and Sports Complex facilities. The survey shall be a regular and ongoing survey to sufficiently allocate all hotel/motel tax derived from such sporting events from other hotel/motel tax.

Section 3.3 REPORTING:

The Chamber of Commerce shall prepare written reports for submission to the City Council on a quarterly basis, during the months of January, April, July and October. The quarterly reports shall include, but are not limited to, the following information:

- 1) a description of the activities undertaken by the Chamber of Commerce to benefit the City during the preceding quarter which shall include a Post Event Report Form for each activity receiving Hotel Motel Funds in the form attached hereto as Exhibit "A" and incorporated by reference herein;
- 2) an updated financial statement that indicates how the Chamber of Commerce has expended hotel/motel occupancy tax funds provided by the City on the development of tourism and promotion of local events and on activities, businesses, and organizations, pursuant to the Chamber of Commerce's annual tourism budget as previously approved by the City Council; and,
- 3) Other information the City Council may request after reviewing the reports presented to ensure City Councils' understanding of the activities undertaken by the Chamber of Commerce in performance of the terms of the Agreement.

All reports and records related to hotel/motel occupancy tax funds shall be maintained and available to the City for a period of five (5) years after receipt of approval from the City.

IV.

TERM AND TERMINATION

This Agreement shall begin the 1st day of October 2012, and shall terminate at midnight on the 30th day of September 2013. In the event either Party fails to abide by any of the terms of this Agreement the non-defaulting party shall furnish a thirty (30) day prior written notice of the default and opportunity to cure to the defaulting Party. The defaulting Party shall have thirty (30) days from the date of the notice to cure the default and if the default is cured within the thirty (30) day cure period this Agreement shall remain in full force and effect. Failure of the defaulting Party to cure the default within the thirty (30) day cure period shall result in termination of this Agreement ninety (90) days from the date of the default notice was given by the non-defaulting Party to the defaulting Party or September 30, whichever occurs first.

V.

NOTICES

Any notice necessary or appropriate relative to this Agreement shall be effective when deposited in the United States mail, either certified and/or registered mail, postage prepaid and addressed to:

City of Taylor
Attn: City Manager
400 Porter Street
Taylor, Texas 76574

Taylor Chamber of Commerce
Attn: President
P. O. Box 231
Taylor, Texas 76574

With a copy to:
Taylor Chamber of Commerce
Attn: Chairman-Board of Directors
P. O. Box 231
Taylor, Texas 76574

VI.

ASSIGNMENT

No part of this Agreement may be assigned or delegated without the prior written consent of the other party, and any attempted assignment of benefits or rights or delegation of duties or obligations shall be a breach of this Agreement. However, nothing in this Agreement shall prohibit the Chamber of Commerce from participating with regional or state tourism programs or contracting for joint promotion with other agencies.

VII.

VENUE AND JURISDICTION

This Agreement shall be subject to the laws and statutes of the State of Texas, and venue, jurisdiction and performance shall be in Williamson County, Texas.

VIII.

INDEMNITY

The Chamber of Commerce agrees to and shall indemnify and hold harmless and defend the City, its officers, agents, and employees from any and all claims, losses, causes of action and damages, suits, and liability for negligence and willful misconduct of the Chamber of Commerce, including without limitation, all expenses of litigation, court costs, and attorney fees, for injury to or death to any person, or from damage to any property, arising from or in connection with the operations of the Chamber of Commerce, its officers, agents, and employees carried out in furtherance of this Agreement. The Chamber of Commerce shall carry or cause to be carried public liability insurance in the amount(s) of: THREE HUNDRED THOUSAND AND NO/100 DOLLARS (\$300,000.00) for each person; THREE HUNDRED THOUSAND AND NO/100 DOLLARS (\$300,000.00) for each occurrence; and ONE HUNDRED THOUSAND AND NO/100 DOLLARS (\$100,000.00) property damage liability insurance for each occurrence. The insurance policies for the coverage shall name the City as an additional insured and the policies, or duplicate originals thereof, must be filed with the City before any operations

contemplated by this Agreement are begun by the Chamber of Commerce.

IX.

INDEPENDENT CONTRACTOR

It is understood and agreed that the Chamber of Commerce shall not in any manner be considered a partner or joint venturer with the City, nor shall the Chamber of Commerce be considered or hold itself out as an agent or official representative of the City. The Chamber of Commerce shall be considered an independent contractor for the purposes of the Agreement and shall in no manner incur any expenses or liability on behalf of the City.

Dated this the 1th day of October, 20132.

CITY OF TAYLOR, TEXAS

BY: Jesse Ancira, Jr~~Don R. Hill~~
ITS: Mayor

Attest:

Susan Brock, City Clerk

TAYLOR CHAMBER OF COMMERCE

BY: _____
ITS: Board Chairman

BY: Thomas Martinez
ITS: President



***City Council Meeting
December 12, 2013
Agenda Item Transmittal***

Agenda Item #: 10

Agenda Title: Receive Executive Summary regarding the water and wastewater study.

Council Action to be taken: No action.

Initiating Department: Finance Department

Staff Contact: Rosemarie Dennis, Finance Director

1. INTRODUCTION/PURPOSE

The purpose of this agenda item is to receive an executive summary report on the water and wastewater study that was performed by Mickey Fishbeck of Rimrock Consulting Company.

2. DESCRIPTION/ JUSTIFICATION

Rimrock Consulting was hired to review the cities cost of services and assist the City in selecting an appropriate rate design, to include recommended rate adjustments. The last time that the City had a cost of service and rate study was performed in 2001. Staff felt that it was time that we revisit look at our cost of services and rates.

A lot of work and data went into this project which began in the fall of 2011. The summary presented by Ms. Fishbeck will give Council an overview of the rate study. Staff feels that it is important to schedule workshops to further discuss the findings of this study.

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

No action required at this time.

6. REFERENCE FILES

10a. Rimrock-Presentation under separate cover when received.



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 11
Agenda Title: Authorize City Manager to execute an agreement with Hogaboom Road, Inc. to partially fund a documentary about the former Governor Dan Moody.

Council Action to be taken: Consider approval

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

Mr. Chet Garner approached both the Williamson County Museum and the City, via the Moody Museum Advisory Board, with a request to fund a documentary about Texas' former Governor Dan Moody's KKK trial. The request represents one-half of the projected \$24,000 production cost. The other half will be paid by the Williamson County Museum.

Mr. Garner and Mrs. Komandosky will both be at the meeting to address the Council, if needed.

2. DESCRIPTION/ JUSTIFICATION

The project will entail a one-half hour program slated for PBS about the trial that Dan Moody led against the local KKK. In addition, a shorter version (seven to ten minutes) of the film will be made available for us to show locally for visitors, etc.

According to the agreement (VII, a), the City will and the Williamson County Museum will be joint copyright owners of the film, which allows us to use the information as we think most appropriate.

As a side note, Mr. Garner also produces and is in the Daytripper series for PBS.
<http://thedaytripper.com/>

3. FINANCIAL/BUDGET

The request of for \$12,000. The source of the funding is from the Louis K. Ned Donation. \$6,000 will be paid prior to production beginning and the remaining \$6,000 will be paid prior to post production beginning.

The balances as of November 30, 2013 are:

Louis K Ned Fund: \$254,453.18

Nancy Moody Fund: \$50,008.78

Total: \$304,461.96

4. TIMELINE CONSIDERATIONS

The film will take about four months to complete.

5. RECOMMENDATION

The Moody Museum Advisory Board reviewed this request during their September 17, 2013 meeting and forwarded a recommendation to approve the request.

Staff recommends approval of the agreement with a not to exceed amount of \$12,000 from the Louis K. Ned Donation Fund.

6. REFERENCE FILES

11a. [Proposed agreement](#) with Hogeboom Road, Inc and the City.

11b. [Movie Projected Budget](#).



PRODUCTION AGREEMENT

I. OVERVIEW AND SCOPE

The Parties seek to produce one half-hour documentary and one 6-10 minute documentary regarding the historic Dan Moody/KKK trial that occurred in Williamson County in 1923. The Parties will seek to have the half-hour documentary distributed via PBS.

II. PARTIES

- i. Hogaboom Road, Inc. ("Hogaboom")
109 W. 7th St., Ste 220
Georgetown, TX 78626
- ii. The Williamson Museum ("Williamson Museum")
716 S. Austin Ave.
Georgetown, TX 78626
- iii. City of Taylor, TX ("City")
400 Porter Street
Taylor, TX 76574

III. THE WORK

In consideration for the mutual obligations described below, Hogaboom agrees to produce:

- i. One half-hour documentary approximately twenty-four (24) to twenty-seven (27) minutes in length focusing on the historic Dan Moody/KKK trial with some information on Moody's childhood and political career.
- ii. One documentary approximately 6-10 minutes in length ideal for presenting inside a museum to a live audience with limited time.

IV. PAYMENT

In order to facilitate the production of the above-reference documentaries, Williamson Museum and the City shall contribute to Hogaboom a total sum of twenty-three thousand, seven-hundred sixty dollars (\$23,760.00). Fifty percent must be paid before pre-production begins with the remaining fifty percent due after video production is complete and before post-production begins.

V. UNDERSTANDINGS

- (a) Williamson Museum and the City shall aid in the production by providing information and historical insight, along with access to its respective museums and artifacts, if requested.

- (b) While Williamson Museum and the City shall be reasonably updated on the production process, creative control and approval of the final product shall rest exclusively with Hogaboom.
- (c) Williamson Museum and the City will pay for any requested third party expenses, including duplications, if any, of the final documentaries, provided prior written consent is granted by the City and Williamson Museum.
- (d) Should Williamson Museum and/or the City decide to no longer pursue this project and wish to cancel its involvement, Hogaboom shall retain all monies paid by the canceling party and will work with the non-canceling party to acquire additional support to cover the canceling party's intended total contribution.
- (e) Williamson Museum and the City shall be credited on the final piece in accordance with PBS standards.
- (f) Hogaboom, in its sole discretion, shall choose how it, and its personnel are credited in the final product.

VI. SCHEDULE

The following schedule will commence upon payment of in accordance with Paragraph IV.

- | | |
|--------------------|----------|
| 1. Pre-Production | 1 month |
| 2. Production | 1 month |
| 3. Post Production | 2 months |

VII. OWNERSHIP

- (a) Williamson Museum and the City shall be the joint copyright owners of the final documentaries.
- (b) Hogaboom shall have the perpetual, worldwide right to distribute these documentaries in any manner and/or format it chooses.
- (c) Hogaboom shall be the exclusive owner of any series and/or trademarks that may be created as a result of these documentaries.

VIII. TERMINATION

In addition to any other grounds for termination specifically provided for in this Agreement, the Parties shall have the right to terminate this Agreement if any of the other Parties breaches any of their material obligations and fails to cure such breach within 30 days of written notice of the breach to the address above. Should such termination occur with no fault by Hogaboom, Hogaboom shall be entitled to retain any money already paid for work completed by Hogaboom.

IX. MISCELLANEOUS

- (a) Force Majeure - In the event that production is delayed or canceled by reason of act of God, fire, lockout, strike or other labor dispute, riot or civil disorder, war or armed insurrection, enactment, rule, act or order of government, mechanical failure, or any other force majeure cause or reason beyond Hogaboom's control, then Hogaboom shall produce and/or arrange for production as soon as practicable after any such event. However, delay caused by such an event shall not constitute a breach by either party.
- (b) Authority - The persons signing this Agreement hereby warrant that they have authority to enter into this Agreement and are duly authorized to do so. The parties further represent that they have had an opportunity to read this Agreement or to have it explained to them by the counsel, and that they understand and are fully aware of its contents and legal effect, and that they are voluntarily entering into this Agreement.
- (c) Entire Agreement - This Agreement constitutes the entire agreement and understanding between the parties. There are no other agreements, understandings, representations, or conditions, express or implied, oral or written, with regard to this Agreement. The parties may make any changes to this agreement only in writing. This Agreement, and its construction and effect, will be determined and construed in accordance with the substantive laws of the state of Texas.

ACCEPTED AND AGREED

The Williamson Museum

Signature:_____

Name:_____

Title:_____

Date:_____

City of Taylor

Signature:_____

Name:_____

Title:_____

Date:_____

Hogaboom Road, Inc.

Signature:_____

Name:_____

Title:_____

Date:_____

PRODUCTION BREAKDOWN**PROJECT TITLE:** Moody Trial Video

INTERVIEW SHOOTS	AMOUNT
Producer/Director (1)	\$ 500.00
Camera Operators (2)	\$ 500.00
Audio Operator (1)	\$ 500.00
Light Kit (1 kit, 150/day)	\$ 150.00
SUBTOTAL	\$ 1,650.00
DAYS	2
INTERVIEW TOTAL	\$ 3,300.00
LOCATION SHOOTS	
Producer (1)	\$ 500.00
Camera Operator (1)	\$ 500.00
Light Kit (1 kit, 150/day)	\$ 150.00
SUBTOTAL	\$ 1,150.00
DAYS	2
LOCATION TOTAL	\$ 2,300.00
POST PRODUCTION	
Post Production Manager (1)	\$ 1,000.00
Writer/Researcher	\$ 2,000.00
Voice Over Talent (2 days, \$1000/day)	\$ 2,000.00
Editing (25 minute video) (80 hours, 100/hour)	\$ 8,000.00
Editing (6-10 minute video) (30 hours, 100/hour)	\$ 3,000.00
POST PRODUCTION TOTAL	\$ 16,000.00
PRODUCTION TOTAL	\$ 21,600.00
CONTINGENCY (10%)	\$ 2,160.00
GRAND TOTAL	\$ 23,760.00



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 12

Agenda Title: Consider Revised Tax Increment Financing (TIF) Project and Financing Plan

Council Action to be taken: Consider approval

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

The attached revised TIF Project and Financing Plan is intended to come into alignment with our City Attorney's concerns regarding compliance with State Statute.

The Plan was revised in accordance with the requirements of State Law. These are the changes reflected in the new document:

1. The information was reorganized to clarify which portion of the plan addressed which section of the law. Additional maps were added to the report (Existing Land Use, Future Land Use, and Zoning) to clarify objectives of the Plan.
2. Language was amended to clarify that the TIF could spend money on private improvements. (Appendix H)
3. The Plan also includes the option to issue TIF debt, if that option is ever needed. (See page 8 of 11.

These changes are satisfactory to our City Attorney as evidenced by the email that is the last page of the report.

None of the financial data was changed.

2. DESCRIPTION/ JUSTIFICATION

The TIF Project and Financing Plan is required by section 311.011 of the Tax Increment Financing Act. The TIF Plan must adhere to the nine points articulated in this section. The 2008 Plan did cover these points. However, when our attorney was asked to prepare a TIF agreement, he felt as though the plan did not clearly provide the option to fund the request.

Subsequently, staff revised the Plan and it is now ready for Council consideration. As the Main Street Advisory Board also is designated as the TIF Advisory Board, they reviewed the new Plan and have agreed with the changes.

As you know the TIF District was created in 2005 and the County also participates in funding it. Sincere there were essentially only format changes, and no changes to the financial component of the Plan, the County's approval is not necessary.

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

The TIF District Advisory Board, which included the County's Representative, Mr. Ed Komandosky, has recommended approval of the revised Plan.

Staff also recommends approval of the revised Plan.

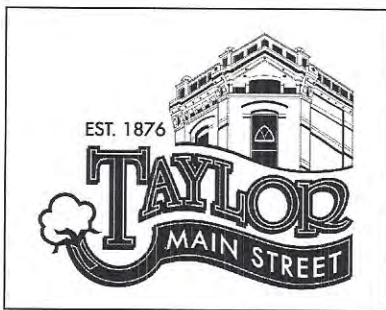
6. REFERENCE FILES

12a. [Revised Tax Increment Financing](#) and Project Plan

12 DEC 13
Approved by
TIF 20 NOV 13
MOD. 3 DEC 13

TAYLOR TAX INCREMENT REINVESTMENT ZONE #1

FINAL PROJECT PLAN



AND



FINAL FINANCING PLAN

Taylor, Texas

Revised 2013

Prepared by the Department of
Planning and Development
In Partnership with
The Taylor TIF Advisory Board



Contents

Section 1 What is Tax Increment Financing ?

History and trends in the Downtown Area

Section 2 The Zone

Vision

Purpose of the Zone

Description of the Zone and Map

Statements of Compliance with Section 311.011 of the Texas Tax Increment Financing Act.

Section 3 Financial Information

Exhibits

Exhibit A – Example of Real Property Tax Revenue with Tax Increment Financing

Exhibit B - Map of Tax Increment Reinvestment Zone #1

Exhibit C – Existing Land Use Conditions in the District

Exhibit D – Existing Zoning within the District

Exhibit E – Future Land use Map of the District

Exhibit F – Revenue Projections to the TIF Fund Details

Exhibit G – Revenue Summary Projections to the TIF Fund based on Participating Taxing Units

Exhibit H – TIF #1 Project Plan and Estimated Costs

Section 1

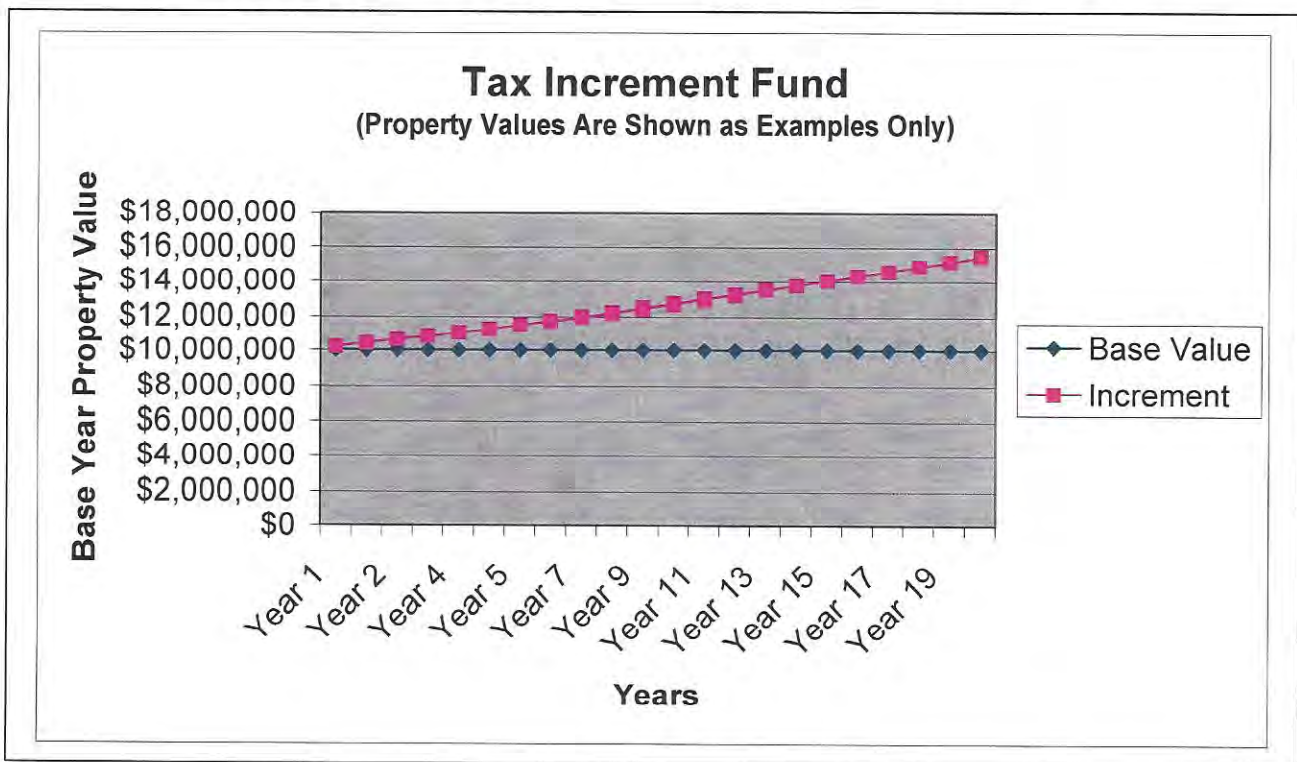
What is Tax Increment Financing?

Tax Increment Financing (TIF) is a tool to finance public improvements within a defined geographic area. The improvements should enhance the environment and attract new investment. The statutes governing tax increment financing are in Chapter 311 of the Texas tax Code.

A municipality makes an area eligible for tax increment financing by designating a “reinvestment zone,” also know as a “tax increment reinvestment zone” or “TIF zone.” Costs of selected public improvements within the reinvestment zone may be paid by current or future tax revenues flowing from redeveloped or depreciated real properties in the zone. The additional tax dollars generated by growth of real property value in the Zone are referred to as the “tax increment.” These dollars flow to a tax increment fund for a specified period of years. Money flowing to the fund each year is disbursed according to a plan and agreements approved by the TIF Board as set by the ordinance designating the zone.

Exhibit A shows how tax revenues from real properties in a reinvestment zone flow to taxing jurisdictions and a tax increment fund. Exhibit A assumes real property values in the zone rise after the zone’s designation.

Exhibit A
Real Property Tax Revenue with Tax Increment Financing



Only cities can create reinvestment zones to tax increment financing. Once created, school districts, counties, hospital districts, and college districts may participate, usually as provided in a participation agreement. Each taxing unit may chose to dedicate to the fund all, a portion, or none of the additional tax revenue attributable to increased real property in the zone.

Inclusion of a property in a reinvestment zone does not change the tax rates for the property. Tax rates in a reinvestment zone are the same as tax rates outside the reinvestment zone, with the same set of taxing jurisdictions.

This Tax Increment Reinvestment Zone is the first such zone that the city of Taylor has considered to encourage reinvestment and economic development.

History and Trends in the Downtown Area

Taylor's history reaches back to the early 1700's. By 1746, a mission had been established on the San Gabriel River. This and several other missions lasted until 1756 when drought, mismanagement, disease, and Apache attacks caused their removal.

In 1876, the International and Great Northern Railroad (I+GN) reached the present location of Taylor, then known as Taylorville, named after Edward Moses Taylor. Mr. Taylor was an official and part owner of the I+GN.

By 1878, Taylor has over 1,000 residents, four hotels, many private boarding houses, three lumber yards, two drug stores, a livery stable, two saddlery shops, two blacksmith shops, one hardware store, ten general merchandise stores, and many other small businesses. There were representative churches of almost all major Christian denominations.

Between May of 1878 and February 1879 the several businesses in the downtown area burned, claiming many of the major institutions in the City.

In 1882, the Missouri, Kansas and Texas rail line was extended to Taylor. Since Taylor was the terminus of the Katy, and crews of both lines were changed here, Taylor became the headquarters and home of many railroad men.

In 1887, Taylorville became officially known as Taylor, following its formal incorporation in 1882.

As mentioned above, Taylor's population was approximately 1,000 in 1878. In 1890, the population was estimated to be at approximately 2,584. Below is a graph of the population trends since 1950, as recorded by the US Census Bureau.

		% Change
1950	9,071	
1960	9,434	4.00%
1970	9,616	1.93%
1980	10,619	10.43%
1990	11,472	8.03%
2000	13,575	18.33%

In 1999, the city of Taylor reinstated the Taylor Main Street Program. The purpose of the Main Street program is to encourage the revitalization of downtowns. In other words, the goal of the program is to encourage economic development in the context of historic preservation.

The city of Taylor has evolved from being the economic center of Williamson County to a suburb of what have become larger urbanized areas such as Austin, Round Rock, Georgetown, etc. In addition, with the advent of the automobile, relatively inexpensive fuel prices, and the emergence of urban and suburban sprawl, the downtown area has in the last three to four decades experienced a trend of disinvestments. Today, approximately 70 percent of Taylor's workforce commutes to jobs outside of Taylor. To highlight the trend of disinvestment in the downtown area: in the last five years over \$36 million of new capital investment was made in the city, of which only \$2.2 was made in the downtown area.

Section 2

The Zone

Vision

The vision for the Taylor Downtown area is one that sees significant private investment, improved public infrastructure, and a changed perception by the general public that investing in the downtown area is a profitable venture.

Purpose of the Zone

Conditions contributing to the creation of the zone include disinvestments due to a large number of blighted, abandoned, and functionally obsolete buildings, poor drainage, sub-standard and defective streets, sidewalks, and parking conditions, many small lots with diverse ownership, making site acquisition for redevelopment difficult and time consuming, contaminated property, large number of lots with code violations such as tall grass and trash, the perception that the area will continue to decline in value and in opportunities for investment and commerce.

Alternately, the downtown area is home to numerous governmental, business, and religious institutions. City hall, the Taylor Economic Development Corporation, the US Post Office, the County health clinic, County offices, two major banks, many small businesses, Temple College at Taylor, the recently restored Howard Theatre, the annual Bloomin' Festival, Heritage Park, many residents and residential structures, many of which are recognized historical buildings, the "Old Bank Building", and the "Cotton Seed" building both of which are currently on the National Register of Historic Places. The City also received a "streetscaping" grant from the Texas Department of Transportation (TEA – 21) to improve sidewalks, provide landscaping, and install light standards in a 5 block downtown area.

In addition, the City completed a retail market analysis in 2004. This study revealed that a significant amount of disposable income in the City's trade area could potentially be spent in the downtown area. The table below illustrates the retail trade potential for the downtown area:

Food at Home	\$55,492,164
Food Away from Home	\$50,676,816
Alcoholic Beverages	\$18,306,832
Smoking Products and Supplies	\$8,184,730
Personal Care Products and Services	\$9,107,547
Day Care	\$3,631,850
Household Furnishings and Services	\$66,328,093
Housing Expenses	\$9,146,867
Apparel	\$48,013,149

Sports and Recreation	\$14,160,226
Miscellaneous	\$28,968,431
Education	\$11,125,064
Automotive	\$94,123,107
Health Care	\$36,722,071
Total	\$453,986,947

The addition of the tax increment will provide another source of funding to address the challenges in the downtown area. This economic development tool will also play a role in the attraction of private investment in the area in addition to the other incentives provided by the City and the County.

Description of the Zone and Map

Exhibit B is a map of Tax Increment Reinvestment Zone #1.

Where zone boundaries follow streets, the boundaries extend to the far sides of the public right-of-way, measured from the center of the zone. Inclusion of the rights-of-way allows potential use of funds for improvements in those rights-of-way.

Description of the Existing Uses

The zone consists of approximately 128 acres. The 2004 taxable value of the zone was approximately \$23,653,239. This represents approximately 4.23% of the total city's taxable value.

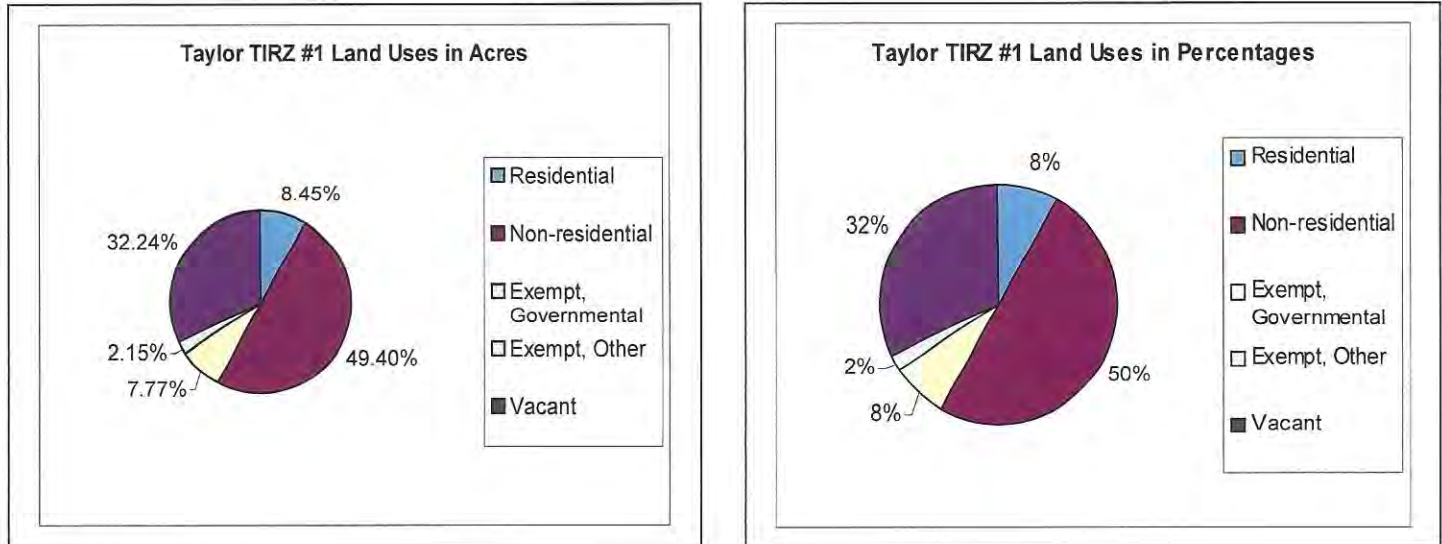
	Acres	Percentage
Residential	10.79	8.45%
Non-residential	63.07	49.40%
Exempt, Governmental	9.92	7.77%
Exempt, Other	2.74	2.15%
Vacant	41.16	32.24%
Total	127.68	100.00%

Boundaries are drawn with the intent to:

1. Address the issues identified in the city's Economic Development chapter of the Comprehensive Plan
2. Address the issues identified in the Main Street Program's Strategic Plan
3. Limit the percentage of land area currently used for residential purposes to a percentage less than 10 percent, according to the requirements of Chapter 311 of the Texas Tax Code.
4. Includes sites in and near Downtown with good potential for development and use of the tax increment financing tool during the term of the zone

5. Maintain contiguity, as required by the law
6. Limit the percentage of the taxable value of real property of the zone to no more than 15 percent of the appraised real value of the City, according to the requirements of Chapter 311 of the Texas Tax Code.

The following graphs provide a general profile of the zone.



Compliance Statement

Below are responses to the specific requirements of Section 311.011 of the Texas Tax Increment Financing Act.

Section 311.011 (b) (1). The following Exhibits will “show a description and map showing uses and conditions of real property (Exhibit C – Existing Land Uses; Exhibit D – Existing Zoning Map) in the zone and proposed uses of the property (Exhibit E – Future Land Use Plan).”

Section 311.011 (b) (2). The Project Plan must include: “proposed changes of zoning ordinances, the master plan of the municipality, building codes, other municipal ordinances, and subdivision rules and regulations, if any, of the county, if applicable.”

There are no changes proposed to the Taylor Zoning Ordinance, the Taylor Master Plan, Building Codes, or the Taylor Subdivision Codes in order to implement the District.

Section 311.011 (b) (3). The Project Plan must include: a list of estimated non-project costs.” There will no non-project costs incurred by the District.

Section 311.011 (b) (4). The Project Plan must include: “a statement of a method of relocating persons to be displaced, if any, as a result of implementing the Plan.”

The Plan does not anticipate that any person will be displaced due to the implementation of the Plan.

311.011 (c). The reinvestment financing plan must include:

- (1) a detailed list describing the estimated project costs of the zone, including administrative expenses;

The TIF District may provide grants for:

Including but not limited to; asbestos surveys and remediation, building rehabilitation, facade improvements, signage repair, demolition, acquisition of property, building construction and replacement, safety improvements, landscaping, and general economic and community development assistance or incentives, including local matches for grants, etc.

There will be no administrative cost incurred by the District

See also Exhibit H – Project Plan and Estimated Costs

- (2) a statement listing the proposed kind, number, and location of all public works or public improvements to be financed in the zone;

The TIF District may provide funding for, but not limited to the following possible expenditures: the provision of sidewalks, drainage improvements, water and sewer line extensions, repair or replacements, and street improvements; beautification projects such as but limited to landscaping, benches, public art, street lighting, etc.; local matches for grant application including but not limited to public building construction or rehabilitation, transportation enhancements, and other grants that are reasonably expected to accomplish the downtown goals, etc.

See also Exhibit H – Project Plan and Estimated Costs

- (3) a finding that the plan is economically feasible and economic feasibility study;

Refer to Exhibits F and G.

- (4) the estimated amount of bonded indebtedness to be incurred;

There may be debt issued by the District.

- (5) the estimated time when related costs or monetary obligations are to be incurred;

Not applicable

(6) a description of the methods of financing all estimated project costs and the expected sources of revenue to finance or pay project costs, including the percentage of tax increment to be derived from the property taxes of each taxing unit anticipated to contribute tax increment to the zone that levies taxes on real property in the zone;

All revenues will be generated by the City of Taylor's tax increment and Williamson County's tax increment from which the project costs will be paid. See also Exhibits F and G that illustrate the projected revenues from all taxing entities that contribute to the tax increment fund.

(7) the current and total appraised value in the zone;

See Exhibit G-1 and G-2 for total appraised values in the District.

(8) the estimated captured appraised value of the zone during each year of its existence;

See Exhibit G-1 and G-2 for the projected captured appraised value of the zone during each year of the District's existence.

(9) the duration of the zone.

The duration of the District is 25 years.

Section 3

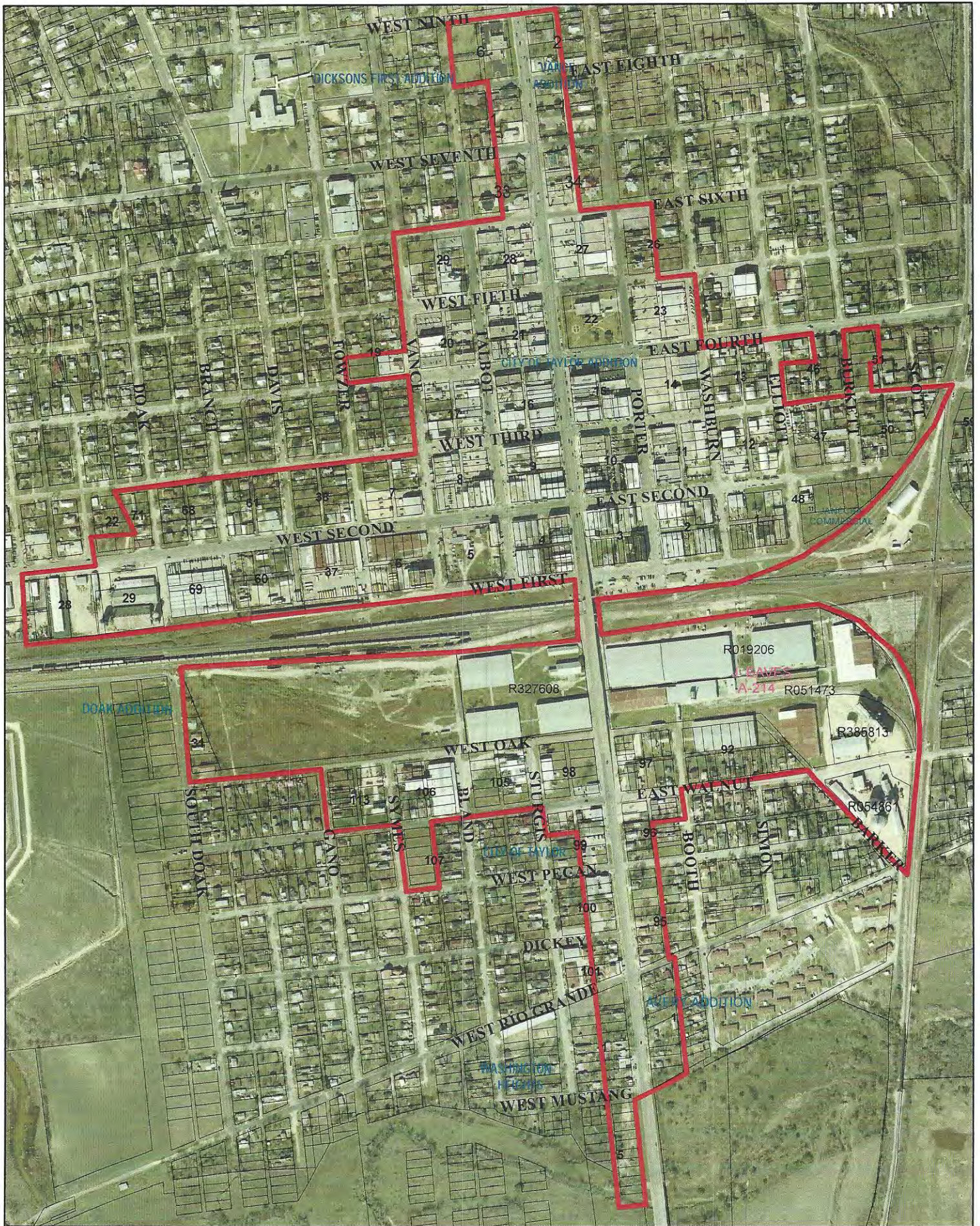
Financial Information

The ability of the tax increment fund to promote development in the Downtown area depends largely on the volume of cash flow to the fund. The attached spreadsheets (Exhibit F) illustrate the projected revenue to the fund based on different growth scenarios.

The recommended base year is 2005. The current taxable value in the zone for 2004 was \$23,653,239.

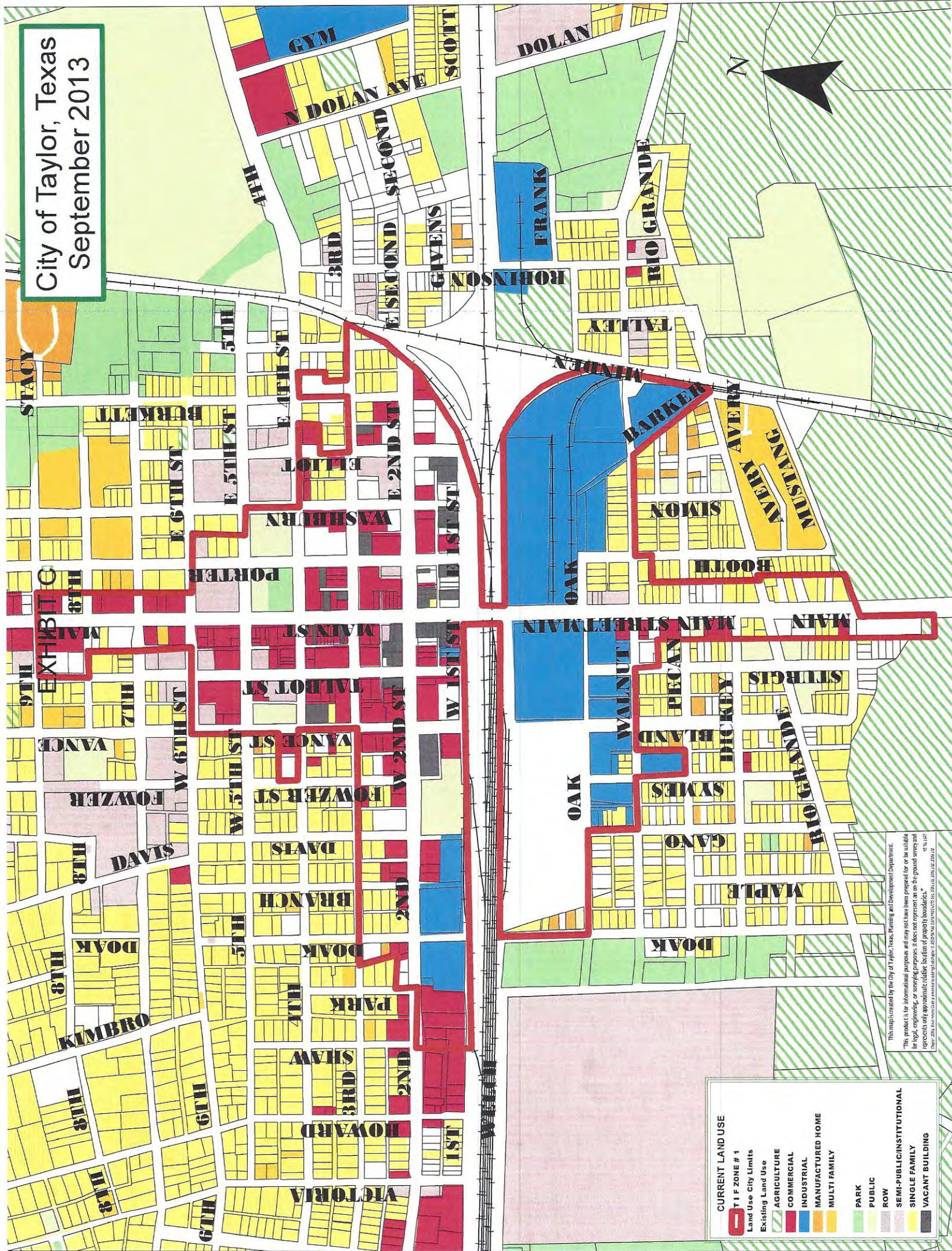
Exhibit G summarizes the projected revenue to the TIF Fund based on the participation of the City, County, and the School District.

Tax Year	TIF #1 Taxable	
	Values	Percent Change
2000	\$21,486,248	
2001	\$23,118,142	7.60%
2002	\$23,684,428	2.45%
2003	\$23,650,430	-0.14%
2004	\$23,653,239	0.01%



TAYLOR TIF ZONE # 1

Exhibit B



CURRENT LAND USE

UTIF ZONE # 1

Land Use City Limits

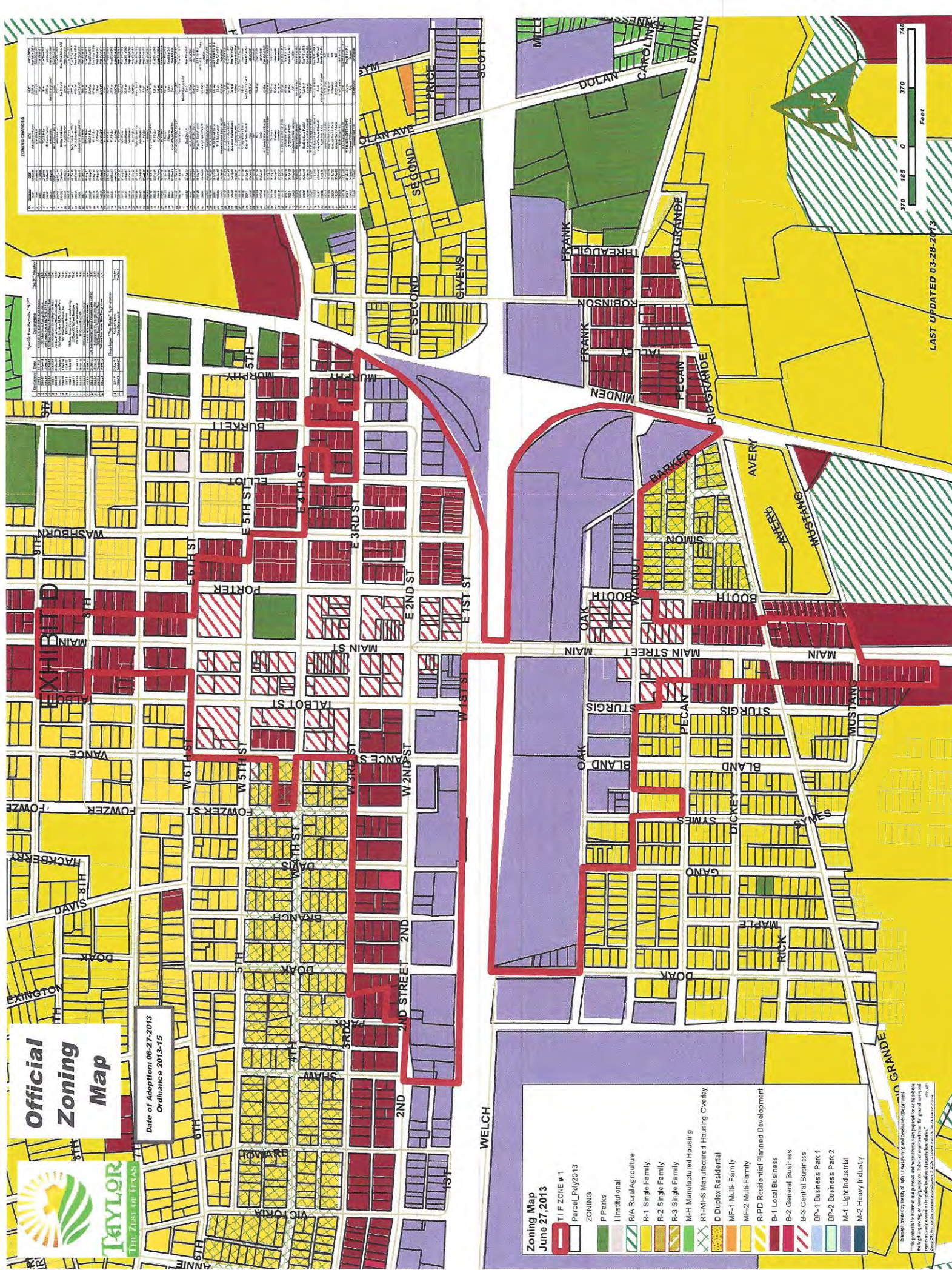
Existing Land Use

- AGRICULTURE
- COMMERCIAL
- INDUSTRIAL
- MANUFACTURED HOME
- MULTI FAMILY
- PARK
- PUBLIC
- ROW
- SEMI-PUBLIC/INSTITUTIONAL
- SINGLE FAMILY
- VACANT BUILDING

This map is created by the City of Taylor, Texas, Planning and Development Department.
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only approximate (color, location of property boundaries, etc.)
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9/13/13

Taylor
THE ZEST OF TEXAS

Taylor
THE ZEST OF TEXAS

[illegible]

LAST UPDATED 03-28-2013



FUTURE LAND USE 2012

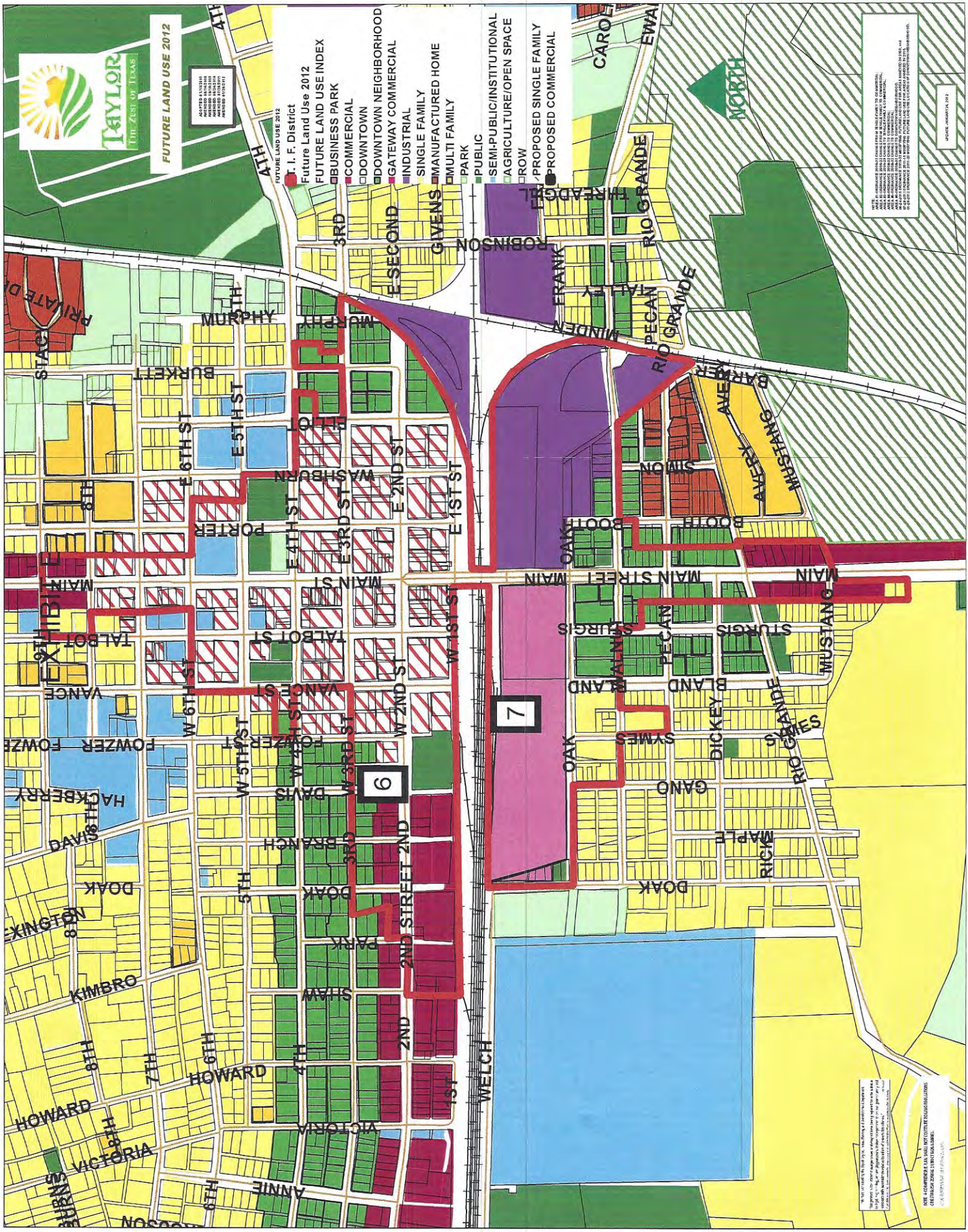
ADOPTED FUTURE LAND USE INDEX
FUTURE LAND USE INDEX
FUTURE LAND USE INDEX

T. I. F. District
Future Land Use 2012
FUTURE LAND USE INDEX

BUSINESS PARK
COMMERCIAL
DOWNTOWN
GATEWAY COMMERCIAL
INDUSTRIAL
SINGLE FAMILY
MANUFACTURED HOME
MULTI FAMILY
PARK
PUBLIC
SEMI-PUBLIC/INSTITUTIONAL
AGRICULTURE/OPEN SPACE
ROW
PROPOSED SINGLE FAMILY
PROPOSED COMMERCIAL

NOTE: FUTURE LAND USE INDEX IS A PLANNING TOOL. IT IS NOT A GUARANTEE OF FUTURE DEVELOPMENT. THE CITY OF TAYLOR RESERVES THE RIGHT TO CHANGE THE FUTURE LAND USE INDEX AT ANY TIME WITHOUT NOTICE. THE FUTURE LAND USE INDEX IS BASED ON THE CITY OF TAYLOR'S VISION FOR THE FUTURE OF THE CITY. THE FUTURE LAND USE INDEX IS NOT A GUARANTEE OF FUTURE DEVELOPMENT. THE CITY OF TAYLOR RESERVES THE RIGHT TO CHANGE THE FUTURE LAND USE INDEX AT ANY TIME WITHOUT NOTICE. THE FUTURE LAND USE INDEX IS BASED ON THE CITY OF TAYLOR'S VISION FOR THE FUTURE OF THE CITY.

SPONSOR: MAY 2012



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SPONSOR: MAY 2012

TAYLOR TAX INCREMENT FINANCING DISTRICT TAX RATES

Exhibit F

TAX RATES	2004	25.00%
Taylor	\$0.740000	
Taylor ISD	\$1.670000	\$0.417500
Williamson County	\$0.478852	

Total Taxable Real Value 2004
\$23,653,239.00

Exhibit G

City - County TIF District #1 Summary Revenue Projections

	CITY	COUNTY	COMBINED TOTAL
5 Years	\$261,482	\$159,071	\$420,553
8 Years	\$528,645	\$324,475	\$853,120
10 Years	\$754,272	\$464,164	\$1,218,437
12 Years	\$1,020,623	\$629,065	\$1,649,688
15 Years	\$1,501,969	\$927,074	\$2,429,043
20 Years	\$2,545,172	\$1,572,935	\$4,118,106
25 Years	\$3,930,946	\$2,430,887	\$6,361,834

TAYLOR TAX INCREMENT FINANCE DISTRICT #1 REVENUE PROJECTIONS
Exhibit G-1

City of Taylor TIF Revenue Estimates							
N	YEAR	TAXABLE VALUATION	PERCENT INCREASE	TAXABLE VALUE INCREMENT	TAYLOR TAX RATE	PROJECTED REVENUE FROM THE CITY	NOTES
	2005	\$28,041,353					Base Year. Actual values and tax rate
1	2006	\$30,833,093	9.96%	\$2,791,740	0.0097	\$27,080	Actual values and tax rate
2	2007	\$33,902,773	3.00%	\$5,861,420	0.0079	\$46,305	
3	2008	\$34,919,856	3.00%	\$6,878,503	0.0079	\$54,340	
4	2009	\$35,967,452	3.00%	\$7,926,099	0.0079	\$62,616	
5	2010	\$37,046,475	3.00%	\$9,005,122	0.0079	\$71,140	\$261,482
6	2011	\$38,157,870	3.00%	\$10,116,517	0.0079	\$79,920	
7	2012	\$39,302,606	3.00%	\$11,261,253	0.0079	\$88,964	
8	2013	\$40,481,684	3.00%	\$12,440,331	0.0079	\$98,279	\$528,645
9	2014	\$41,696,134	3.00%	\$13,654,781	0.0079	\$107,873	
10	2015	\$42,947,018	3.00%	\$14,905,665	0.0079	\$117,755	\$754,272
11	2016	\$44,235,429	3.00%	\$16,194,076	0.0079	\$127,933	
12	2017	\$45,562,492	3.00%	\$17,521,139	0.0079	\$138,417	\$1,020,623
13	2018	\$46,929,367	3.00%	\$18,888,014	0.0079	\$149,215	
14	2019	\$48,337,248	3.00%	\$20,295,895	0.0079	\$160,338	
15	2020	\$49,787,365	3.00%	\$21,746,012	0.0079	\$171,793	\$1,501,969
16	2021	\$51,280,986	3.00%	\$23,239,633	0.0079	\$183,593	
17	2022	\$52,819,416	3.00%	\$24,778,063	0.0079	\$195,747	
18	2023	\$54,403,998	3.00%	\$26,362,645	0.0079	\$208,265	
19	2024	\$56,036,118	3.00%	\$27,994,765	0.0079	\$221,159	
20	2025	\$57,717,202	3.00%	\$29,675,849	0.0079	\$234,439	\$2,545,172
21	2026	\$59,448,718	3.00%	\$31,407,365	0.0079	\$248,118	
22	2027	\$61,232,179	3.00%	\$33,190,826	0.0079	\$262,208	
23	2028	\$63,069,144	3.00%	\$35,027,791	0.0079	\$276,720	
24	2029	\$64,961,219	3.00%	\$36,919,866	0.0079	\$291,667	
25	2030	\$66,910,055	3.00%	\$38,868,702	0.0079	\$307,063	\$3,930,946
TOTAL:						\$3,930,946	

TAYLOR TAX INCREMENT FINANCE DISTRICT #1 REVENUE PROJECTIONS

Exhibit G-2

Williamson County TIF Revenue Estimates							
N	YEAR	TAXABLE VALUATION	PERCENT INCREASE	TAXABLE VALUE INCREMENT	COUNTY TAX RATES	PROJECTED REVENUE FROM THE COUNTY	NOTES
	2005	\$28,041,353		\$0			Base Year actual values
1	2006	\$30,833,093	9.96%	\$2,791,740	0.00499657	\$13,949	Actual values and GWI + RFM tax Rates
2	2007	\$33,902,773	3.00%	\$5,861,420	0.004891	\$28,668	
3	2008	\$34,919,856	3.00%	\$6,878,503	0.004891	\$33,643	
4	2009	\$35,967,452	3.00%	\$7,926,099	0.004891	\$38,767	
5	2010	\$37,046,475	3.00%	\$9,005,122	0.004891	\$44,044	\$159,071
6	2011	\$38,157,870	3.00%	\$10,116,517	0.004891	\$49,480	
7	2012	\$39,302,606	3.00%	\$11,261,253	0.004891	\$55,079	
8	2013	\$40,481,684	3.00%	\$12,440,331	0.004891	\$60,846	\$324,475
9	2014	\$41,696,134	3.00%	\$13,654,781	0.004891	\$66,786	
10	2015	\$42,947,018	3.00%	\$14,905,665	0.004891	\$72,904	\$464,164
11	2016	\$44,235,429	3.00%	\$16,194,076	0.004891	\$79,205	
12	2017	\$45,562,492	3.00%	\$17,521,139	0.004891	\$85,696	\$629,065
13	2018	\$46,929,367	3.00%	\$18,888,014	0.004891	\$92,381	
14	2019	\$48,337,248	3.00%	\$20,295,895	0.004891	\$99,267	
15	2020	\$49,787,365	3.00%	\$21,746,012	0.004891	\$106,360	\$927,074
16	2021	\$51,280,986	3.00%	\$23,239,633	0.004891	\$113,665	
17	2022	\$52,819,416	3.00%	\$24,778,063	0.004891	\$121,190	
18	2023	\$54,403,998	3.00%	\$26,362,645	0.004891	\$128,940	
19	2024	\$56,036,118	3.00%	\$27,994,765	0.004891	\$136,922	
20	2025	\$57,717,202	3.00%	\$29,675,849	0.004891	\$145,145	\$1,572,935
21	2026	\$59,448,718	3.00%	\$31,407,365	0.004891	\$153,613	
22	2027	\$61,232,179	3.00%	\$33,190,826	0.004891	\$162,336	
23	2028	\$63,069,144	3.00%	\$35,027,791	0.004891	\$171,321	
24	2029	\$64,961,219	3.00%	\$36,919,866	0.004891	\$180,575	
25	2030	\$66,910,055	3.00%	\$38,868,702	0.004891	\$190,107	\$2,430,887
TOTAL:						\$2,430,887	

Exhibit H – Taylor TIF #1 Project Plan and Estimated Costs

	Estimated Cost
Infrastructure Improvements Including but not limited to: Sidewalks, drainage improvements, water line replacement and installation, sanitary sewer line upgrades and installation, street repair or replacement.	\$1,450,000
Beautification Including but not limited to: landscaping, benches, public art, street lighting, and sidewalks.	\$500,000
Local Match for Grants Including but not limited to grants that are reasonably believed to accomplish the downtown goals, etc.	\$350,000
Local Grants Including but not limited to: Asbestos surveys and remediation, building rehabilitation, façade improvements, signage repair, demolition, acquisition of property, building construction and replacement, safety improvements, landscaping, etc.	\$500,000
Economic Development Assistance Including but not limited to residential development, purchase of private land (land write-downs and parking), etc	\$700,000
Estimated Total	\$3,500,000

Bob Vantil

From: Bob Vantil
Sent: Thursday, October 24, 2013 11:09 AM
To: Deby Lannen; Ed Hile
Subject: FW: TIF Plan

Looks like we have the green light. We'll have it on the TIF Board agenda in November. It's the same document I circulated on 10 Nov.

Thanks,
Bob van Til, AICP, CECd
Director of Planning and Development
City of Taylor, Texas
400 Porter Street
512-352-5990 x 16
512-563-2347 - cell

From: Ted Hejl [<mailto:ted@hejlfirm.com>]
Sent: Thursday, October 24, 2013 9:18 AM
To: Jim Dunaway; Jeff Straub
Cc: Bob Vantil
Subject: TIF

I approved the proposed TIF Plan as to form this morning in a conference this morning with Bob. Ted

Ted W. Hejl
Law Firm of Ted W. Hejl
311 Talbot Street
P. O. Box 192
Taylor, Texas 76574
512-365-6348
512-365-2226 (fax)

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City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 13
Agenda Title: Consider authorizing City Manager to enter into a 380 Agreement with Chisum Pierce for asbestos abatement on property located at 220 W 4th Street.

Council Action to be taken: Consider approval

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

Mr. Chisum Pierce owns a building at 220 W 4th. He requested a Tax Increment Financing (TIF) fund grant for asbestos remediation in a portion of the building where a new restaurant is slated to be located.

The attached agreement reflects his request.

2. DESCRIPTION/ JUSTIFICATION

The TIF Advisory Board recommended approval of this request in July. The provisions in the grant are:

1. It is a two year agreement,
2. The TIF fund pays for 50% or up to \$6,000 of the asbestos abatement when:
 - a. The certificate of completion is received from the appropriate professional certifying that the asbestos was remediated,
 - b. A copy of the lease with Kenny's Restaurant which is at least two years in length is provided to the City,
 - c. Certificate of Occupancy is issued
3. Performance during the two years includes:
 - a. Restaurant space has to be occupied for at least two years
 - b. If the restaurant space is vacant during the two years for a period of six months or more, the grant must be repaid, or a lien placed on the property.
 - c. If a vacancy occurs after the two years, no repayment is required.

3. FINANCIAL/BUDGET

The funding is recommended to come from the TIF fund. The balance as of September 30, 2013 is over \$494,000.

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

The Tax Increment Financing (TIF) Advisory Board recommended approval of this funding during their July 17, 2013 meeting.

Staff recommends that the Council approve the agreement.

This grant application was delayed to resolve issues with the TIF Project and Financing Plan.

6. REFERENCE FILES

13a. [Pierce 380 Agreement](#)

CHISUM PIERCE
AND
THE CITY OF TAYLOR, TEXAS,
CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT

This Economic Development Agreement ("Agreement") is entered into by and between the CITY OF TAYLOR, TEXAS, a Texas home rule municipal corporation ("CITY") and CHISUM PIERCE ("PIERCE").

WHEREAS, the CITY adopted Ordinance 2010-38 on September 9, 2010, ("Ordinance"), establishing and authorizing the CITY to make economic development grants; and

WHEREAS, the CITY is granting economic benefits to PIERCE in recognition of the positive economic benefits to the CITY through PIERCE'S (i) asbestos surveying and abatement of a building ("Repairs") located in the downtown section of the City ("Building") on the real property shown in *Exhibit "A"* attached hereto and incorporated by reference herein ("Property"); (ii) completing the Building Repair thereby making the Building habitable for restaurant business use; (iii) leasing the Building for term no less than two (2) years to a restaurant business which shall remain in operation and open to the retail public during the lease term ("the Business"); and (iv) maintain the Building and Property in compliance with, and require the Business to comply with, all codes pertaining to the Building and Property; and

WHEREAS, the purpose of this Agreement is to promote economic development contemplated by Chapter 380 and the Development Corporation Act, Chapter 501 of the Texas Local Government Code, whereby PIERCE will comply with this Agreement for the consideration from the CITY as hereinafter allowed, and in accordance with the terms of this Agreement; and

NOW, THEREFORE, in consideration of the mutual benefits and promises and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the CITY and PIERCE agree as follows:

1. AUTHORITY. The CITY's execution of this Agreement is authorized by Chapters 380 and 501 of the Texas Local Government Code, and the Ordinance and constitutes a valid and binding obligation of PIERCE.

2. COMPLIANCE. PIERCE shall be obligated at all times to comply with all terms and provisions this Agreement in order to receive the economic benefits described within this Agreement. The CITY shall be entitled to withhold economic benefits granted under this Agreement if PIERCE defaults under this Agreement in addition to all other relief provided to the CITY under this Agreement, under law and in equity.

3. CITY 380 GRANTS AND CONDITIONS TO GRANTS. As a condition precedent and subsequent to any grant, PIERCE must complete and perform the following:

A. Improve and maintain the Building and Property in compliance with all rules, regulations, codes and ordinances applicable to them so that they can be used for the Business which shall be open to the public during the term of this Agreement.

B. Deliver a copy of a signed lease between PIERCE and Kenny's Restaurant allowing Kenny's Restaurant exclusive occupancy of the Building for use and operation of the Business during the Term.

C. Deliver to the CITY proper certification acceptable to the CITY evidencing that PIERCE has removed all asbestos within the Building in compliance with the laws and regulations pertaining to asbestos removal.

D. Obtain a certificate of occupancy of the Building allowing use of the Building for the Business.

E. Execute a promissory note payable to the CITY in the principal amount of fifty percent (50%) of the actual cost of the repairs up to Six Thousand and No/100 Dollars (\$6,000.00) and a deed of trust securing the note on the Property and Building with a first lien security interest. The note shall also provide (i) a two (2) year term; and (ii) will have no interest due on the principal but shall provide past due interest charges as provided in the note for any principal not discharged as a grant by the CITY.

F. The note shall be discharged or deemed fully paid as a grant from the CITY if PIERCE maintains the Business in the

Building open to the public during the term of this Agreement. Notwithstanding, closure or closures of the Business may occur without causing default of this Agreement if the closures in the cumulative do not exceed six (6) months. Any one closure of the Business exceeding six (6) months or multiple closures of the Business having a cumulative closure time exceeding six (6) months shall be deemed a default under this Agreement and the note principal shall require repayment from PIERCE. Failure of PIERCE to repay the note within ten (10) days from default of this Agreement will be a default under the note and shall entitle the CITY to pursue collection of the note and foreclosure under the deed of trust.

G. If the Building is used for the Business during the Term of this Agreement, then in that event the principal advanced by the CITY under the note shall be deemed a grant to PIERCE and discharged as paid in full.

H. The note and deed of trust shall be in the form and substance required by the CITY and shall be executed simultaneously with execution of this Agreement by PIERCE.

4. TAXES. PIERCE shall have no delinquent ad valorem property taxes or fees, charges or assessments on any real property, including without limitation the Building and Property, owned by PIERCE in the the City of Taylor, Texas, during the term of this Agreement.

5. TERM. The term of this Agreement shall be for two (2) years from the approval date of the certificate of occupancy. The term of the note shall be from the approval date of this Agreement until expiration date of this Agreement.

6. ADVANCE OF NOTE PRINCIPAL. The CITY will advance the note principal of fifty percent (50%) of the actual costs of the repairs up to Six Thousand and No/100 Dollars (\$6,000.00) after execution of this Agreement by all parties and after completion of the Conditions of Grant in 3.A., 3.B., 3.C., 3.D., 3.E., 3.F., 3.G., and 3.H. by Pierce.

7. COVENANTS, WARRANTIES, OBLIGATIONS AND DUTIES. PIERCE makes the following covenants and warranties to the CITY, and agrees to timely and fully perform the following obligations and duties. Any false or substantially misleading statement contained herein or failure to timely and fully perform as required in this Agreement shall be an act of default by PIERCE. Failure to comply with any one covenant or warranty shall constitute an act of default by PIERCE entitling the CITY to

terminate this Agreement and seek all remedies provided herein for such default.

- a. No litigation or governmental proceeding is pending or threatened against PIERCE or affecting PIERCE that may result in any material adverse change in the Property or the Building. No consent, approval or authorization of or registration or declaration within any governmental authority is required in connection with the execution of this Agreement or the transactions contemplated hereby.
- b. No certificate or statement delivered by PIERCE to the CITY in connection with this Agreement, or in connection with any transaction contemplated herein, contains any untrue statement or fails to state any fact necessary to keep the statements contained herein from being misleading.
- c. There are no bankruptcy proceedings or other proceedings currently pending or contemplated, and PIERCE has not been informed of any potential involuntary bankruptcy proceedings.
- d. PIERCE has acquired and maintains all necessary rights, licenses, permits and authority to allow the Business and operate the Building in Taylor, Texas, and will continue to use his best efforts to maintain all necessary rights, licenses, permits and authority.
- e. PIERCE shall timely pay all taxes due and owing by him to all taxing authorities having jurisdiction. In addition, PIERCE shall timely pay all employment, income, franchise, and all other taxes and fees due and owing by him, if any, to all local, state, and federal entities.
- f. PIERCE shall complete the Building and allow occupancy of the Business required by this Agreement and shall provide the required investment to comply with this Agreement.
- g. PIERCE shall timely and fully comply with all the terms and conditions of this Agreement.

- h. PIERCE shall notify the CITY in writing of substantial changes in the Business, the Building, or the Property within seven (7) days.
- i. PIERCE agrees that, as to all matters arising out of this Agreement, he shall comply fully with all Civil Rights Acts and will not discriminate against any person on the basis of race, color, national origin, sex, or by reason of being disabled.

8. PIERCE shall require operation of the Business and keep the Building and Property in compliance with all federal, state and local laws, rules and regulations applicable to them during the term of this Agreement.

9. MUTUAL ASSISTANCE. CITY and PIERCE will do all things reasonably necessary or appropriate to carry out the terms and provisions of this Agreement, and to aid and assist each other in carrying out such terms and provisions in order to put each other in the same economic condition contemplated by this Agreement regardless of any changes in public policy, the law or taxes or assessments attributable to the Assets.

10. DEFAULT. If either the CITY or PIERCE should default in the performance of any obligations of this Agreement, the other party shall provide such defaulting party written notice of the default, and a minimum period of fifteen (15) days to cure such default, prior to instituting an action for breach or pursuing any other remedy for default. If the CITY or PIERCE remains in default after notice and opportunity to cure, the non-defaulting party shall have the right to pursue any remedy in this Agreement, at law or in equity for the breach. In addition, the CITY shall have the right to immediately terminate all economic benefits under this Agreement and recover all grants given to PIERCE.

11. ATTORNEY'S FEES. In the event any legal action or proceeding is commenced between the CITY and PIERCE to enforce provisions of this Agreement and recover damages for breach, the prevailing party in such legal action shall be entitled to recover its reasonable attorney's fees and expenses incurred by reason of such action, unless prohibited by law.

12. ENTIRE AGREEMENT. This Agreement contains the entire agreement between the parties. This Agreement may only be amended, altered or revoked by written instrument signed by the CITY and PIERCE.

13. BINDING EFFECT. This Agreement shall be binding on and inure to the benefit of the parties, their respective successors and assigns.

14. ASSIGNMENT. PIERCE may not assign all or any part of its rights and obligations to a third party without prior written approval of the CITY.

15. NOTICE. Any notice and or statement required and permitted to be delivered shall be deemed delivered by actual delivery, facsimile with receipt of confirmation, or by depositing the same in the United States mail, certified with return receipt requested, postage prepaid, addressed to the appropriate party at the following addressed:

PIERCE: CHISUM PIERCE
P.O. Box 593
Taylor Texas 76574

CITY: CITY OF TAYLOR, TEXAS
CITY Manager
400 Porter Street
Taylor, Texas, 76574
512-352-3774

16. INTERPRETATION. Each of the parties has been represented by counsel of their choosing in the negotiation and preparation of this Agreement. Regardless of which party prepared the initial draft of this Agreement, this Agreement shall, in the event of any dispute, however its meaning or application, be interpreted fairly and reasonably and neither more strongly for or against any party.

17. APPLICABLE LAW. This Agreement is made, and shall be construed and interpreted, under the laws of the State of Texas and venue shall be in the State courts of Williamson County, Texas.

18. SEVERABILITY. In the event any provisions of this Agreement are illegal, invalid or unenforceable under present or future laws, and in that event, it is the intention of the parties that the remainder of this Agreement shall not be affected. It is also the intention of the parties of this

Agreement that in lieu of each clause and provision that is found to be illegal, invalid or unenforceable, a provision be added to this Agreement which is legal, valid or enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

19. PARAGRAPH HEADINGS. The paragraph headings contained in this Agreement are for convenience only and will in no way enlarge or limit the scope or meaning of the various and several paragraphs.

20. NO THIRD PARTY BENEFICIARIES. This Agreement is not intended to confer any rights, privileges or causes of action upon any third party.

21. NO JOINT VENTURE. It is acknowledged and agreed by the parties that the terms of this Agreement are not intended to and shall not be deemed to create any partnership or joint venture among the parties. The CITY, its past, present and future officers, elected officials, employees and agents do not assume any responsibilities or liabilities to any third party in connection with PIERCE or the Business.

22. EXHIBITS. The following Exhibit is attached and incorporated by reference for all purposes:

Exhibit "A": the "Property".

Dated this the 3th day of December, 2013.

CHISUM A. PIERCE

CITY OF TAYLOR, TEXAS,
a home rule CITY

By: JIM D. DUNAWAY
Its: City Manager

Exhibit "A"

Being all those certain tracts or parcels of land lying and being situated in the City of Taylor, Williamson County, Texas, described in a Executor's Deed dated December 5, 2007, from Ethel Michelle Pumphrey Pierce as Independent Executrix of the Estate of Thomas Floyd Pierce and as Trustee of the Chisum Armstrong Pierce Trust to Chisum Armstrong Pierce, recorded under Document No. 2007101842, Official Records of Williamson County, Texas, more specifically 220 W 4th Street, Suite 100, Taylor Texas 76574



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 14

Agenda Title: Consider Resolution R13-19 setting January 23, 2014 as the date for a Public Hearing regarding the proposed updated Roadway Impact Fees.

Council Action: Consider adoption of Resolution R13-19

Initiating Department: Planning and Development

Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

The purpose of this item is for the City Council to consider approving Resolution R13-19 to set the Public Hearing Date regarding the update to the Roadway impact fees. The proposed date is January 23, 2014.

Ms. Fishbeck will make a brief presentation to the Council regarding the proposed fees. Mr. Sledge will be available for questions regarding the related Impact Fee Capital Improvement Plan.

2. DESCRIPTION/ JUSTIFICATION

For the last 18 months or so, staff has been working on updating the Roadway Impact Fees. Impact Fees must be reviewed every five years. The current Roadway Impact fees were adopted in April of 2007.

As part of the process, Chapter 395 of the Local Government Code requires the City to set a public hearing date for the public review and comment of the proposed fees. This resolution must be adopted at least 30 days in advance of the hearing date. This resolution will set the date of January 23, 2014 for the Public Hearing.

With the update, the City proposes the creation of two service areas (roadway service areas) due to the growth of the City because of annexations. A Roadway Impact Fee Service Area cannot be larger than six miles (please see map in Attachment B Roadway Impact Fee Report Update). In the previous ordinance, the City only had one service area.

The current Roadway Impact fee is \$480 per land use equivalent (LUE).

At the Impact Fee Advisory Committee meeting (which is also the Planning and Zoning Commission), held on November 12, 2013, the Committee voted to recommend an effective fee of \$480 (no change) for Area One and an effective fee of \$318 (reduction) for Area Two.

As part of the process, we surveyed surrounding cities as well as cities with Roadway Impact Fees. There are no cities nearby that have adopted Roadway Impact fees, yet the total permit fees for the City of Taylor still rank the City toward the bottom of the chart as the least expensive. Please see the attached fee comparison report.

The law states that in the update, the City must identify a *maximum fee* based on a calculation that involves population growth, future land use assumptions, and needed capital improvements to support that population. The final adopted fee cannot be more than the maximum fee, but can be at any amount less than the maximum.

In Area One, the maximum fee is \$1004. In Area Two, the maximum fee is 318.

The public notice that will be published in advance of the public hearing will include the maximum fee, but that does not mean the City will adopt that fee, nor does the staff recommend that.

3. FINANCIAL/BUDGET

N/A

4. RECOMMENDATION

Approve Resolution R13-19 to set the Public Hearing Date for an update of roadway impact fees for January 23, 2014.

5. TIME LINE CONSIDERATIONS

The Resolution must be approved at least 30 days in advance of the Public Hearing.

6. REFERENCE FILES (Attachments)

14a [Resolution R13-19](#)

14b [Roadway Impact Fee Report Update](#)

14c [Development Fee](#) Comparison Report

14d [Roadway Impact Fee Powerpoint](#) Presentation from Rimrock Consulting

Resolution R13-19

**A RESOLUTION OF THE CITY OF TAYLOR, TEXAS
CALLING FOR A PUBLIC HEARING ON AMENDMENT
OF ROADWAY IMPACT FEES**

Whereas, the City Council of the City of Taylor, Texas hereby adopts by resolution a call for a public hearing to be held during the regular Council session on January 23, 2014 at 6:00 p.m. in the City Council Chambers at 400 Porter Street, Taylor, TX 76574. The purpose of this public hearing is to receive public comment concerning the amendment of land use assumptions and a capital improvements plan and the imposition of impact fees for roadways.

Public notice of such hearing will be made at least 30 days in advance of the hearing according to legal criteria set forth in Chapter 395.055 of the Texas Local Government Code.

PASSED AND APPROVED:

§
§
§
§

DATE: December 12, 2013

Jesse Ancira, Jr., Mayor

APPROVED: _____
Ted Hejl, City Attorney

ATTEST: _____
Susan Brock, City Secretary

RIMROCK

Consulting Company

ROADWAY IMPACT FEE UPDATE

City of Taylor, Texas



Rimrock Consulting Company
PO Box 163643
Austin, TX 78716
512-442-1435
rimrok@earthlink.net

ROADWAY IMPACT FEE UPDATE

City of Taylor, Texas



Prepared for:
City of Taylor
400 Porter Street
Taylor, TX 76574
(512) 352-3675

Prepared by:
Rimrock Consulting Company
PO Box 163643
Austin, TX 78716
512-442-1435

Contact: Mickey Fishbeck, AICP
rimrok@earthlink.net



November, 2013
© Rimrock Consulting Company, 2013



ROADWAY IMPACT FEE UPDATE

City of Taylor, Texas

1.0 INTRODUCTION

In 2007, Taylor adopted roadway impact fees under the requirements of Chapter 395 of the Texas Local Government Code. That Chapter requires that the City update its fee program at least every five years. This report presents the update study under that requirement.



2.0 TECHNICAL BASIS OF FEE CALCULATION

2.1 LAND USE AND PLANNING ASSUMPTIONS

2.1.1 Service Area Definition

According to Chapter 395 of the Texas Local Government Code, “the service area is limited to an area within the corporate boundaries of the political subdivision and shall not exceed six miles”. According to Sledge Engineering, the City’s consulting engineer, the entire 2007 corporate area of the City lay within a single six-mile service area, so there was a single service area for roadway impact fees comprised of the city limits of Taylor under that program.

However, since 2007 Taylor has had various annexations which now require that the City be divided into two service areas, as shown in *Figure 1*.

The service areas represent the general geographic basis for planning the roadway capital improvement programs, used to update the roadway impact fee.

2.1.2 Land Use Assumptions

Chapter 395 requires that the City project the land uses, population, densities and intensity of new development within the next 10 years. These are shown in *Table 1A* (Service Area 1) and *Table 1B* (Service Area 2).



Figure 1: Service Area Map

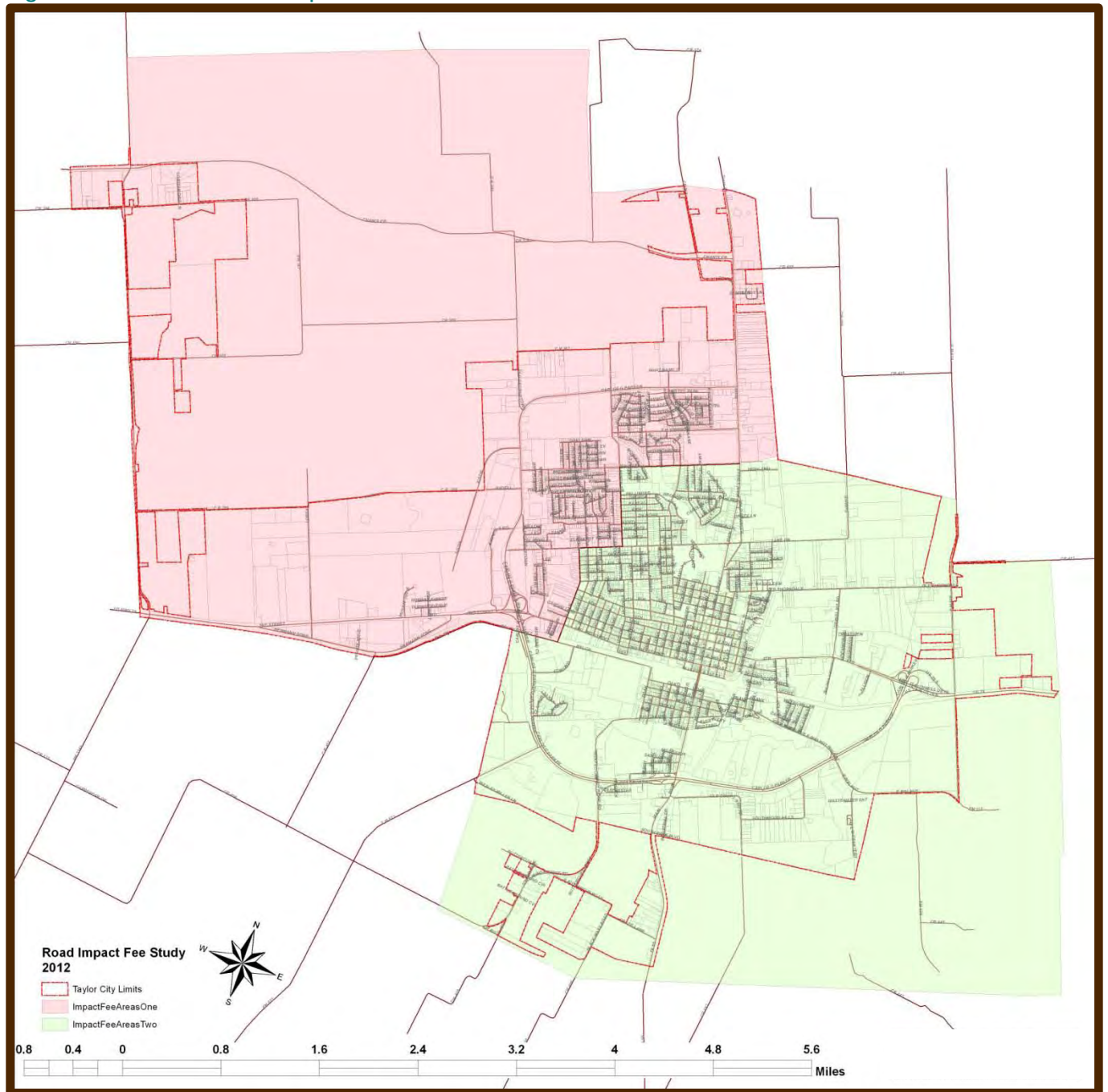




TABLE 1A
POPULATION AND LAND USE PROJECTIONS FOR THE CITY OF TAYLOR
Roadway Service Area 1

LAND USE	2013			2023			FULL BUILDOUT		
	ACRES	%	ACRES / 100 POP	ACRES	%	ACRES / 100 POP	ACRES	%	ACRES / 100 POP
<u>WITHIN CORPORATE LIMITS</u>									
Single-Family Residential	681.12	15.44%	11.68	1,000.89	22.68%	13.73	2,383.67	54.02%	13.73
Manufactured Homes	4.25	0.10%	0.07	4.25	0.10%	0.06	10.12	0.23%	0.06
Multi-Family Residential	27.27	0.62%	0.47	27.27	0.62%	0.37	64.95	1.47%	0.37
Parks and Open Space	91.29	2.07%	1.57	121.29	2.75%	1.66	288.86	6.55%	1.66
Public and Semi-Public	199.86	4.53%	3.43	199.86	4.53%	2.74	475.98	10.79%	2.74
Commercial	161.57	3.66%	2.77	161.57	3.66%	2.22	384.79	8.72%	2.22
Industrial	72.02	1.63%	1.23	72.02	1.63%	0.99	171.52	3.89%	0.99
Institutional	190.53	4.32%	3.27	265.53	6.02%	3.64	632.37	14.33%	3.64
Agriculture	2,969.58	67.30%	50.91	2,559.58	58.01%	35.11	0.00	0.00%	0.00
Vacant Lots	14.77	0.33%	0.25	0.00	0.00%	0.00	0.00	0.00%	0.00
Total Service Area	4,412.26	100.00%	75.64	4,412.26	100.00%	60.52	4,412.26	100.00%	25.41
CITY POPULATION	5,833			7,291			17,364		
Population per Developed Acres	4.04			3.94			3.94		
Population per Total Acres	1.32			1.65			3.94		

Sources: Area 1 Population (2013, 2023): City of Taylor Staff, 2013. 2013-2023 LAND USE ASSUMPTION TABLE 9-6-2013.xlsx.

Area 1 Population (Ultimate): Based on maximum carrying capacity of service area, with 2023 distribution of land uses per 100 population.



TABLE 1B
POPULATION AND LAND USE PROJECTIONS FOR THE CITY OF TAYLOR
Roadway Service Area 2

LAND USE	2013			2023			FULL BUILDOUT		
	ACRES	%	ACRES / 100 POP	ACRES	%	ACRES / 100 POP	ACRES	%	ACRES / 100 POP
WITHIN CORPORATE LIMITS									
Single-Family Residential	1,021.20	17.48%	10.15	1,500.20	25.67%	11.93	3,109.91	53.22%	11.93
Manufactured Homes	15.06	0.26%	0.15	15.06	0.26%	0.12	31.22	0.53%	0.12
Multi-Family Residential	48.77	0.83%	0.48	48.77	0.83%	0.39	101.10	1.73%	0.39
Parks and Open Space	236.77	4.05%	2.35	264.77	4.53%	2.11	548.87	9.39%	2.11
Public and Semi-Public	165.21	2.83%	1.64	235.21	4.03%	1.87	487.59	8.34%	1.87
Commercial	163.54	2.80%	1.63	163.54	2.80%	1.30	339.02	5.80%	1.30
Industrial	258.27	4.42%	2.57	258.27	4.42%	2.05	535.39	9.16%	2.05
Institutional	254.74	4.36%	2.53	329.74	5.64%	2.62	683.55	11.70%	2.62
Agriculture	3,588.42	61.41%	35.67	2,936.42	50.25%	23.35	0.00	0.00%	0.00
Vacant Buildings	6.43	0.11%	0.06	6.43	0.11%	0.05	6.43	0.11%	0.03
Vacant Lots	84.67	1.45%	0.84	84.67	1.45%	0.67	0.00	0.00%	0.00
Total Service Area	5,843.08	100.00%	58.08	5,843.08	100.00%	46.46	5,843.08	100.00%	22.41
CITY POPULATION									
	10,061			12,576			25,281		
Population per Developed Acres	4.46			4.33			4.33		
Population per Total Acres	1.72			2.15			4.33		

Sources: Area 1 Population (2013, 2023): City of Taylor Staff, 2013. 2013-2023 LAND USE ASSUMPTION TABLE 9-6-2013.xlsx.

Area 2 Population (Ultimate): Based on maximum carrying capacity of service area, with 2023 distribution of land uses per 100 population. (No change predicted in vacant buildings).

2.2 UNIT USAGE STATISTICS (Design Standards)

Chapter 395 also requires:

“a definitive table establishing the specific level or quantity of use, consumption, generation, or discharge of a service unit for each category of capital improvements or facility expansions”.

These figures constitute design standards and are shown in *Table 2*.



TABLE 2
ROADWAY IMPACT FEE STUDY
ASSUMPTIONS USED IN FEE CALCULATION

FACTOR	VALUE/RATIONALE
ROADWAY FEE ASSUMPTIONS:	
PM Peak Trips, based on ITE Trip Generation, 8th Edition:	
Single Family Residential	1.01 trips / dwelling unit
Multi-Family Residential	0.62 trips / dwelling unit
Commercial / Retail	3.74 trips / 1,000 sq. ft.
Industrial	0.98 trips / 1,000 sq. ft.
Prison	2.91 trips / 1,000 sq. ft.
Schools	0.2 trips / student
Trip Length	
Single Family Residential	4.8 miles / trip
Multi-Family Residential	4.8 miles / trip
Commercial / Retail	3.2 miles / trip
Industrial	5 miles / trip
Prison	4 miles / trip
Schools	2.1 miles / trip
Pass-By Traffic	
Commercial / Retail	30%
Vehicle-Miles:	
Single Family Residential	4.85 vehicle-miles per peak trip
Multi-Family Residential	2.98 vehicle-miles per peak trip
Commercial / Retail	8.38 vehicle-miles per peak trip
Industrial	4.90 vehicle-miles per peak trip
Prison	11.64 vehicle-miles per peak trip
Schools	0.42 vehicle-miles per peak trip

2.3 CAPITAL IMPROVEMENTS PROGRAM PLAN

2.3.1 Conversion Table

Chapter 395 requires a conversion table of service units (“an equivalency or conversion table establishing the ratio of a service unit to various types of land uses, including residential, commercial, and industrial” (Chapter 395.014(a)(4)). For roadways, one LUE is equivalent to one single-family residential dwelling unit. **Table 3** shows roadway LUE equivalencies for other types of land uses.



TABLE 3
ROADWAY LUE EQUIVALENCIES FOR VARIOUS LAND USES

LAND USE	UNIT	PM PEAK TRIPS / UNIT	TRIP LENGTH (Miles)	VEHICLE- MILES / UNIT	LUE EQUIVALENCY
Single Family Residential	Dwelling Unit	1.01	4.8	4.85	1.00
Multi-Family Residential	Dwelling Unit	0.62	4.8	2.98	0.61
Retail / Commercial	1000 Sq. Ft.	3.74	3.2	8.38	1.73
Industrial	1000 Sq. Ft.	0.98	5.0	4.90	1.01
Prison	1000 Sq. Ft.	2.91	4.0	11.64	2.40
Schools	Student	0.20	2.1	0.42	0.09

Source: Sledge Engineering, 2006.

2.3.2 Projected Service Units for New Development

Section 395.014 requires the City to show:

“the total number of projected service units necessitated by and attributable to new development within the service area based on the approved land use assumptions and calculated in accordance with generally accepted engineering or planning criteria; and . . . the projected demand for capital improvements or facility expansions required by new service units projected over a reasonable period of time, not to exceed 10 years.” (Chapter 395.014 (a)(5), (6))

Table 4A and **Table 4B** show the number of vehicle-miles generated by current development, and projected vehicle-miles for 2023 and for ultimate buildout. The tables also show the number of roadway LUE's, by land use type, for the same periods.

2.3.3 CIP Development for Existing and Future Needs

The City's engineer was required to perform an inventory of existing and future utility facilities, including facility description, cost, total capacity, capacity needed by existing users, capacity needed by users within the next ten years, and remaining capacity. (Chapter 395.014 (a)(1-3). Impact fees are calculated based on the cost of facilities required to serve new development within the next ten years only.



TABLE 4A
ESTIMATED SERVICE DEMAND AND LUE'S FOR VARIOUS LAND USES
Roadway Service Area 1

LAND USE	DEMAND		
	2013	2023	ULTIMATE
SINGLE FAMILY RESIDENTIAL			
Dwelling Units	1,913	2,391	5,695
Vehicle-Miles / Dwelling Unit	4.85	4.85	4.85
Vehicle-Miles of Demand	9,274	11,592	27,608
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	1,912	2,390	5,692
MULTI-FAMILY RESIDENTIAL			
Dwelling Units	267	334	795
Vehicle-Miles / Dwelling Unit	2.98	2.98	2.98
Vehicle-Miles of Demand	795	993	2,365
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	164	205	488
RETAIL / COMMERCIAL			
1000 sq. ft.	1,652	2,065	4,919
Vehicle-Miles / 1000 sq. ft.	8.38	8.38	8.38
Vehicle-Miles of Demand	13,843	17,303	41,208
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's before Pass-through Adjustment	2,854	3,568	8,497
Less pass-through traffic (30%)	856	1,070	2,549
Subtotal LUE's	1,998	2,497	5,948
INDUSTRIAL			
1000 sq. ft.	574	718	1,710
Vehicle-Miles / 1000 sq. ft.	4.90	4.90	4.90
Vehicle-Miles of Demand	2,814	3,518	8,377
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	580	725	1,727
PRISON			
1000 sq. ft.	0	0	0
Vehicle-Miles / 1000 sq. ft.	11.64	11.64	11.64
Vehicle-Miles of Demand	0	0	0
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	0	0	0
SCHOOL			
Students	1,172	1,465	3,489
Vehicle-Miles / student	0.42	0.42	0.42
Vehicle-Miles of Demand	492	615	1,465
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	101	127	302
TOTALS			
Vehicle-Miles of Demand	27,218	34,021	81,024
LUE's	4,756	5,944	14,157

Source: City of Taylor, 2013, ROADWAYFEEDATA2013.xlsx, with adjustments by Sledge Engineering, 7/11/13.



TABLE 4B
ESTIMATED SERVICE DEMAND AND LUE'S FOR VARIOUS LAND USES
Roadway Service Area 2

LAND USE	DEMAND		
	2013	2023	ULTIMATE
SINGLE FAMILY RESIDENTIAL			
Dwelling Units	3,213 ⁺	4,016	8,074
Vehicle-Miles / Dwelling Unit	4.85	4.85	4.85
Vehicle-Miles of Demand	15,577	19,470	39,141
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	3,212	4,015	8,070
MULTI-FAMILY RESIDENTIAL			
Dwelling Units	747 ⁺	934	1,877
Vehicle-Miles / Dwelling Unit	2.98	2.98	2.98
Vehicle-Miles of Demand	2,223	2,779	5,586
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	458	573	1,152
RETAIL / COMMERCIAL			
1000 sq. ft.	2,668	3,335	6,704
Vehicle-Miles / 1000 sq. ft.	8.38	8.38	8.38
Vehicle-Miles of Demand	22,350	27,937	56,161
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	4,608	5,760	11,580
Less pass-through traffic (30%)	1,382	1,728	3,474
Subtotal LUE's	3,226	4,032	8,106
INDUSTRIAL			
1000 sq. ft.	1,768	2,209	4,442
Vehicle-Miles / 1000 sq. ft.	4.90	4.90	4.90
Vehicle-Miles of Demand	8,661	10,826	21,764
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	1,786	2,232	4,487
PRISON			
1000 sq. ft.	118	118	118
Vehicle-Miles / 1000 sq. ft.	11.64	11.64	11.64
Vehicle-Miles of Demand	1,374 ⁺	1,374 ⁺	1,374
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	283	283	283
SCHOOL			
Students	2,028 ⁺	2,535	5,096
Vehicle-Miles / student	0.42	0.42	0.42
Vehicle-Miles of Demand	852 ⁺	1,065 ⁺	2,140
Vehicle-Miles per LUE	4.85	4.85	4.85
Subtotal LUE's	176	220	441
TOTALS			
Vehicle-Miles of Demand	51,036	63,451	126,165
LUE's	9,140	11,355	22,540

Source: City of Taylor, 2013, ROADWAYFEEDATA2013.xlsx, with adjustments by Sledge Engineering, 7/11/13.



Given the demand projections in [Tables 4A](#) and [4B](#), a capital improvements plan (CIP) was developed for the roadway system in each service area, including only future facilities. No existing facilities, retrofit and upgrade facilities were included, thus producing a conservative cost figure for the feepayers which does not include the costs of the existing road network.

Then, as required by Chapter 395, the needs of existing users were separated from those of users in the next ten years, and costs were weighted according. In Area 1, 33.6% of the future roadway system will be utilized by existing users, with an additional 8.4% needed by 2013-2023 growth. For Area 2, existing users will use 40.6% of future roadways, with the next ten years' of growth using 9.8%. The remainder, 58% for Area 1 and 49.6% for Area 2, will be used by growth after 2023.

These results are shown in [Table 5A](#) for Area 1 and in [Table 5B](#) for Area 2.

As shown in the tables, the total cost of future roadways, per LUE, is \$1,996.00 for Area 1. Under Chapter 395, study costs can be added to the cost basis; with study costs added, the total cost for Area 1 is \$2,008.57 per LUE. Total capital cost for Area 2 is \$629.29; when study costs are included, the total cost is \$636.04 per LUE.

TABLE 5A
CIP INVENTORY AND COSTING
Roadway Service Area 1

FACILITY TYPE / NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LUE
MAJOR ARTERIALS							
Future Facilities			%				
Chandler Rd (Main St to west widening to 4 lane)	\$1,181,258	100.00%	33.59%	8.40%	58.01%	\$99,186	
Chandler Rd (Main St intersection improvements)	\$180,000	100.00%	33.59%	8.40%	58.01%	\$15,114	
Carlos G Parker Blvd N (2nd St to Old Georgetown Rd; widening to 4 lane)	\$2,756,270	100.00%	33.59%	8.40%	58.01%	\$231,435	
Old Georgetown Rd (CGP - N to City limits; widening to	\$935,163	100.00%	33.59%	8.40%	58.01%	\$78,523	
CR 101 (US 79 to CR 394 within City limits; widening to Carlos G Parker Blvd NW - CR 366 (CR 366	\$5,163,412	100.00%	33.59%	8.40%	58.01%	\$433,555	
realignment, signal, turn lanes)	\$1,050,007	100.00%	33.59%	8.40%	58.01%	\$88,166	
Carlos G Parker Blvd NW - CR 366 (Intersection improv	\$130,000	100.00%	33.59%	8.40%	58.01%	\$10,916	
Carlos G Parker Blvd NW - Mallard Ln (Mallard Ln signal, turn lanes intersection)	\$250,000	100.00%	33.59%	8.40%	58.01%	\$20,992	
Carlos G Parker Blvd NW - Lake Dr (Lake Dr signal, turn lanes intersection)	\$250,000	100.00%	33.59%	8.40%	58.01%	\$20,992	
Chandler Road (Main St to west 2 lane)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Old Georgetown Rd (CGP - N to City limits, 2 lane)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
US 79 (W City limit E to Carlos G Parker (CGP))	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
CR 101 (US 79 to CR 394 within City limits, 2 lane)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Carlos G Parker Blvd N (Welch St north to City limit)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Main St (Mallard Ln north to City limits)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TOTAL MAJOR ARTERIALS	\$11,896,110	100.00%	33.59%	8.40%	58.01%	\$998,879	\$840.29
MINOR ARTERIALS							
Future Facilities			%				
Lorax Ln (From US 79 to CR 398 widening to 4 lane)	\$1,338,760	100.00%	33.59%	8.40%	58.01%	\$112,411	
CR 395 / CR 398 (CR 101 to Justin Ln widening to 4 lan	\$789,606	100.00%	33.59%	8.40%	58.01%	\$66,301	
Justin Ln (CR 398 to CGP widening to 4 lane)	\$779,631	100.00%	33.59%	8.40%	58.01%	\$65,463	
CGP N Sidewalk (CR 366 to Main St)	\$207,415	100.00%	33.59%	8.40%	58.01%	\$17,416	
Carlos G Parker Blvd NE - Extension (Main St E to FM 6	\$4,911,410	100.00%	33.59%	8.40%	58.01%	\$412,396	
Carlos G Parker Blvd NE - RR grade crossing (Main St E to FM 619)	\$2,100,000	100.00%	33.59%	8.40%	58.01%	\$176,330	
Main St Sidewalk (Mallard north to City limits)	\$285,160	100.00%	33.59%	8.40%	58.01%	\$23,944	
Main St - TH Johnson Dr Intersection improvements (TH Johnson Dr signal, turn lane)	\$120,000	100.00%	33.59%	8.40%	58.01%	\$10,076	
Lorax Ln (US 79 to CR 398)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Justin Ln (CR 398 to CGP)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
West 2nd St (CGP to Sloan St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Main St (Mallard Ln north to City limits)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
CGP Blvd (CGP (CR 366) to Main St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TOTAL MINOR ARTERIALS	\$10,531,982	100.00%	33.59%	8.40%	58.01%	\$884,337	\$743.94

TABLE 5A
CIP INVENTORY AND COSTING
Roadway Service Area 1

FACILITY TYPE / NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LUE
<u>COLLECTORS</u>							
Future Facilities							
			%				
Justin Ln (US 79 to existing Justin Ln)	\$590,629	100.00%	33.59%	8.40%	58.01%	\$49,593	
Justin Ln (bridge)	\$1,340,000	100.00%	33.59%	8.40%	58.01%	\$112,516	
Northpark Blvd (CGP-N to City limits (TRPSC Rd))	\$1,214,071	100.00%	33.59%	8.40%	58.01%	\$101,942	
CR 394 / CR 368 east-west (north-south portion CR 368 to west city limits, widening and sidewalk improvements, intersection improvements	\$1,230,149	100.00%	33.59%	8.40%	58.01%	\$103,292	
Meadow Ln - Lake Dr intersection improvements (Lake Dr turn lanes)	\$180,000	100.00%	33.59%	8.40%	58.01%	\$15,114	
Meadow Ln - Mallard Ln intersection improvements	\$160,000	100.00%	33.59%	8.40%	58.01%	\$13,435	
Meadow Ln Sidewalks (alke Dr to Boyer Ln)	\$48,816	100.00%	33.59%	8.40%	58.01%	\$4,099	
North Dr (CGP-N to CR 367)	\$616,223	100.00%	33.59%	8.40%	58.01%	\$51,742	
Mallard Ln Sidewalk (CGP-W to Main St)	\$175,001	100.00%	33.59%	8.40%	58.01%	\$14,694	
TH Johnson Dr Sidewalk (North to Main St)	\$99,474	100.00%	33.59%	8.40%	58.01%	\$8,353	
Lake Dr Sidewalk (CGP-W to North Dr)	\$175,001	100.00%	33.59%	8.40%	58.01%	\$14,694	
Justin Ln (US 79 to City limit)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Sloan St (2nd St to Lake Dr)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Meadow Ln (Lake Dr. to Oaklawn)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
North Dr (Lake Dr to CGP)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
North Dr (CGP to CR 367)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Mallard Ln (CGP to Main St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TH Johnson (North to Main St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Northpark Blvd (TH Johnson to CGP)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
West Lake Dr (CGP to North Dr)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TOTAL COLLECTORS	\$5,829,364	100.00%	33.59%	8.40%	58.01%	\$489,473	\$411.76
ROADWAYS CONSTRUCTION COST TOTAL		\$28,257,456				\$2,372,689	\$1,996.00

Source: Sledge Engineering, 2013, Thoroughfare Impact Fee CIP 2013 SEv3.xls.

TABLE 5B
CIP INVENTORY AND COSTING
Roadway Service Area 2

FACILITY TYPE / NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LUE
<u>MAJOR ARTERIALS</u>							
Future Facilities			%				
Carlos G Parker Blvd S (Welch St to east City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
FM 973 (Carlos G Parker S to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Main St (Mallard Ln south to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
TOTAL MAJOR ARTERIALS		\$0	100.00%	40.55%	9.82%	49.62%	\$0 \$0.00
<u>MINOR ARTERIALS</u>							
Future Facilities							
Windy Ridge (CGP to south, widening to 4 lane)	\$2,399,530	100.00%	40.55%	9.82%	49.62%	\$235,710	
Wesley Miller Lane (East of FM 973 to Windy Ridge)	\$1,890,013	100.00%	40.55%	9.82%	49.62%	\$185,660	
TCAT Road (west of Windy Ridge) (CGP to south City li	\$1,260,009	100.00%	40.55%	9.82%	49.62%	\$123,773	
Main St Sidewalk - Area 2 (Mallard south to City limits)	\$495,604	100.00%	40.55%	9.82%	49.62%	\$48,684	
Main St - Dahlberg Bvd Intersection Improvements (Dahlberg Blvd signal / turn lanes)	\$160,000	100.00%	40.55%	9.82%	49.62%	\$15,717	
E 4th St Sidewalk (Washburn St to Mariposa Lane)	\$127,106	100.00%	40.55%	9.82%	49.62%	\$12,486	
Gravel Pit Rd (4th St to north City limits)	\$4,200,030	100.00%	40.55%	9.82%	49.62%	\$412,577	
Windy Ridge (CGP to south, 2 lane)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Wesley Miller Lane (FM 973 to east)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
West 2nd St (Sloan St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Main St (Mallard south to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
East 4th Street (Main St E to CGP)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Gravel Pit Rd (CR 409) (East 4th St N to City limit)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Windy Ridge (CR405) (CGP S to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
TOTAL MINOR ARTERIALS		\$10,532,292	100.00%	40.55%	9.82%	49.62%	\$1,034,607 \$467.28

TABLE 5B
CIP INVENTORY AND COSTING
Roadway Service Area 2

FACILITY TYPE / NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LUE
COLLECTORS							
Future Facilities							
S Doak St SW (Welch to Rio Grande)	\$41,171	100.00%	40.55%	9.82%	49.62%	\$4,044	
Rio Grande St (CGP-S to S Doak)	\$1,312,509	100.00%	40.55%	9.82%	49.62%	\$128,930	
Rio Grande St (Bridge)	\$1,900,000	100.00%	40.55%	9.82%	49.62%	\$186,641	
4th St Sidewalk (Sloan St to Main St)	\$112,369	100.00%	40.55%	9.82%	49.62%	\$11,038	
7th St Sidewalk(Sloan St to Main St)	\$110,527	100.00%	40.55%	9.82%	49.62%	\$10,857	
Lake Dr Sidewalk (North Dr to Main St)	\$175,001	100.00%	40.55%	9.82%	49.62%	\$17,191	
South Edmond St (CGP to Welch)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Welch St (South Edmond to Doak St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Doak St (Welch St to Rio Grande St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Rio Grande St (S Doak St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Howard (2nd St to Lake Dr)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Davis (2nd St to Mallard)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
4th St (Sloan St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
7th St (Sloan St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
West Lake Dr (North Dr to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
East Lake Dr (Main St to Gravel Pit Rd)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Old Thorndale Rd (Porter St to FM619)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
East Walnut St (Main St to City limit)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Southwood Hills Dr (Main St to Old Coupland Rd)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Old Coupland Road (Southwood Hills to City limit)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
TOTAL COLLECTORS	\$3,651,577	100.00%	40.55%	9.82%	49.62%	\$358,701	\$162.01
ROADWAYS CONSTRUCTION COST TOTAL	\$14,183,889					\$1,395,308	\$629.29

Source: Sledge Engineering, 2013, Thoroughfare Impact Fee CIP 2013 SEv3.xls.



3.0 RATE CREDITS AND MAXIMUM FEE CALCULATION

Chapter 395 states that the maximum fee amount may not exceed the full capital cost per unit. The statute also requires:

“a credit for the portion of ad valorem tax and utility service revenues generated by new service units during the program period that is used for the payment of improvements, including the payment of debt, that are included in the capital improvements plan; or in the alternative, a credit equal to 50 percent of the total projected cost of implementing the capital improvements plan.”

Because of the need for develop extensive data for crediting future ad valorem and other taxes, the City chose to use the more straightforward 50%-credit option. Accordingly, the maximum allowable fee for roadways in Area 1 is \$1,004.29, and in Area 2 the maximum allowable fee is \$318.02.



4.0 CHAPTER 395 OF THE TEXAS LOCAL GOVERNMENT CODE

CHAPTER 395. FINANCING CAPITAL IMPROVEMENTS REQUIRED BY NEW DEVELOPMENT IN MUNICIPALITIES, COUNTIES, AND CERTAIN OTHER LOCAL GOVERNMENTS

SUBCHAPTER A. GENERAL PROVISIONS

§ 395.001. Definitions

In this chapter:

(1) "Capital improvement" means any of the following facilities that have a life expectancy of three or more years and are owned and operated by or on behalf of a political subdivision:

(A) water supply, treatment, and distribution facilities; wastewater collection and treatment facilities; and storm water, drainage, and flood control facilities; whether or not they are located within the service area; and

(B) roadway facilities.

(2) "Capital improvements plan" means a plan required by this chapter that identifies capital improvements or facility expansions for which impact fees may be assessed.

(3) "Facility expansion" means the expansion of the capacity of an existing facility that serves the same function as an otherwise necessary new capital improvement, in order that the existing facility may serve new development. The term does not include the repair, maintenance, modernization, or expansion of an existing facility to better serve existing development.

(4) "Impact fee" means a charge or assessment imposed by a political subdivision against new development in order to generate revenue for funding or recouping the costs of capital improvements or facility expansions necessitated by and attributable to the new development. The term includes amortized charges, lump-sum charges, capital recovery fees, contributions in aid of construction, and any other fee that functions as described by this definition. The term does not include:

(A) dedication of land for public parks or payment in lieu of the dedication to serve park needs;



(B) dedication of rights-of-way or easements or construction or dedication of on-site or off-site water distribution, wastewater collection or drainage facilities, or streets, sidewalks, or curbs if the dedication or construction is required by a valid ordinance and is necessitated by and attributable to the new development;

(C) lot or acreage fees to be placed in trust funds for the purpose of reimbursing developers for oversizing or constructing water or sewer mains or lines; or

(D) other pro rata fees for reimbursement of water or sewer mains or lines extended by the political subdivision.

However, an item included in the capital improvements plan may not be required to be constructed except in accordance with Section 395.019(2), and an owner may not be required to construct or dedicate facilities and to pay impact fees for those facilities.

(5) "Land use assumptions" includes a description of the service area and projections of changes in land uses, densities, intensities, and population in the service area over at least a 10-year period.

(6) "New development" means the subdivision of land; the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land; any of which increases the number of service units.

(7) "Political subdivision" means a municipality, a district or authority created under Article III, Section 52, or Article XVI, Section 59, of the Texas Constitution, or, for the purposes set forth by Section 395.079, certain counties described by that section.

(8) "Roadway facilities" means arterial or collector streets or roads that have been designated on an officially adopted roadway plan of the political subdivision, together with all necessary appurtenances. The term includes the political subdivision's share of costs for roadways and associated improvements designated on the federal or Texas highway system, including local matching funds and costs related to utility line relocation and the establishment of curbs, gutters, sidewalks, drainage appurtenances, and rights-of-way.

(9) "Service area" means the area within the corporate boundaries or extraterritorial jurisdiction, as determined under Chapter 42, of the political subdivision to be served by the capital improvements or facilities expansions specified in the capital improvements plan, except roadway facilities and storm water, drainage, and flood control facilities. The service area, for the purposes of this chapter, may



include all or part of the land within the political subdivision or its extraterritorial jurisdiction, except for roadway facilities and storm water, drainage, and flood control facilities. For roadway facilities, the service area is limited to an area within the corporate boundaries of the political subdivision and shall not exceed six miles. For storm water, drainage, and flood control facilities, the service area may include all or part of the land within the political subdivision or its extraterritorial jurisdiction, but shall not exceed the area actually served by the storm water, drainage, and flood control facilities designated in the capital improvements plan and shall not extend across watershed boundaries.

(10) "Service unit" means a standardized measure of consumption, use, generation, or discharge attributable to an individual unit of development calculated in accordance with generally accepted engineering or planning standards and based on historical data and trends applicable to the political subdivision in which the individual unit of development is located during the previous 10 years.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989. Amended by Acts 1989, 71st Leg., ch. 566, § 1(e), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 1, eff. Sept. 1, 2001.

SUBCHAPTER B. AUTHORIZATION OF IMPACT FEE

§ 395.011. Authorization of Fee

(a) Unless otherwise specifically authorized by state law or this chapter, a governmental entity or political subdivision may not enact or impose an impact fee.

(b) Political subdivisions may enact or impose impact fees on land within their corporate boundaries or extraterritorial jurisdictions only by complying with this chapter, except that impact fees may not be enacted or imposed in the extraterritorial jurisdiction for roadway facilities.

(c) A municipality may contract to provide capital improvements, except roadway facilities, to an area outside its corporate boundaries and extraterritorial jurisdiction and may charge an impact fee under the contract, but if an impact fee is charged in that area, the municipality must comply with this chapter.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.



§ 395.012. Items Payable by Fee

(a) An impact fee may be imposed only to pay the costs of constructing capital improvements or facility expansions, including and limited to the:

(1) construction contract price;

(2) surveying and engineering fees;

(3) land acquisition costs, including land purchases, court awards and costs, attorney's fees, and expert witness fees; and

(4) fees actually paid or contracted to be paid to an independent qualified engineer or financial consultant preparing or updating the capital improvements plan who is not an employee of the political subdivision.

(b) Projected interest charges and other finance costs may be included in determining the amount of impact fees only if the impact fees are used for the payment of principal and interest on bonds, notes, or other obligations issued by or on behalf of the political subdivision to finance the capital improvements or facility expansions identified in the capital improvements plan and are not used to reimburse bond funds expended for facilities that are not identified in the capital improvements plan.

(c) Notwithstanding any other provision of this chapter, the Edwards Underground Water District or a river authority that is authorized elsewhere by state law to charge fees that function as impact fees may use impact fees to pay a staff engineer who prepares or updates a capital improvements plan under this chapter.

(d) A municipality may pledge an impact fee as security for the payment of debt service on a bond, note, or other obligation issued to finance a capital improvement or public facility expansion if:

(1) the improvement or expansion is identified in a capital improvements plan; and

(2) at the time of the pledge, the governing body of the municipality certifies in a written order, ordinance, or resolution that none of the impact fee will be used or expended for an improvement or expansion not identified in the plan.



(e) A certification under Subsection (d)(2) is sufficient evidence that an impact fee pledged will not be used or expended for an improvement or expansion that is not identified in the capital improvements plan.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989. Amended by Acts 1995, 74th Leg., ch. 90, § 1, eff. May 16, 1995.

§ 395.013. Items Not Payable by Fee

Impact fees may not be adopted or used to pay for:

(1) construction, acquisition, or expansion of public facilities or assets other than capital improvements or facility expansions identified in the capital improvements plan;

(2) repair, operation, or maintenance of existing or new capital improvements or facility expansions;

(3) upgrading, updating, expanding, or replacing existing capital improvements to serve existing development in order to meet stricter safety, efficiency, environmental, or regulatory standards;

(4) upgrading, updating, expanding, or replacing existing capital improvements to provide better service to existing development;

(5) administrative and operating costs of the political subdivision, except the Edwards Underground Water District or a river authority that is authorized elsewhere by state law to charge fees that function as impact fees may use impact fees to pay its administrative and operating costs;

(6) principal payments and interest or other finance charges on bonds or other indebtedness, except as allowed by Section 395.012.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.



§ 395.014. Capital Improvements Plan

(a) The political subdivision shall use qualified professionals to prepare the capital improvements plan and to calculate the impact fee. The capital improvements plan must contain specific enumeration of the following items:

(1) a description of the existing capital improvements within the service area and the costs to upgrade, update, improve, expand, or replace the improvements to meet existing needs and usage and stricter safety, efficiency, environmental, or regulatory standards, which shall be prepared by a qualified professional engineer licensed to perform the professional engineering services in this state;

(2) an analysis of the total capacity, the level of current usage, and commitments for usage of capacity of the existing capital improvements, which shall be prepared by a qualified professional engineer licensed to perform the professional engineering services in this state;

(3) a description of all or the parts of the capital improvements or facility expansions and their costs necessitated by and attributable to new development in the service area based on the approved land use assumptions, which shall be prepared by a qualified professional engineer licensed to perform the professional engineering services in this state;

(4) a definitive table establishing the specific level or quantity of use, consumption, generation, or discharge of a service unit for each category of capital improvements or facility expansions and an equivalency or conversion table establishing the ratio of a service unit to various types of land uses, including residential, commercial, and industrial;

(5) the total number of projected service units necessitated by and attributable to new development within the service area based on the approved land use assumptions and calculated in accordance with generally accepted engineering or planning criteria;

(6) the projected demand for capital improvements or facility expansions required by new service units projected over a reasonable period of time, not to exceed 10 years; and

(7) a plan for awarding:

(A) a credit for the portion of ad valorem tax and utility service revenues generated by new service units during the program period that is used for the payment of improvements, including the payment of debt, that are included in the capital improvements plan; or



(B) in the alternative, a credit equal to 50 percent of the total projected cost of implementing the capital improvements plan.

(b) The analysis required by Subsection (a)(3) may be prepared on a systemwide basis within the service area for each major category of capital improvement or facility expansion for the designated service area.

(c) The governing body of the political subdivision is responsible for supervising the implementation of the capital improvements plan in a timely manner.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 2, eff. Sept. 1, 2001.

§ 395.015. Maximum Fee Per Service Unit

(a) The impact fee per service unit may not exceed the amount determined by subtracting the amount in Section 395.014(a)(7) from the costs of the capital improvements described by Section 395.014(a)(3) and dividing that amount by the total number of projected service units described by Section 395.014(a)(5).

(b) If the number of new service units projected over a reasonable period of time is less than the total number of new service units shown by the approved land use assumptions at full development of the service area, the maximum impact fee per service unit shall be calculated by dividing the costs of the part of the capital improvements necessitated by and attributable to projected new service units described by Section 395.014(a)(6) by the projected new service units described in that section.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 3, eff. Sept. 1, 2001.

§ 395.016. Time for Assessment and Collection of Fee

(a) This subsection applies only to impact fees adopted and land platted before June 20, 1987. For land that has been platted in accordance with Subchapter A, Chapter 212, or the subdivision or platting procedures of a political subdivision before June 20, 1987, or land on which new development occurs or is proposed without platting, the political subdivision may assess the impact fees at any time



during the development approval and building process. Except as provided by Section 395.019, the political subdivision may collect the fees at either the time of recordation of the subdivision plat or connection to the political subdivision's water or sewer system or at the time the political subdivision issues either the building permit or the certificate of occupancy.

(b) This subsection applies only to impact fees adopted before June 20, 1987, and land platted after that date. For new development which is platted in accordance with Subchapter A, Chapter 212, or the subdivision or platting procedures of a political subdivision after June 20, 1987, the political subdivision may assess the impact fees before or at the time of recordation. Except as provided by Section 395.019, the political subdivision may collect the fees at either the time of recordation of the subdivision plat or connection to the political subdivision's water or sewer system or at the time the political subdivision issues either the building permit or the certificate of occupancy.

(c) This subsection applies only to impact fees adopted after June 20, 1987. For new development which is platted in accordance with Subchapter A, Chapter 212, or the subdivision or platting procedures of a political subdivision before the adoption of an impact fee, an impact fee may not be collected on any service unit for which a valid building permit is issued within one year after the date of adoption of the impact fee.

(d) This subsection applies only to land platted in accordance with Subchapter A, Chapter 212, or the subdivision or platting procedures of a political subdivision after adoption of an impact fee adopted after June 20, 1987. The political subdivision shall assess the impact fees before or at the time of recordation of a subdivision plat or other plat under Subchapter A, Chapter 212, or the subdivision or platting ordinance or procedures of any political subdivision in the official records of the county clerk of the county in which the tract is located. Except as provided by Section 395.019, if the political subdivision has water and wastewater capacity available:

(1) the political subdivision shall collect the fees at the time the political subdivision issues a building permit;

(2) for land platted outside the corporate boundaries of a municipality, the municipality shall collect the fees at the time an application for an individual meter connection to the municipality's water or wastewater system is filed; or

(3) a political subdivision that lacks authority to issue building permits in the area where the impact fee applies shall collect the fees at the time an application is filed for an individual meter connection to the political subdivision's water or wastewater system.



(e) For land on which new development occurs or is proposed to occur without platting, the political subdivision may assess the impact fees at any time during the development and building process and may collect the fees at either the time of recordation of the subdivision plat or connection to the political subdivision's water or sewer system or at the time the political subdivision issues either the building permit or the certificate of occupancy.

(f) An "assessment" means a determination of the amount of the impact fee in effect on the date of occurrence provided in this section and is the maximum amount that can be charged per service unit of such development. No specific act by the political subdivision is required.

(g) Notwithstanding Subsections (a)–(e) and Section 395.017, the political subdivision may reduce or waive an impact fee for any service unit that would qualify as affordable housing under 42 U.S.C. Section 12745, as amended, once the service unit is constructed. If affordable housing as defined by 42 U.S.C. Section 12745, as amended, is not constructed, the political subdivision may reverse its decision to waive or reduce the impact fee, and the political subdivision may assess an impact fee at any time during the development approval or building process or after the building process if an impact fee was not already assessed.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989. Amended by Acts 1997, 75th Leg., ch. 980, § 52, eff. Sept. 1, 1997.

Amended by Acts 2001, 77th Leg., ch. 345, § 4, eff. Sept. 1, 2001.

§ 395.017. Additional Fee Prohibited; Exception

After assessment of the impact fees attributable to the new development or execution of an agreement for payment of impact fees, additional impact fees or increases in fees may not be assessed against the tract for any reason unless the number of service units to be developed on the tract increases. In the event of the increase in the number of service units, the impact fees to be imposed are limited to the amount attributable to the additional service units.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.



§ 395.018. Agreement With Owner Regarding Payment

A political subdivision is authorized to enter into an agreement with the owner of a tract of land for which the plat has been recorded providing for the time and method of payment of the impact fees.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.019. Collection of Fees if Services Not Available

Except for roadway facilities, impact fees may be assessed but may not be collected in areas where services are not currently available unless:

(1) the collection is made to pay for a capital improvement or facility expansion that has been identified in the capital improvements plan and the political subdivision commits to commence construction within two years, under duly awarded and executed contracts or commitments of staff time covering substantially all of the work required to provide service, and to have the service available within a reasonable period of time considering the type of capital improvement or facility expansion to be constructed, but in no event longer than five years;

(2) the political subdivision agrees that the owner of a new development may construct or finance the capital improvements or facility expansions and agrees that the costs incurred or funds advanced will be credited against the impact fees otherwise due from the new development or agrees to reimburse the owner for such costs from impact fees paid from other new developments that will use such capital improvements or facility expansions, which fees shall be collected and reimbursed to the owner at the time the other new development records its plat; or

(3) an owner voluntarily requests the political subdivision to reserve capacity to serve future development, and the political subdivision and owner enter into a valid written agreement.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.020. Entitlement to Services

Any new development for which an impact fee has been paid is entitled to the permanent use and benefit of the services for which the fee was exacted and is entitled to receive immediate service



from any existing facilities with actual capacity to serve the new service units, subject to compliance with other valid regulations.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.021. Authority of Political Subdivisions to Spend Funds to Reduce Fees

Political subdivisions may spend funds from any lawful source to pay for all or a part of the capital improvements or facility expansions to reduce the amount of impact fees.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.022. Authority of Political Subdivision to Pay Fees

(a) Political subdivisions and other governmental entities may pay impact fees imposed under this chapter.

(b) A school district is not required to pay impact fees imposed under this chapter unless the board of trustees of the district consents to the payment of the fees by entering a contract with the political subdivision that imposes the fees. The contract may contain terms the board of trustees considers advisable to provide for the payment of the fees.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2007, 80th Leg., eff. May 11, 2007.

§ 395.023. Credits Against Roadway Facilities Fees

Any construction of, contributions to, or dedications of off-site roadway facilities agreed to or required by a political subdivision as a condition of development approval shall be credited against roadway facilities impact fees otherwise due from the development.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.



§ 395.024. Accounting For Fees and Interest

(a) The order, ordinance, or resolution levying an impact fee must provide that all funds collected through the adoption of an impact fee shall be deposited in interest-bearing accounts clearly identifying the category of capital improvements or facility expansions within the service area for which the fee was adopted.

(b) Interest earned on impact fees is considered funds of the account on which it is earned and is subject to all restrictions placed on use of impact fees under this chapter.

(c) Impact fee funds may be spent only for the purposes for which the impact fee was imposed as shown by the capital improvements plan and as authorized by this chapter.

(d) The records of the accounts into which impact fees are deposited shall be open for public inspection and copying during ordinary business hours.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.025. Refunds

(a) On the request of an owner of the property on which an impact fee has been paid, the political subdivision shall refund the impact fee if existing facilities are available and service is denied or the political subdivision has, after collecting the fee when service was not available, failed to commence construction within two years or service is not available within a reasonable period considering the type of capital improvement or facility expansion to be constructed, but in no event later than five years from the date of payment under Section 395.019(1).

(b) Repealed by Acts 2001, 77th Leg., ch. 345, § 9, eff. Sept. 1, 2001.

(c) The political subdivision shall refund any impact fee or part of it that is not spent as authorized by this chapter within 10 years after the date of payment.

(d) Any refund shall bear interest calculated from the date of collection to the date of refund at the statutory rate as set forth in Section 302.002, Finance Code, or its successor statute.



(e) All refunds shall be made to the record owner of the property at the time the refund is paid. However, if the impact fees were paid by another political subdivision or governmental entity, payment shall be made to the political subdivision or governmental entity.

(f) The owner of the property on which an impact fee has been paid or another political subdivision or governmental entity that paid the impact fee has standing to sue for a refund under this section.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989. Amended by Acts 1997, 75th Leg., ch. 1396, § 37, eff. Sept. 1, 1997.

Amended by Acts 1999, 76th Leg., ch. 62, § 7.82, eff. Sept. 1, 1999; Acts 2001, 77th Leg., ch. 345, § 9, eff. Sept. 1, 2001.

SUBCHAPTER C. PROCEDURES FOR ADOPTION OF IMPACT FEE

§ 395.041. Compliance With Procedures Required

Except as otherwise provided by this chapter, a political subdivision must comply with this subchapter to levy an impact fee.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.0411. Capital Improvements Plan

The political subdivision shall provide for a capital improvements plan to be developed by qualified professionals using generally accepted engineering and planning practices in accordance with Section 395.014.

Added by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.042. Hearing on Land Use Assumptions and Capital Improvements Plan

To impose an impact fee, a political subdivision must adopt an order, ordinance, or resolution establishing a public hearing date to consider the land use assumptions and capital improvements plan for the designated service area.



Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.043. Information About Land Use Assumptions and Capital Improvements Plan Available to Public

On or before the date of the first publication of the notice of the hearing on the land use assumptions and capital improvements plan, the political subdivision shall make available to the public its land use assumptions, the time period of the projections, and a description of the capital improvement facilities that may be proposed.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.044. Notice of Hearing on Land Use Assumptions and Capital Improvements Plan

(a) Before the 30th day before the date of the hearing on the land use assumptions and capital improvements plan, the political subdivision shall send a notice of the hearing by certified mail to any person who has given written notice by certified or registered mail to the municipal secretary or other designated official of the political subdivision requesting notice of the hearing within two years preceding the date of adoption of the order, ordinance, or resolution setting the public hearing.

(b) The political subdivision shall publish notice of the hearing before the 30th day before the date set for the hearing, in one or more newspapers of general circulation in each county in which the political subdivision lies. However, a river authority that is authorized elsewhere by state law to charge fees that function as impact fees may publish the required newspaper notice only in each county in which the service area lies.

(c) The notice must contain:

(1) a headline to read as follows:



"NOTICE OF PUBLIC HEARING ON LAND USE ASSUMPTIONS AND CAPITAL IMPROVEMENTS PLAN RELATING TO POSSIBLE ADOPTION OF IMPACT FEES"

(2) the time, date, and location of the hearing;

(3) a statement that the purpose of the hearing is to consider the land use assumptions and capital improvements plan under which an impact fee may be imposed; and

(4) a statement that any member of the public has the right to appear at the hearing and present evidence for or against the land use assumptions and capital improvements plan.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.045. Approval of Land Use Assumptions and Capital Improvements Plan Required

(a) After the public hearing on the land use assumptions and capital improvements plan, the political subdivision shall determine whether to adopt or reject an ordinance, order, or resolution approving the land use assumptions and capital improvements plan.

(b) The political subdivision, within 30 days after the date of the public hearing, shall approve or disapprove the land use assumptions and capital improvements plan.

(c) An ordinance, order, or resolution approving the land use assumptions and capital improvements plan may not be adopted as an emergency measure.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.0455. Systemwide Land Use Assumptions

(a) In lieu of adopting land use assumptions for each service area, a political subdivision may, except for storm water, drainage, flood control, and roadway facilities, adopt systemwide land use



assumptions, which cover all of the area subject to the jurisdiction of the political subdivision for the purpose of imposing impact fees under this chapter.

(b) Prior to adopting systemwide land use assumptions, a political subdivision shall follow the public notice, hearing, and other requirements for adopting land use assumptions.

(c) After adoption of systemwide land use assumptions, a political subdivision is not required to adopt additional land use assumptions for a service area for water supply, treatment, and distribution facilities or wastewater collection and treatment facilities as a prerequisite to the adoption of a capital improvements plan or impact fee, provided the capital improvements plan and impact fee are consistent with the systemwide land use assumptions.

Added by Acts 1989, 71st Leg., ch. 566, § 1(b), eff. Aug. 28, 1989.

§ 395.047. Hearing on Impact Fee

On adoption of the land use assumptions and capital improvements plan, the governing body shall adopt an order or resolution setting a public hearing to discuss the imposition of the impact fee. The public hearing must be held by the governing body of the political subdivision to discuss the proposed ordinance, order, or resolution imposing an impact fee.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.049. Notice of Hearing on Impact Fee

(a) Before the 30th day before the date of the hearing on the imposition of an impact fee, the political subdivision shall send a notice of the hearing by certified mail to any person who has given written notice by certified or registered mail to the municipal secretary or other designated official of the political subdivision requesting notice of the hearing within two years preceding the date of adoption of the order or resolution setting the public hearing.

(b) The political subdivision shall publish notice of the hearing before the 30th day before the date set for the hearing, in one or more newspapers of general circulation in each county in which the political subdivision lies. However, a river authority that is authorized elsewhere by state law to charge



fees that function as impact fees may publish the required newspaper notice only in each county in which the service area lies.

(c) The notice must contain the following:

(1) a headline to read as follows:

"NOTICE OF PUBLIC HEARING ON ADOPTION OF IMPACT FEES"

(2) the time, date, and location of the hearing;

(3) a statement that the purpose of the hearing is to consider the adoption of an impact fee;

(4) the amount of the proposed impact fee per service unit; and

(5) a statement that any member of the public has the right to appear at the hearing and present evidence for or against the plan and proposed fee.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.050. Advisory Committee Comments on Impact Fees

The advisory committee created under Section 395.058 shall file its written comments on the proposed impact fees before the fifth business day before the date of the public hearing on the imposition of the fees.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.051. Approval of Impact Fee Required

(a) The political subdivision, within 30 days after the date of the public hearing on the imposition of an impact fee, shall approve or disapprove the imposition of an impact fee.



(b) An ordinance, order, or resolution approving the imposition of an impact fee may not be adopted as an emergency measure.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 5, eff. Sept. 1, 2001.

§ 395.052. Periodic Update of Land Use Assumptions and Capital Improvements Plan Required

(a) A political subdivision imposing an impact fee shall update the land use assumptions and capital improvements plan at least every five years. The initial five-year period begins on the day the capital improvements plan is adopted.

(b) The political subdivision shall review and evaluate its current land use assumptions and shall cause an update of the capital improvements plan to be prepared in accordance with Subchapter B.¹

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 6, eff. Sept. 1, 2001.

§ 395.053. Hearing on Updated Land Use Assumptions and Capital Improvements Plan

The governing body of the political subdivision shall, within 60 days after the date it receives the update of the land use assumptions and the capital improvements plan, adopt an order setting a public hearing to discuss and review the update and shall determine whether to amend the plan.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.054. Hearing on Amendments to Land Use Assumptions, Capital Improvements Plan, or Impact Fee

A public hearing must be held by the governing body of the political subdivision to discuss the proposed ordinance, order, or resolution amending land use assumptions, the capital improvements plan, or the impact fee. On or before the date of the first publication of the notice of the hearing on the amendments, the land use assumptions and the capital improvements plan, including the amount of any proposed amended impact fee per service unit, shall be made available to the public.



Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.055. Notice of Hearing on Amendments to Land Use Assumptions, Capital Improvements Plan, or Impact Fee

(a) The notice and hearing procedures prescribed by Sections 395.044(a) and (b) apply to a hearing on the amendment of land use assumptions, a capital improvements plan, or an impact fee.

(b) The notice of a hearing under this section must contain the following:

(1) a headline to read as follows:

"NOTICE OF PUBLIC HEARING ON AMENDMENT OF IMPACT FEES"

(2) the time, date, and location of the hearing;

(3) a statement that the purpose of the hearing is to consider the amendment of land use assumptions and a capital improvements plan and the imposition of an impact fee; and

(4) a statement that any member of the public has the right to appear at the hearing and present evidence for or against the update.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 345, § 7, eff. Sept. 1, 2001.

§ 395.056. Advisory Committee Comments on Amendments

The advisory committee created under Section 395.058 shall file its written comments on the proposed amendments to the land use assumptions, capital improvements plan, and impact fee before the fifth business day before the date of the public hearing on the amendments.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.



§ 395.057. Approval of Amendments Required

(a) The political subdivision, within 30 days after the date of the public hearing on the amendments, shall approve or disapprove the amendments of the land use assumptions and the capital improvements plan and modification of an impact fee.

(b) An ordinance, order, or resolution approving the amendments to the land use assumptions, the capital improvements plan, and imposition of an impact fee may not be adopted as an emergency measure.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.0575. Determination That No Update of Land Use Assumptions, Capital Improvements Plan or Impact Fees is Needed

(a) If, at the time an update under Section 395.052 is required, the governing body determines that no change to the land use assumptions, capital improvements plan, or impact fee is needed, it may, as an alternative to the updating requirements of Sections 395.052–395.057, do the following:

(1) The governing body of the political subdivision shall, upon determining that an update is unnecessary and 60 days before publishing the final notice under this section, send notice of its determination not to update the land use assumptions, capital improvements plan, and impact fee by certified mail to any person who has, within two years preceding the date that the final notice of this matter is to be published, give written notice by certified or registered mail to the municipal secretary or other designated official of the political subdivision requesting notice of hearings related to impact fees. The notice must contain the information in Subsections (b)(2)-(5).

(2) The political subdivision shall publish notice of its determination once a week for three consecutive weeks in one or more newspapers with general circulation in each county in which the political subdivision lies. However, a river authority that is authorized elsewhere by state law to charge fees that function as impact fees may publish the required newspaper notice only in each county in which the service area lies. The notice of public hearing may not be in the part of the paper in which legal notices and classified ads appear and may not be smaller than one-quarter page of a standard size or tabloid-size newspaper, and the headline on the notice must be in 18-point or larger type.

(b) The notice must contain the following:



(1) A headline to read as follows:

"NOTICE OF DETERMINATION NOT TO UPDATE

LAND USE ASSUMPTIONS, CAPITAL IMPROVEMENTS

PLAN, OR IMPACT FEES";

(2) a statement that the governing body of the political subdivision has determined that no change to the land use assumptions, capital improvements plan, or impact fee is necessary;

(3) an easily understandable description and a map of the service area in which the updating has been determined to be unnecessary;

(4) a statement that if, within a specified date, which date shall be at least 60 days after publication of the first notice, a person makes a written request to the designated official of the political subdivision requesting that the land use assumptions, capital improvements plan, or impact fee be updated, the governing body must comply with the request by following the requirements of Sections 395.052–395.057; and

(5) a statement identifying the name and mailing address of the official of the political subdivision to whom a request for an update should be sent.

(c) The advisory committee shall file its written comments on the need for updating the land use assumptions, capital improvements plans, and impact fee before the fifth business day before the earliest notice of the government's decision that no update is necessary is mailed or published.

(d) If, by the date specified in Subsection (b)(4), a person requests in writing that the land use assumptions, capital improvements plan, or impact fee be updated, the governing body shall cause an update of the land use assumptions and capital improvements plan to be prepared in accordance with Sections 395.052–395.057.

(e) An ordinance, order, or resolution determining the need for updating land use assumptions, a capital improvements plan, or an impact fee may not be adopted as an emergency measure.

Added by Acts 1989, 71st Leg., ch. 566, § 1(d), eff. Aug. 28, 1989.



§ 395.058. Advisory Committee

(a) On or before the date on which the order, ordinance, or resolution is adopted under Section 395.042, the political subdivision shall appoint a capital improvements advisory committee.

(b) The advisory committee is composed of not less than five members who shall be appointed by a majority vote of the governing body of the political subdivision. Not less than 40 percent of the membership of the advisory committee must be representatives of the real estate, development, or building industries who are not employees or officials of a political subdivision or governmental entity. If the political subdivision has a planning and zoning commission, the commission may act as the advisory committee if the commission includes at least one representative of the real estate, development, or building industry who is not an employee or official of a political subdivision or governmental entity. If no such representative is a member of the planning and zoning commission, the commission may still act as the advisory committee if at least one such representative is appointed by the political subdivision as an ad hoc voting member of the planning and zoning commission when it acts as the advisory committee. If the impact fee is to be applied in the extraterritorial jurisdiction of the political subdivision, the membership must include a representative from that area.

(c) The advisory committee serves in an advisory capacity and is established to:

(1) advise and assist the political subdivision in adopting land use assumptions;

(2) review the capital improvements plan and file written comments;

(3) monitor and evaluate implementation of the capital improvements plan;

(4) file semiannual reports with respect to the progress of the capital improvements plan and report to the political subdivision any perceived inequities in implementing the plan or imposing the impact fee; and

(5) advise the political subdivision of the need to update or revise the land use assumptions, capital improvements plan, and impact fee.

(d) The political subdivision shall make available to the advisory committee any professional reports with respect to developing and implementing the capital improvements plan.

(e) The governing body of the political subdivision shall adopt procedural rules for the advisory committee to follow in carrying out its duties.



Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

SUBCHAPTER D. OTHER PROVISIONS

§ 395.071. Duties to be Performed Within Time Limits

If the governing body of the political subdivision does not perform a duty imposed under this chapter within the prescribed period, a person who has paid an impact fee or an owner of land on which an impact fee has been paid has the right to present a written request to the governing body of the political subdivision stating the nature of the unperformed duty and requesting that it be performed within 60 days after the date of the request. If the governing body of the political subdivision finds that the duty is required under this chapter and is late in being performed, it shall cause the duty to commence within 60 days after the date of the request and continue until completion.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.072. Records of Hearings

A record must be made of any public hearing provided for by this chapter. The record shall be maintained and be made available for public inspection by the political subdivision for at least 10 years after the date of the hearing.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.073. Cumulative Effect of State and Local Restrictions

Any state or local restrictions that apply to the imposition of an impact fee in a political subdivision where an impact fee is proposed are cumulative with the restrictions in this chapter.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.



§ 395.074. Prior Impact Fees Replaced by Fees Under This Chapter

An impact fee that is in place on June 20, 1987, must be replaced by an impact fee made under this chapter on or before June 20, 1990. However, any political subdivision having an impact fee that has not been replaced under this chapter on or before June 20, 1988, is liable to any party who, after June 20, 1988, pays an impact fee that exceeds the maximum permitted under Subchapter B by more than 10 percent for an amount equal to two times the difference between the maximum impact fee allowed and the actual impact fee imposed, plus reasonable attorney's fees and court costs.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.075. No Effect on Taxes or Other Charges

This chapter does not prohibit, affect, or regulate any tax, fee, charge, or assessment specifically authorized by state law.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.076. Moratorium on Development Prohibited

A moratorium may not be placed on new development for the purpose of awaiting the completion of all or any part of the process necessary to develop, adopt, or update land use assumptions, a capital improvements plan, or an impact fee.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 441, § 2, eff. Sept. 1, 2001.

§ 395.077. Appeals

(a) A person who has exhausted all administrative remedies within the political subdivision and who is aggrieved by a final decision is entitled to trial de novo under this chapter.

(b) A suit to contest an impact fee must be filed within 90 days after the date of adoption of the ordinance, order, or resolution establishing the impact fee.



(c) Except for roadway facilities, a person who has paid an impact fee or an owner of property on which an impact fee has been paid is entitled to specific performance of the services by the political subdivision for which the fee was paid.

(d) This section does not require construction of a specific facility to provide the services.

(e) Any suit must be filed in the county in which the major part of the land area of the political subdivision is located. A successful litigant shall be entitled to recover reasonable attorney's fees and court costs.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.078. Substantial Compliance With Notice Requirements

An impact fee may not be held invalid because the public notice requirements were not complied with if compliance was substantial and in good faith.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

§ 395.079. Impact Fee for Storm Water, Drainage, and Flood Control in Populous County

(a) Any county that has a population of 3.3 million or more or that borders a county with a population of 3.3 million or more, and any district or authority created under Article XVI, Section 59, of the Texas Constitution within any such county that is authorized to provide storm water, drainage, and flood control facilities, is authorized to impose impact fees to provide storm water, drainage, and flood control improvements necessary to accommodate new development.

(b) The imposition of impact fees authorized by Subsection (a) is exempt from the requirements of Sections 395.025, 395.052–395.057, and 395.074 unless the political subdivision proposes to increase the impact fee.

(c) Any political subdivision described by Subsection (a) is authorized to pledge or otherwise contractually obligate all or part of the impact fees to the payment of principal and interest on bonds, notes, or other obligations issued or incurred by or on behalf of the political subdivision and to the payment of any other contractual obligations.



(d) An impact fee adopted by a political subdivision under Subsection (a) may not be reduced if:

(1) the political subdivision has pledged or otherwise contractually obligated all or part of the impact fees to the payment of principal and interest on bonds, notes, or other obligations issued by or on behalf of the political subdivision; and

(2) the political subdivision agrees in the pledge or contract not to reduce the impact fees during the term of the bonds, notes, or other contractual obligations.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989.

Amended by Acts 2001, 77th Leg., ch. 669, § 107, eff. Sept. 1, 2001.

§ 395.080. Chapter Not Applicable to Certain Water-Related Special Districts

(a) This chapter does not apply to impact fees, charges, fees, assessments, or contributions:

(1) paid by or charged to a district created under Article XVI, Section 59, of the Texas Constitution to another district created under that constitutional provision if both districts are required by law to obtain approval of their bonds by the Texas Natural Resource Conservation Commission; or

(2) charged by an entity if the impact fees, charges, fees, assessments, or contributions are approved by the Texas Natural Resource Conservation Commission.

(b) Any district created under Article XVI, Section 59, or Article III, Section 52, of the Texas Constitution may petition the Texas Natural Resource Conservation Commission for approval of any proposed impact fees, charges, fees, assessments, or contributions. The commission shall adopt rules for reviewing the petition and may charge the petitioner fees adequate to cover the cost of processing and considering the petition. The rules shall require notice substantially the same as that required by this chapter for the adoption of impact fees and shall afford opportunity for all affected parties to participate.

Added by Acts 1989, 71st Leg., ch. 1, § 82(a), eff. Aug. 28, 1989. Amended by Acts 1995, 74th Leg., ch. 76, § 11.257, eff. Sept. 1, 1995.



§ 395.081. Fees for Adjoining Landowners in Certain Municipalities

(a) This section applies only to a municipality with a population of 105,000 or less that constitutes more than three-fourths of the population of the county in which the majority of the area of the municipality is located.

(b) A municipality that has not adopted an impact fee under this chapter that is constructing a capital improvement, including sewer or waterline or drainage or roadway facilities, from the municipality to a development located within or outside the municipality's boundaries, in its discretion, may allow a landowner whose land adjoins the capital improvement or is within a specified distance from the capital improvement, as determined by the governing body of the municipality, to connect to the capital improvement if:

(1) the governing body of the municipality has adopted a finding under Subsection (c); and

(2) the landowner agrees to pay a proportional share of the cost of the capital improvement as determined by the governing body of the municipality and agreed to by the landowner.

(c) Before a municipality may allow a landowner to connect to a capital improvement under Subsection (b), the municipality shall adopt a finding that the municipality will benefit from allowing the landowner to connect to the capital improvement. The finding shall describe the benefit to be received by the municipality.

(d) A determination of the governing body of a municipality, or its officers or employees, under this section is a discretionary function of the municipality and the municipality and its officers or employees are not liable for a determination made under this section.

Added by Acts 1997, 75th Leg., ch. 1150, § 1, eff. June 19, 1997.

§ 395.082. Certification of Compliance Required

(a) A political subdivision that imposes an impact fee shall submit a written certification verifying compliance with this chapter to the attorney general each year not later than the last day of the political subdivision's fiscal year.



(b) The certification must be signed by the presiding officer of the governing body of a political subdivision and include a statement that reads substantially similar to the following: "This statement certifies compliance with Chapter 395, Local Government Code."

(c) A political subdivision that fails to submit a certification as required by this section is liable to the state for a civil penalty in an amount equal to 10 percent of the amount of the impact fees erroneously charged. The attorney general shall collect the civil penalty and deposit the amount collected to the credit of the housing trust fund.

Added by Acts 2001, 77th Leg., ch. 345, § 8, eff. Sept. 1, 2001.

<http://www.capitol.state.tx.us/statutes/lg/lg0039500toc.html>



5.0 ADMINISTRATIVE INSTRUMENTS



**RESOLUTION OF THE
CITY OF TAYLOR, TEXAS
CALLING FOR A PUBLIC HEARING
ON AMENDMENT OF ROADWAY IMPACT FEES**

The City Council of the City of Taylor, Texas hereby adopts by resolution a call for a public hearing to be held during the regular Council session on January 23, 2014 at 7:00 p.m. in the City Council Chambers at 400 Porter Street, Taylor, TX 76574. The purpose of this public hearing is to receive public comment concerning the amendment of land use assumptions and a capital improvements plan and the imposition of impact fees for roadways.

Public notice of such hearing will be made at least 30 days in advance of the hearing according to legal criteria set forth in Chapter 395.055 of the Texas Local Government Code.

PASSED AND APPROVED:

_____	§	_____
	§	
	§	
	§	
Date		Mayor

APPROVED: _____
City Attorney

ATTEST: _____
City Secretary



PUBLIC NOTICE REQUIREMENTS

The City shall publish notice of the hearing at least 31 days before the date set for the hearing, in one or more newspapers of general circulation in each county in which the City lies.

CERTIFIED MAIL NOTICE

At least 31 days before the hearing, the City shall send a notice of the hearing by certified mail to any person who has given written notice by certified or registered mail to the City Secretary or other designated official of the City requesting notice of such hearing within two years preceding the date of the adoption of the resolution or order setting the public hearing.



NOTICE OF PUBLIC HEARING ON AMENDMENT OF IMPACT FEES

A public hearing of the City of Taylor, Texas will be held on January 23, 2014 at 7:00 p.m. at the City Council Chambers, 400 Porter Street, Taylor, TX 76574 to consider the amendment of land use assumptions and a capital improvements plan and the imposition of roadway impact fees. The base impact fee is projected to be \$480 in Area 1, and \$318 in Area 2 for a typical detached single-family residential service connection. Higher fees would be charged for other land use types according to the amount of traffic they are expected to generate.

Copies of the capital improvements plan and potential impact fee schedule are available at the offices of the City Secretary, 400 Porter Street, Taylor, TX 76574. Any member of the public has the right to appear at the hearing and present evidence for or against the land use assumptions and capital improvements plan.



6.0 REFERENCES

City of Taylor. 2013. 2013-2023 LAND USE ASSUMPTION TABLE 9-6-2013.xlsx.

City of Taylor. 2013. ROADWAYFEEDATA2013.xlsx.

Sledge Engineering. 2013. Thoroughfare Impact Fee CIP 2013 SEv5.xls (revised for City's revised land use assumptions).

State of Texas. 2012. Texas Local Government Code, Chapter 395. Financing Capital Improvements Required by New Development in Municipalities, Counties, and Certain Other Local Governments.

Memorandum
November 6, 2013

To: Bob van Til, Director, Planning and Development Department
From: John Elsdon, City Planner
Topic: Impact Fee and Building Fee Comparison

The following tables compare water and wastewater impact and building permit fees, as well as Roadway Impact Fees for other cities in Texas. There are not many cities with roadway impact fees in Texas. However, several that do have roadway impact fees are listed below to provide a comparison.

Taylor's original roadway impact fee zone has expanded to two zones. The reason for this is that no one zone may be more than six miles across. Annexations during the past five years have caused the city's single zone to be split into two zones, closely following the City's high and low pressure plane water distribution areas.

Table 1 shows that Taylor currently has one of the lowest impact fees when compared to local cities, and Table 2 indicates Taylor has one of the lowest roadway impact fees when compared to other cities around Texas, even if the proposed fees are adopted.

**Residential Building (Single Family) Permit
and Impact Fee Comparison:***

Table 1

	Round						
	Rock	Taylor	Georgetown	Pflugerville	Elgin	Bastrop	Hutto
Roadway Impact Fee	\$0	\$480	\$0	\$0	\$0	\$0	\$0
Water & Sewer Impact Fees	\$5,962	\$3,000	\$5,205	\$4,817	\$3,200	\$1,900	\$5,753
Bldg Permit Fee	\$652	\$1,233	\$1,100	\$1,106	\$1,710	\$760	\$1,446
Parkland Fees per Unit	\$125	\$174	\$250	\$750	\$0	\$250	\$500
Total Fees	\$6,739	\$4,887	\$6,555	\$6,183	\$4,910	\$3,027	\$7,699

Ave of Total Fee - \$5,714
Taylor - 2nd lowest total fee

All except Taylor and Pflugerville (both based on square footage) based on \$100,000 valuation *plus* \$3.00/\$1,000 valuation (some higher).

Building Permit Fees include: Building Permit, MEP, Water/Wastewater Tap Fees, and Water Meter Fee.

*Based on a 2,500 Sq. Ft. home; valued at \$180,000

Single Family Impact Fees for nearby communities:

Table 2

	Round Rock	Taylor	Georgetown	Pflugerville	Elgin	Bastrop	Hutto
Roadway Impact Fee	\$0	\$480	\$0	\$0	\$0	\$0	\$0
Water & Sewer Impact Fees	\$5,962	\$3,000	\$5,205	\$4,817	\$3,200	\$1,900	\$5,735
Totals	\$5,962	\$3,480	\$5,205	\$4,817	\$3,200	\$1,900	\$5,735

Single Family Impact Fee average for nearby communities (except Taylor): \$4,469

Table 3 shows adopted fees for each zone for these cities:

Table 3

Zone	New Braunfels	Wylie	Waxahachie	Colleyville	Frisco	Mansfield	Southlake	Taylor Proposed Fee*
1	\$1,432	\$742	\$ 1,597	\$ 1,843	\$ 3,869	\$ 1,100	\$ 1,720	\$1,004
2	\$ 167	\$1,259	\$ 2,661	\$ 2,165	\$ 3,033	\$ 1,500		\$318
3	\$1,500	\$1,500	\$ 813		\$ 3,960	\$ 1,100		
4	\$1,500	\$1,500	\$ 955		\$ 2,502	\$ 2,000		
5	\$1,500	\$1,500	\$ 1,182					
6			\$ 3,584					
7			\$1,829					
Average Fee	\$1,220	\$1,298	\$1,803	\$2,004	\$3,354	\$1,425	\$1,720	\$661
Population	59,590	43,001	30,223	23,328	121,387	59, 831	27,000	15,191

Table 3 Average for all cities (except Taylor)= \$1,832

***Consultant recommended fees**

Chart 1

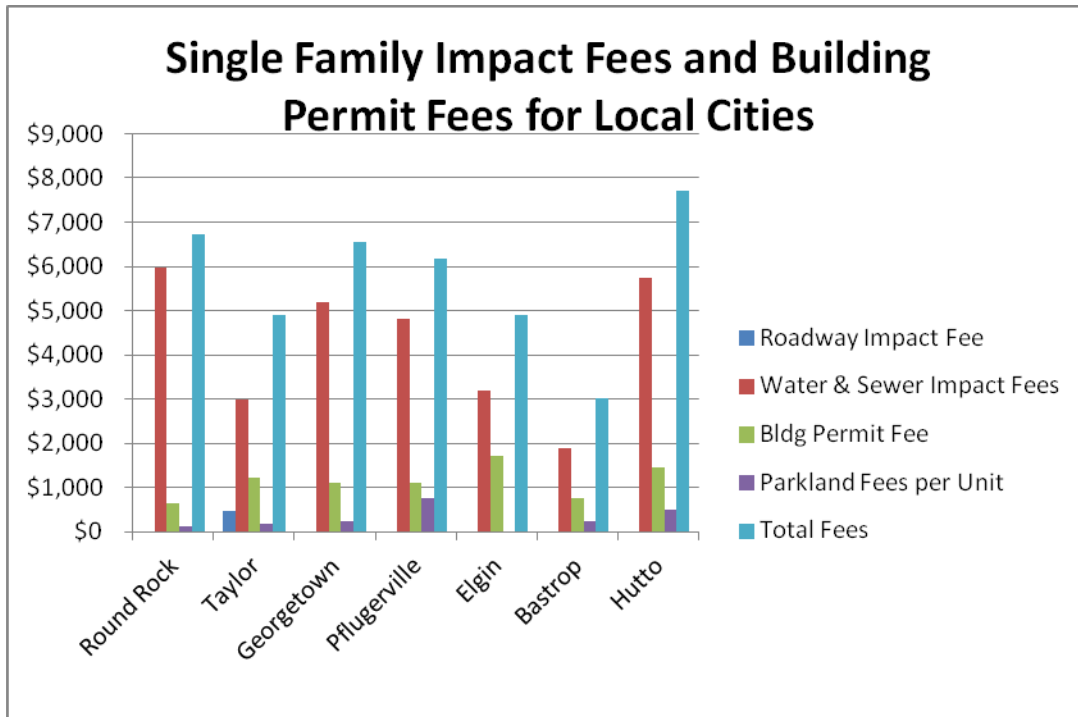
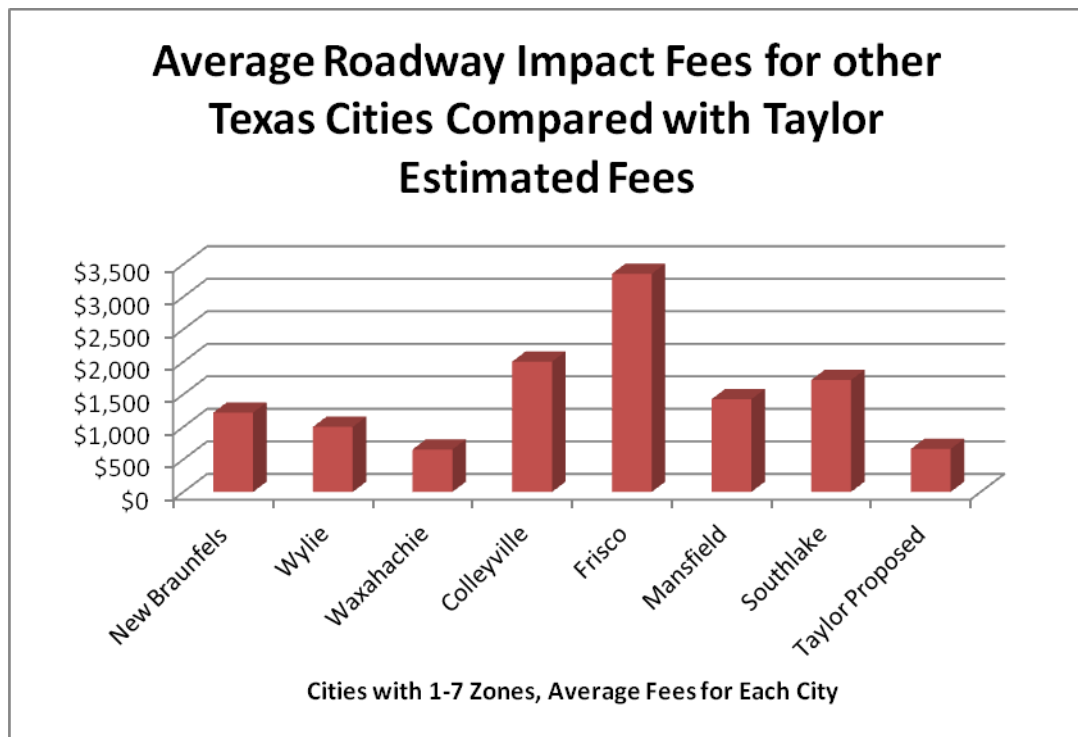


Chart 2



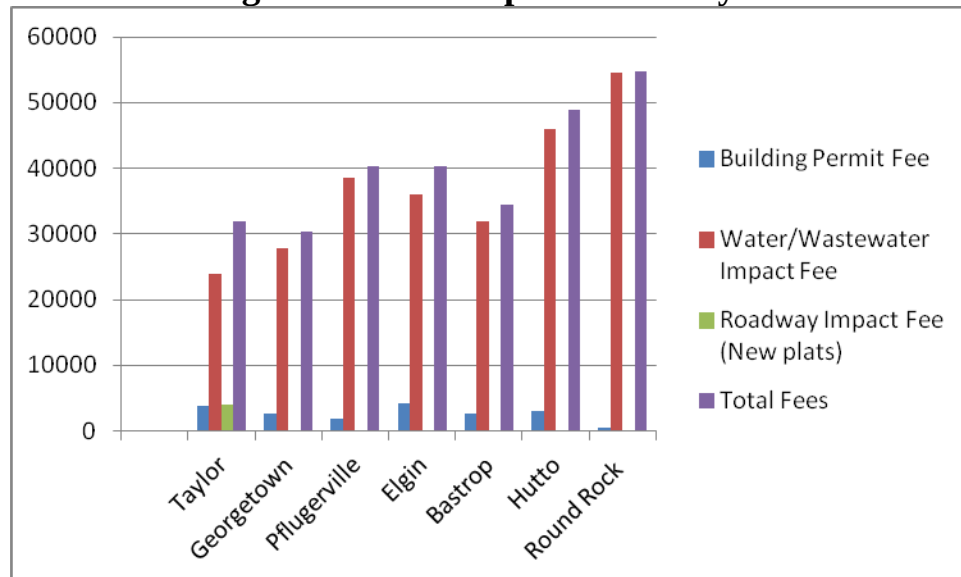
Commercial Development for Taylor and local cities based on 5,000 square feet or \$950,000* and 2" water meter:

Table 4

Based on 5,000 Sq Ft & 2" water meter	Building Permit Fee	Water/Wastewater Impact Fee (New plats)	Roadway Impact Fee (New plats)	Total Fees
Taylor	\$3,891	\$24,000	\$4,093	\$31,984
Georgetown	\$2,550	\$27,758	\$0	\$30,308
Pflugerville	\$1,774	\$38,536	\$0	\$40,310
Elgin	\$4,225	\$36,000	\$0	\$40,225
Bastrop	\$2,560	\$31,832	\$0	\$34,392
Hutto	\$2,958	\$46,024	\$0	\$48,982
Round Rock	\$460	\$54,632	\$0	\$54,822

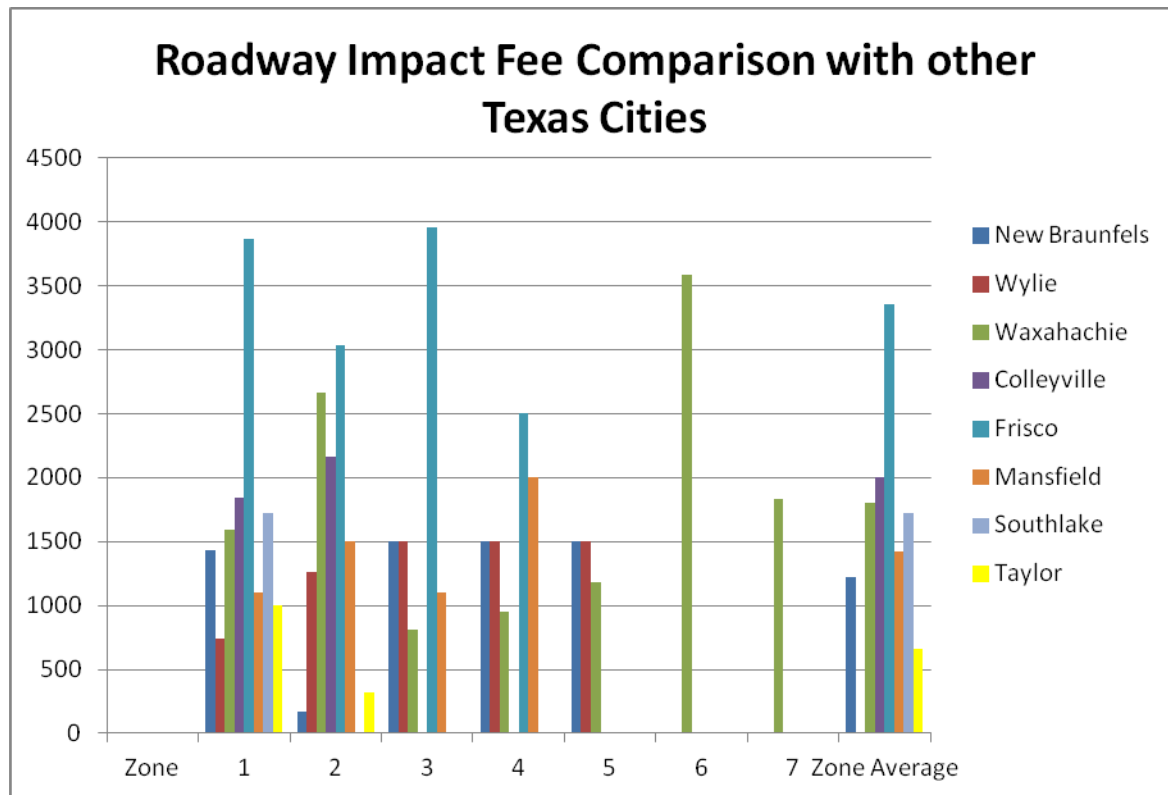
Chart 3

Commercial Building Permit and Impact Fees: Taylor and Local Cities⁺



⁺Based on 5,000 Sq Ft or \$950,000 valuation

Chart 4

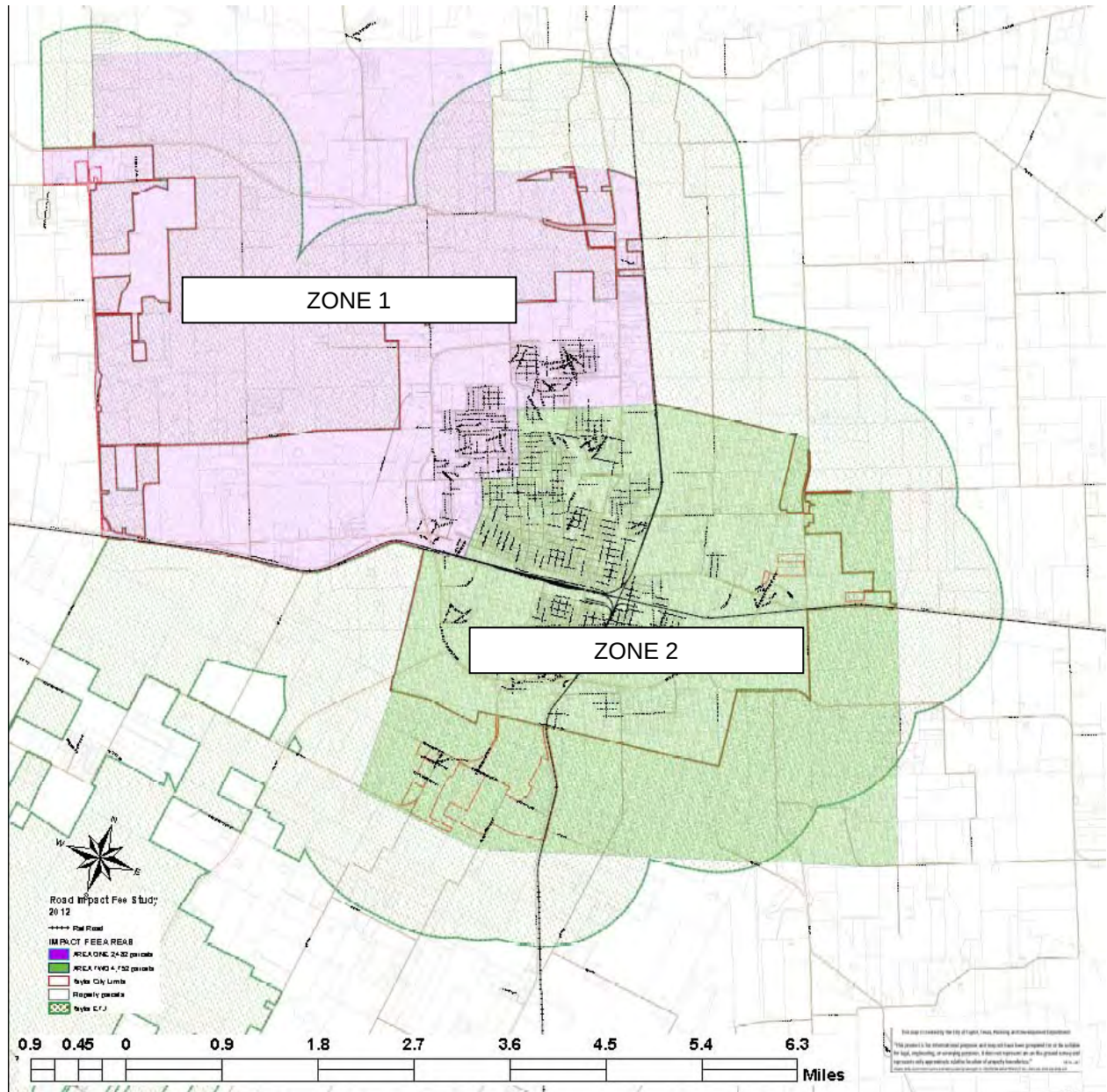


Recommended Fees for Taylor

Zone 1: Keep the current fee of \$480

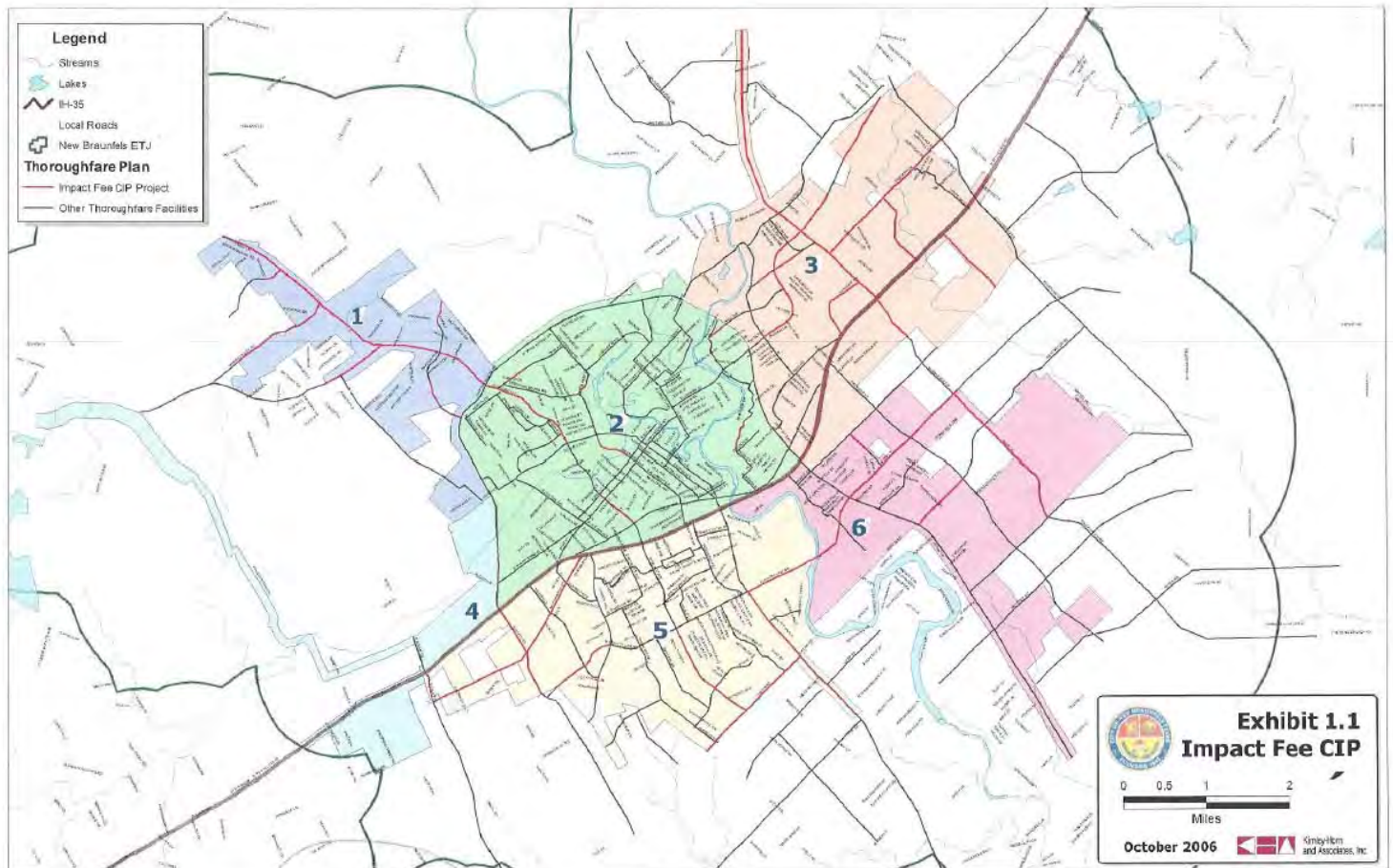
Zone 2: Adopt the \$318 fee

Taylor Roadway Impact Fee Zones 1 and 2:

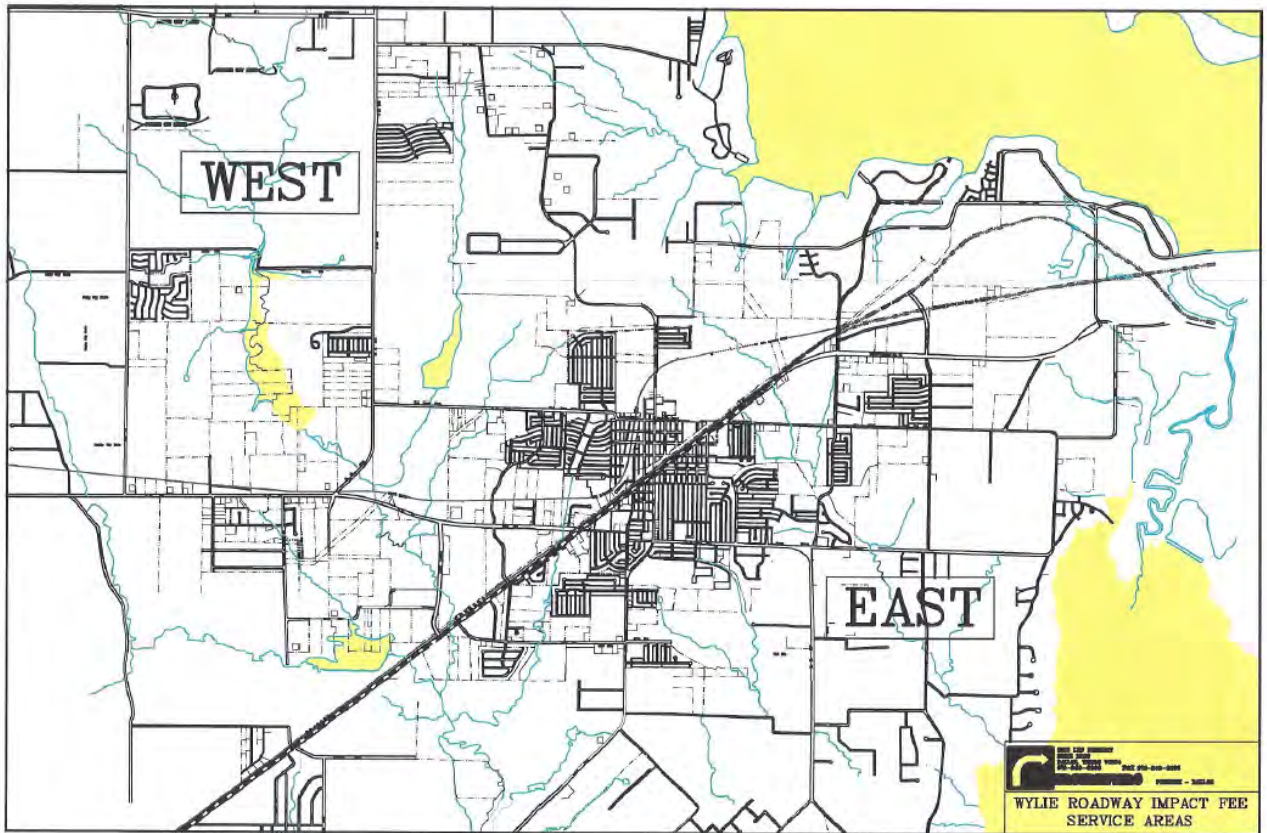


Following are maps showing the number of roadway impact fee zones for each of the comparison cities (Southlake has only 1 zone).

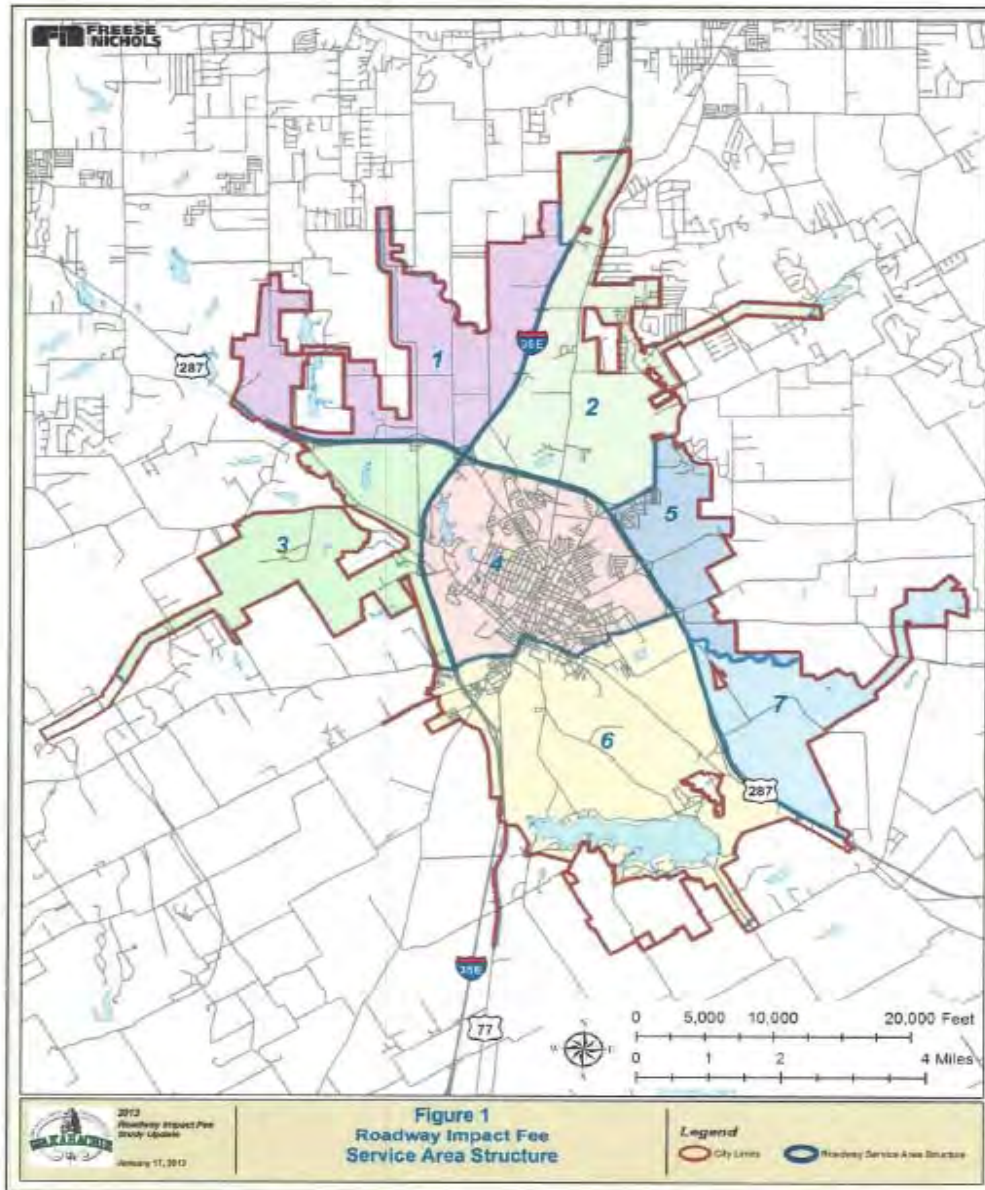
Roadway Impact Fee Zones New Braunfels



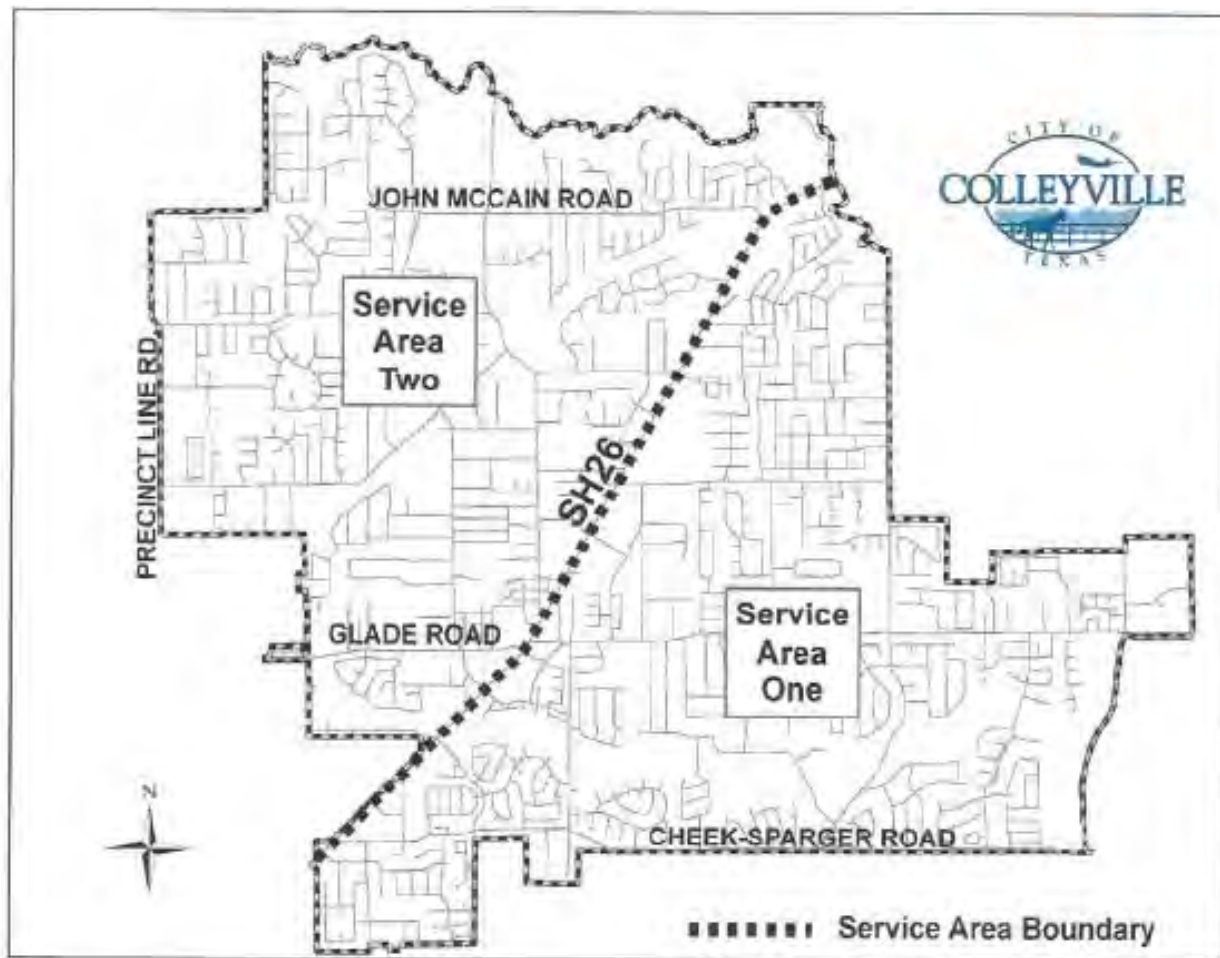
Roadway Impact Fee Zones Wylie



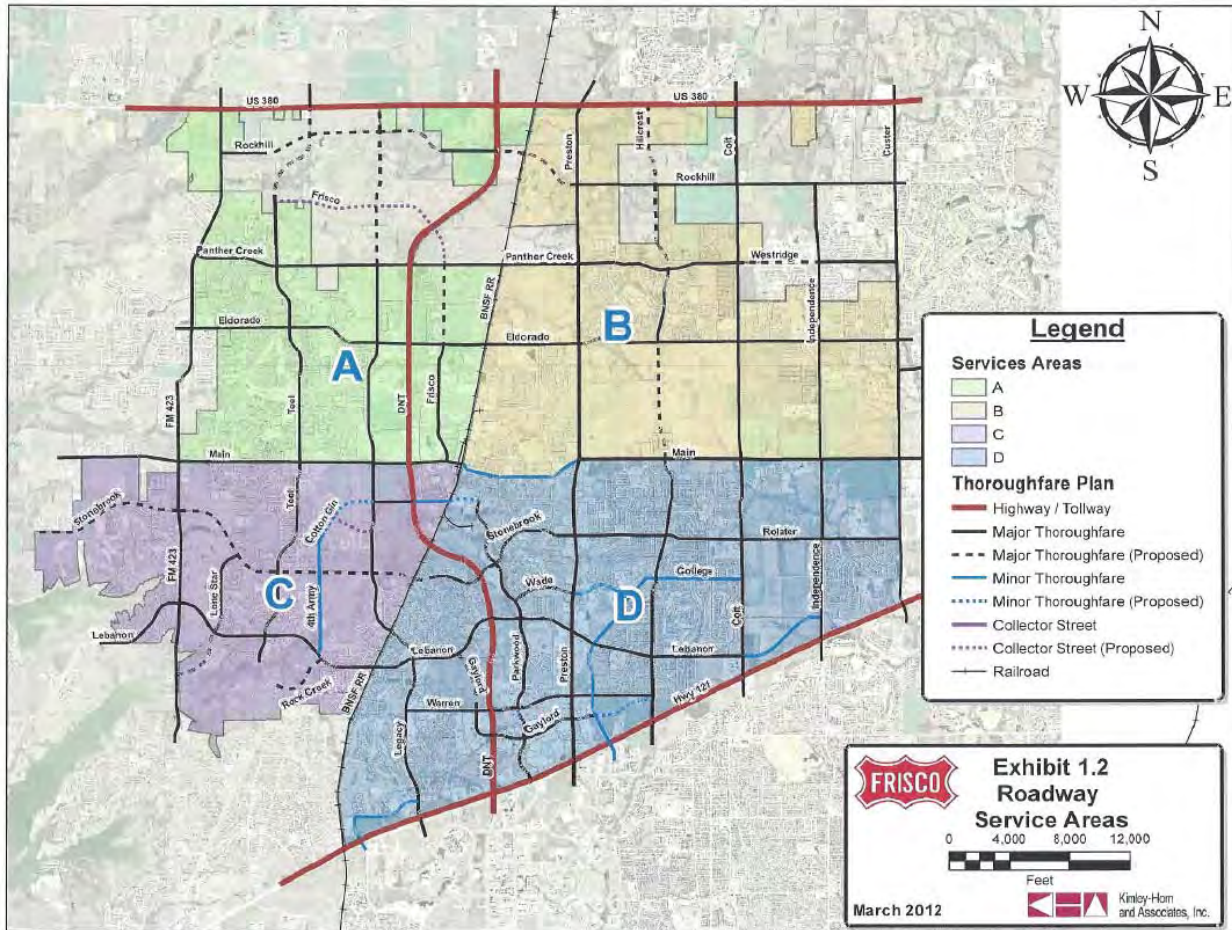
Roadway Impact Fee Zones Waxahachie



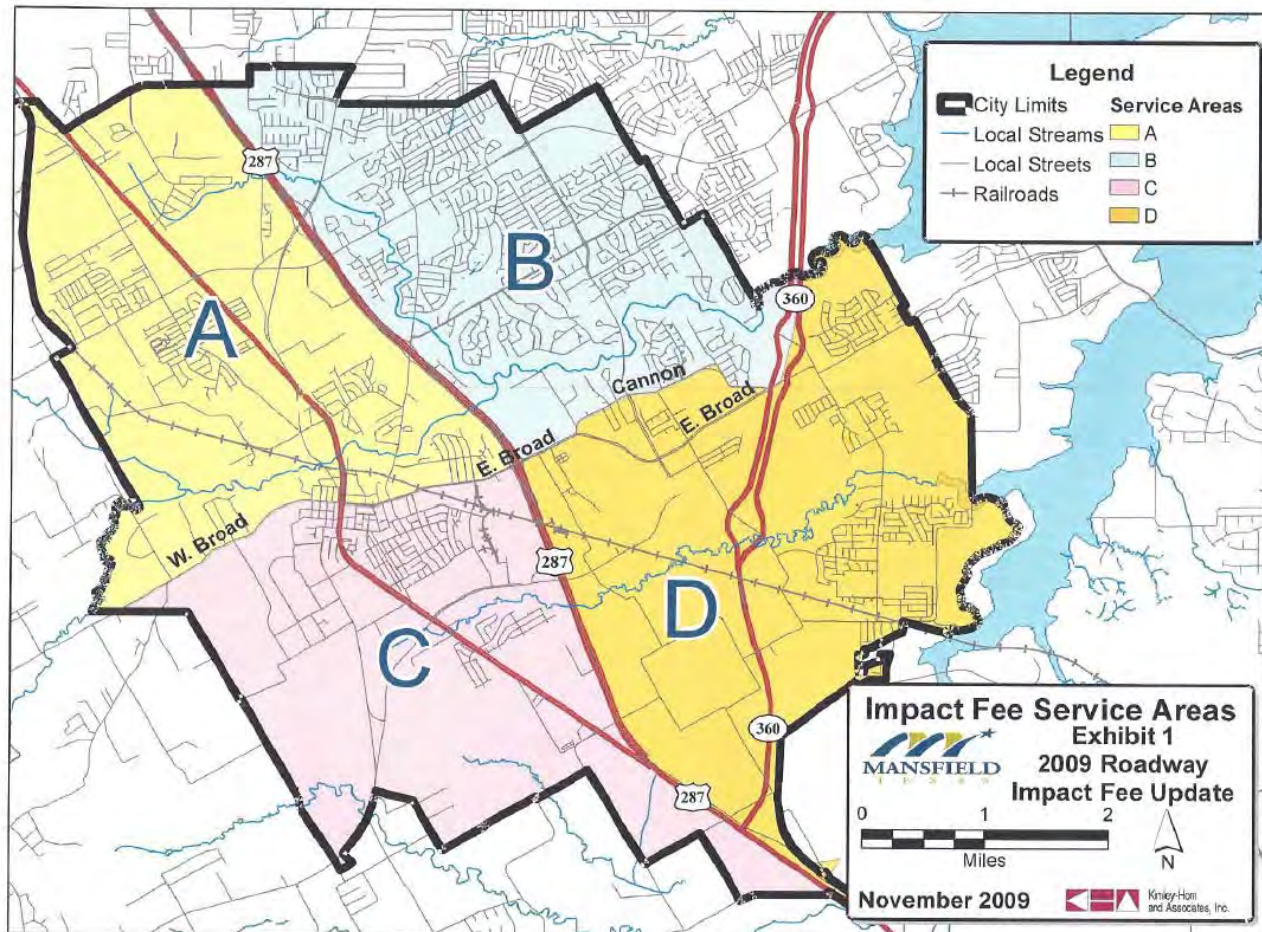
Roadway Impact Fee Zones Colleyville



Roadway Impact Fee Zones Frisco



Roadway Impact Fee Zones Mansfield



RIMROCK

In Association With
SLEDGE ENGINEERING LLC

Consulting Company

TAYLOR ROADWAY IMPACT FEES

City Council Briefing
December 12, 2013

Consulting Company

ADMINISTRATIVE REQUIREMENTS FOR FEE UPDATE

- **Impact Fee Advisory Committee Review of Update**
 - Committee Recommends that Council Update Fee and Sets Public Hearing
 - Council Passes Resolution to Set Hearing (for January 23)
- **Public Hearing Notice Requirements**
 - Public Information Packets Made Available
 - Notice of Hearings in Local Newspaper
 - Mailed Notices
- **Advisory Comments Due Before December 30**
- **One-Hearing**
 - Land Use Assumptions / CIP/ Fee
- **Post-Hearing Action**
 - Ordinance Passage Within 30 Days of Hearing
 - Ordinance Cannot be Passed on Emergency Basis

KEY ELEMENTS

- **Two Impact Fee Service Areas Instead of One**
 - Roadway Impact Fees Only Applied within City Limits
 - Properties Can Only be Charged for Roadway CIP within Six Miles
 - Taylor Annexations Created Larger Corporate Limits; Thus, Two Impact Fee Areas Required for Current Study
- **Study Period is 2013-2023**

TECHNICAL REQUIREMENTS: LAND USE ASSUMPTIONS

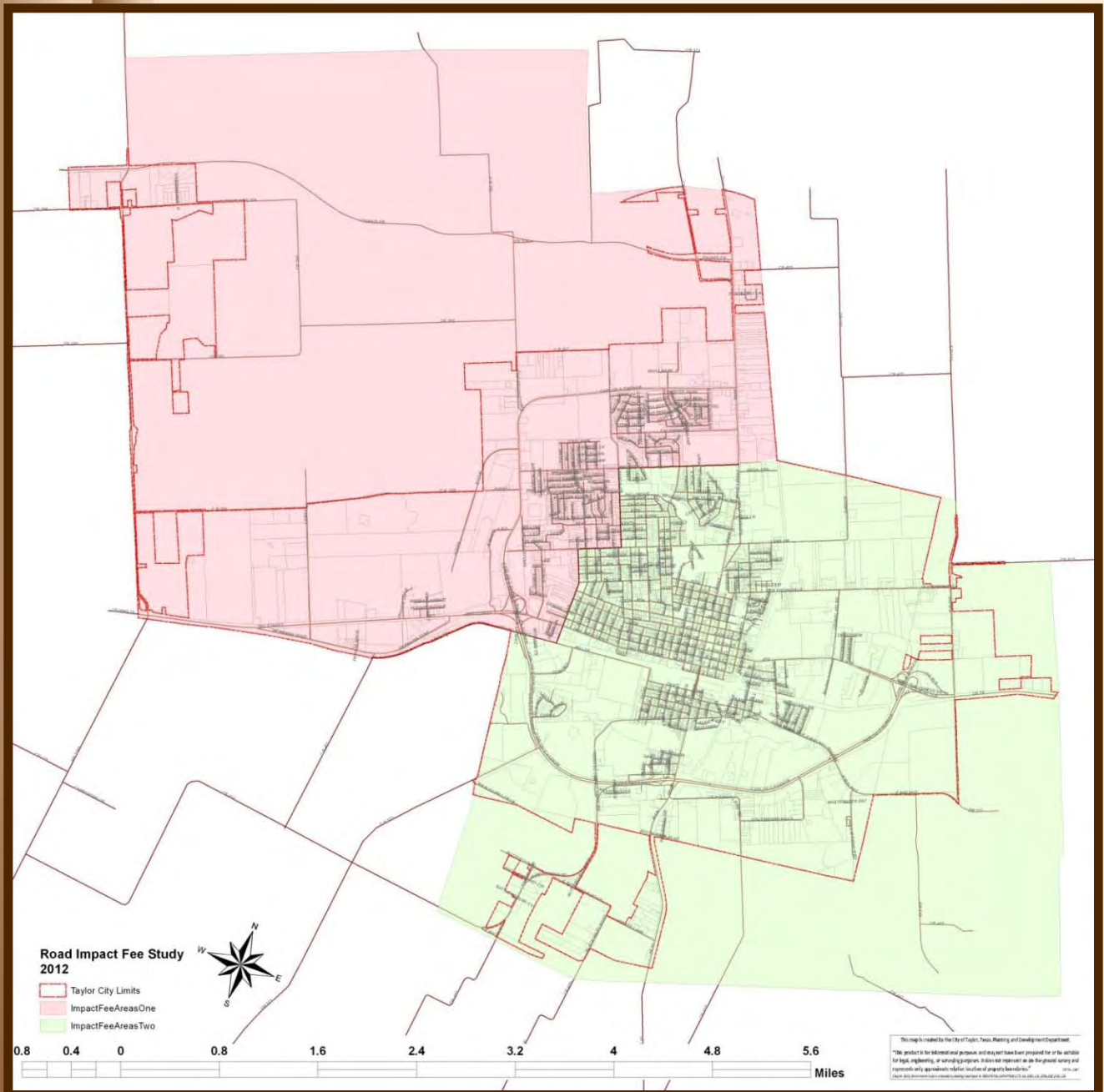
- ❖ **Service Area Designation**
- ❖ **Population**
- ❖ **Land Use**
- ❖ **Density, Intensity of Land Use**
- ❖ **Assumptions for Current Conditions,
Next Ten Years, Full Buildout**
- ❖ **Roads Must be in Six-Mile Radius of
Feepayer, Within the City Limits**

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In Association With
SLEDGE ENGINEERING LLC

SERVICE AREAS



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LAND USE ASSUMPTIONS Area 1

TABLE 1A
POPULATION AND LAND USE PROJECTIONS FOR THE CITY OF TAYLOR
Roadway Service Area 1

LAND USE	2013			2023		
	ACRES	%	ACRES / 100 POP	ACRES	%	ACRES / 100 POP
<u>WITHIN CORPORATE LIMITS</u>						
Single-Family Residential	681.12	15.44%	11.68	1,000.89	22.68%	13.73
Manufactured Homes	4.25	0.10%	0.07	4.25	0.10%	0.06
Multi-Family Residential	27.27	0.62%	0.47	27.27	0.62%	0.37
Parks and Open Space	91.29	2.07%	1.57	121.29	2.75%	1.66
Public and Semi-Public	199.86	4.53%	3.43	199.86	4.53%	2.74
Commercial	161.57	3.66%	2.77	161.57	3.66%	2.22
Industrial	72.02	1.63%	1.23	72.02	1.63%	0.99
Institutional	190.53	4.32%	3.27	265.53	6.02%	3.64
Agriculture	2,969.58	67.30%	50.91	2,559.58	58.01%	35.11
Vacant Lots	14.77	0.33%	0.25	0.00	0.00%	0.00
Total Service Area	4,412.26	100.00%	75.64	4,412.26	100.00%	60.52
CITY POPULATION	5,833			7,291		
Population per Developed Acres	4.04			3.94		
Population per Total Acres	1.32			1.65		

Consulting Company

LAND USE ASSUMPTIONS Area 2

TABLE 1B
POPULATION AND LAND USE PROJECTIONS FOR THE CITY OF TAYLOR
Roadway Service Area 2

LAND USE	2013			2023		
	ACRES	%	ACRES / 100 POP	ACRES	%	ACRES / 100 POP
<u>WITHIN CORPORATE LIMITS</u>						
Single-Family Residential	1,021.20	17.48%	10.15	1,500.20	25.67%	11.93
Manufactured Homes	15.06	0.26%	0.15	15.06	0.26%	0.12
Multi-Family Residential	48.77	0.83%	0.48	48.77	0.83%	0.39
Parks and Open Space	236.77	4.05%	2.35	264.77	4.53%	2.11
Public and Semi-Public	165.21	2.83%	1.64	235.21	4.03%	1.87
Commercial	163.54	2.80%	1.63	163.54	2.80%	1.30
Industrial	258.27	4.42%	2.57	258.27	4.42%	2.05
Institutional	254.74	4.36%	2.53	329.74	5.64%	2.62
Agriculture	3,588.42	61.41%	35.67	2,936.42	50.25%	23.35
Vacant Buildings	6.43	0.11%	0.06	6.43	0.11%	0.05
Vacant Lots	84.67	1.45%	0.84	84.67	1.45%	0.67
Total Service Area	5,843.08	100.00%	58.08	5,843.08	100.00%	46.46
CITY POPULATION	10,061			12,576		
Population per Developed Acres	4.46			4.33		
Population per Total Acres	1.72			2.15		

LIVING UNIT EQUIVALENCIES

TABLE 2
ROADWAY IMPACT FEE STUDY
ASSUMPTIONS USED IN FEE CALCULATION

FACTOR	VALUE/RATIONALE
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ROADWAY FEE ASSUMPTIONS:

PM Peak Trips, based on ITE Trip Generation

Single Family Residential	1.01 trips / dwelling unit
Multi-Family Residential	0.62 trips / dwelling unit
Commercial / Retail	3.74 trips / 1,000 sq. ft.
Industrial	0.98 trips / 1,000 sq. ft.
Prison	2.91 trips / 1,000 sq. ft.
Schools	0.2 trips / student

Trip Length

Single Family Residential	4.8 miles / trip
Multi-Family Residential	4.8 miles / trip
Commercial / Retail	3.2 miles / trip
Industrial	5 miles / trip
Prison	4 miles / trip
Schools	2.1 miles / trip

Pass-By Traffic

Commercial / Retail	30%
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Vehicle-Miles:

Single Family Residential	4.85 vehicle-miles per peak trip
Multi-Family Residential	2.98 vehicle-miles per peak trip
Commercial / Retail	8.38 vehicle-miles per peak trip
Industrial	4.90 vehicle-miles per peak trip
Prison	11.64 vehicle-miles per peak trip
Schools	0.42 vehicle-miles per peak trip

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LIVING UNIT EQUIVALENCIES FOR VARIOUS LAND USES

TABLE 3
ROADWAY LUE EQUIVALENCIES FOR VARIOUS LAND USES

LAND USE	UNIT	PM PEAK TRIPS / UNIT	TRIP LENGTH (Miles)	VEHICLE- MILES / UNIT	LUE EQUIVALENCY
Single Family Residential	Dwelling Unit	1.01	4.8	4.85	1.00
Multi-Family Residential	Dwelling Unit	0.62	4.8	2.98	0.61
Retail / Commercial	1000 Sq. Ft.	3.74	3.2	8.38	1.73
Industrial	1000 Sq. Ft.	0.98	5.0	4.90	1.01
Prison	1000 Sq. Ft.	2.91	4.0	11.64	2.40
Schools	Student	0.20	2.1	0.42	0.09

CURRENT SERVICE DEMAND AND LUE's Service Area 1

TABLE 4A
ESTIMATED SERVICE DEMAND AND LUE'S
FOR VARIOUS LAND USES
Roadway Service Area 1

LAND USE	DEMAND	
	2013	2023
SINGLE FAMILY RESIDENTIAL		
Dwelling Units	1,913	2,391
Vehicle-Miles / Dwelling Unit	4.85	4.85
Vehicle-Miles of Demand	9,274	11,592
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>1,912</i>	<i>2,390</i>
MULTI-FAMILY RESIDENTIAL		
Dwelling Units	267	334
Vehicle-Miles / Dwelling Unit	2.98	2.98
Vehicle-Miles of Demand	795	993
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>164</i>	<i>205</i>
RETAIL / COMMERCIAL		
1000 sq. ft.	1,652	2,065
Vehicle-Miles / 1000 sq. ft.	8.38	8.38
Vehicle-Miles of Demand	13,843	17,303
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's before Pass-through A</i>	<i>2,854</i>	<i>3,568</i>
Less pass-through traffic (30%)	856	1,070
<i>Subtotal LUE's</i>	<i>1,998</i>	<i>2,497</i>

LAND USE	DEMAND	
	2013	2023
INDUSTRIAL		
1000 sq. ft.	574	718
Vehicle-Miles / 1000 sq. ft.	4.90	4.90
Vehicle-Miles of Demand	2,814	3,518
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>580</i>	<i>725</i>
PRISON		
1000 sq. ft.	0	0
Vehicle-Miles / 1000 sq. ft.	11.64	11.64
Vehicle-Miles of Demand	0	0
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>0</i>	<i>0</i>
SCHOOL		
Students	1,172	1,465
Vehicle-Miles / student	0.42	0.42
Vehicle-Miles of Demand	492	615
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>101</i>	<i>127</i>
TOTALS		
<i>Vehicle-Miles of Demand</i>	<i>27,218</i>	<i>34,021</i>
<i>LUE's</i>	<i>4,756</i>	<i>5,944</i>

CURRENT SERVICE DEMAND AND LUE's Service Area 2

TABLE 4B
ESTIMATED SERVICE DEMAND AND LUE'S
FOR VARIOUS LAND USES
Roadway Service Area 2

LAND USE	DEMAND	
	2013	2023
SINGLE FAMILY RESIDENTIAL		
Dwelling Units	3,213 [↑]	4,016
Vehicle-Miles / Dwelling Unit	4.85	4.85
Vehicle-Miles of Demand	15,577 [✓]	19,470
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>3,212</i>	<i>4,015</i>
MULTI-FAMILY RESIDENTIAL		
Dwelling Units	747 [↑]	934
Vehicle-Miles / Dwelling Unit	2.98	2.98
Vehicle-Miles of Demand	2,223 [✓]	2,779
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>458</i>	<i>573</i>
RETAIL / COMMERCIAL		
1000 sq. ft.	2,668	3,335
Vehicle-Miles / 1000 sq. ft.	8.38	8.38
Vehicle-Miles of Demand	22,350 [✓]	27,937
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>4,608</i>	<i>5,760</i>
Less pass-through traffic (30%)	1,382	1,728
<i>Subtotal LUE's</i>	<i>3,226</i>	<i>4,032</i>

LAND USE	DEMAND	
	2013	2023
INDUSTRIAL		
1000 sq. ft.	1,768	2,209
Vehicle-Miles / 1000 sq. ft.	4.90	4.90
Vehicle-Miles of Demand	8,661 [✓]	10,826
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>1,786</i>	<i>2,232</i>
PRISON		
1000 sq. ft.	118	118
Vehicle-Miles / 1000 sq. ft.	11.64	11.64
Vehicle-Miles of Demand	1,374 [✓]	1,374
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>283</i>	<i>283</i>
SCHOOL		
Students	2,028 [↑]	2,535
Vehicle-Miles / student	0.42	0.42
Vehicle-Miles of Demand	852 [✓]	1,065
Vehicle-Miles per LUE	4.85	4.85
<i>Subtotal LUE's</i>	<i>176</i>	<i>220</i>
TOTALS		
<i>Vehicle-Miles of Demand</i>	<i>51,036</i>	<i>63,451</i>
<i>LUE's</i>	<i>9,140</i>	<i>11,355</i>

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MAJOR ARTERIALS CIP Service Area 1

TABLE 5A
CIP INVENTORY AND COSTING
Roadway Service Area 1

FACILITY TYPE/NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LANE
MAJOR ARTERIALS							
Future Facilities			%				
Chandler Rd (Main St to west widening to 4 lane)	\$1,181,258	100.00%	33.59%	8.40%	58.01%	\$99,186	
Chandler Rd (Main St intersection improvements)	\$180,000	100.00%	33.59%	8.40%	58.01%	\$15,114	
Carlos G Parker Blvd N (2nd St to Old Georgetown Rd; widening to 4 lane)	\$2,756,270	100.00%	33.59%	8.40%	58.01%	\$231,435	
Old Georgetown Rd (CGP - N to City limits; widening to 4 lane)	\$935,163	100.00%	33.59%	8.40%	58.01%	\$78,523	
CR 101 (US 79 to CR 394 within City limits; widening to 4 lane)	\$5,163,412	100.00%	33.59%	8.40%	58.01%	\$433,555	
Carlos G Parker Blvd NW - CR 366 (CR 366 realignment, signal, turn lanes)	\$1,050,007	100.00%	33.59%	8.40%	58.01%	\$88,166	
Carlos G Parker Blvd NW - CR 366 (Intersection improvements)	\$130,000	100.00%	33.59%	8.40%	58.01%	\$10,916	
Carlos G Parker Blvd NW - Mallard Ln (Mallard Ln signal, turn lanes intersection)	\$250,000	100.00%	33.59%	8.40%	58.01%	\$20,992	
Carlos G Parker Blvd NW - Lake Dr (Lake Dr signal, turn lanes intersection)	\$250,000	100.00%	33.59%	8.40%	58.01%	\$20,992	
Chandler Road (Main St to west 2 lane)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Old Georgetown Rd (CGP - N to City limits, 2 lane)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
US 79 (W City limit E to Carlos G Parker (CGP))	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
CR 101 (US 79 to CR 394 within City limits, 2 lane)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Carlos G Parker Blvd N (Welch St north to City limit)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Main St (Mallard Ln north to City limits)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TOTAL MAJOR ARTERIALS	\$11,896,110	100.00%	33.59%	8.40%	58.01%	\$998,879	\$840.29

Consulting Company

MINOR ARTERIALS CIP Service Area 1

TABLE 5A
CIP INVENTORY AND COSTING
Roadway Service Area 1

FACILITY TYPE/ NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST 2023	CAPITAL COST TOTAL	COST PER LANE
MINOR ARTERIALS							
Future Facilities		%					
Lorax Ln (From US 79 to CR 398 widening to 4 lane)	\$1,338,760	100.00%	33.59%	8.40%	58.01%	\$112,411	
CR 395 / CR 398 (CR 101 to Justin Ln widening to 4 lane)	\$789,606	100.00%	33.59%	8.40%	58.01%	\$66,301	
Justin Ln (CR 398 to CGP widening to 4 lane)	\$779,631	100.00%	33.59%	8.40%	58.01%	\$65,463	
CGP N Sidewalk (CR 366 to Main St)	\$207,415	100.00%	33.59%	8.40%	58.01%	\$17,416	
Carlos G Parker Blvd NE - Extension (Main St E to FM 619)	\$4,911,410	100.00%	33.59%	8.40%	58.01%	\$412,396	
Carlos G Parker Blvd NE - RR grade crossing (Main St E to FM 619)	\$2,100,000	100.00%	33.59%	8.40%	58.01%	\$176,330	
Main St Sidewalk (Mallard north to City limits)	\$285,160	100.00%	33.59%	8.40%	58.01%	\$23,944	
Main St - TH Johnson Dr Intersection improvements (TH Johnson Dr signal, turn lane)	\$120,000	100.00%	33.59%	8.40%	58.01%	\$10,076	
Lorax Ln (US 79 to CR 398)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Justin Ln (CR 398 to CGP)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
West 2nd St (CGP to Sloan St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Main St (Mallard Ln north to City limits)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
CGP Blvd (CGP (CR 366) to Main St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TOTAL MINOR ARTERIALS	\$10,531,982	100.00%	33.59%	8.40%	58.01%	\$884,337	\$743.94

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In Association With
SLEDGE ENGINEERING LLC

COLLECTORS CIP Service Area 1

TABLE 5A
CIP INVENTORY AND COSTING
Roadway Service Area 1

		FACILITY CAPACITY				2013-2023	
FACILITY TYPE / NAME	CONSTRUCTION COST	FOR CURRENT		2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LANE
		TOTAL	USERS				
COLLECTORS							
Future Facilities			%				
Justin Ln (US 79 to existing Justin Ln)	\$590,629	100.00%	33.59%	8.40%	58.01%	\$49,593	
Justin Ln (bridge)	\$1,340,000	100.00%	33.59%	8.40%	58.01%	\$112,516	
Northpark Blvd (CGP-N to City limits (TRPSC Rd))	\$1,214,071	100.00%	33.59%	8.40%	58.01%	\$101,942	
CR 394 / CR 368 east-west (north-south portion CR 368 to west city limits, widening and sidewalk improvements, intersection improvements	\$1,230,149	100.00%	33.59%	8.40%	58.01%	\$103,292	
Meadow Ln - Lake Dr intersection improvements (Lake Dr turn lanes)	\$180,000	100.00%	33.59%	8.40%	58.01%	\$15,114	
Meadow Ln - Mallard Ln intersection improvements	\$160,000	100.00%	33.59%	8.40%	58.01%	\$13,435	
Meadow Ln Sidewalks (alke Dr to Boyer Ln)	\$48,816	100.00%	33.59%	8.40%	58.01%	\$4,099	
North Dr (CGP-N to CR 367)	\$616,223	100.00%	33.59%	8.40%	58.01%	\$51,742	
Mallard Ln Sidewalk (CGP-W to Main St)	\$175,001	100.00%	33.59%	8.40%	58.01%	\$14,694	
TH Johnson Dr Sidewalk (North to Main St)	\$99,474	100.00%	33.59%	8.40%	58.01%	\$8,353	
Lake Dr Sidewalk (CGP-W to North Dr)	\$175,001	100.00%	33.59%	8.40%	58.01%	\$14,694	
Justin Ln (US 79 to City limit)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Sloan St (2nd St to Lake Dr)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Meadow Ln (Lake Dr. to Oaklawn)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
North Dr (Lake Dr to CGP)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
North Dr (CGP to CR 367)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Mallard Ln (CGP to Main St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TH Johnson (North to Main St)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
Northpark Blvd (TH Johnson to CGP)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
West Lake Dr (CGP to North Dr)	\$0	100.00%	33.59%	8.40%	58.01%	\$0	
TOTAL COLLECTORS	\$5,829,364	100.00%	33.59%	8.40%	58.01%	\$489,473	\$411.76
ROADWAYS CONSTRUCTION COST							
TOTAL	\$28,257,456					\$2,372,689	\$1,996.00

Consulting Company

MAJOR ARTERIALS CIP Service Area 2

TABLE 5B
CIP INVENTORY AND COSTING
Roadway Service Area 2

FACILITY TYPE/NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST 2023	CAPITAL COST TOTAL	COST PER LUE
<u>MAJOR ARTERIALS</u>							
Future Facilities		<u>%</u>					
Carlos G Parker Blvd S (Welch St to east City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
FM 973 (Carlos G Parker S to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Main St (Mallard Ln south to City Imits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
<u>TOTAL MAJOR ARTERIALS</u>		<u>\$0</u>	<u>100.00%</u>	<u>40.55%</u>	<u>9.82%</u>	<u>49.62%</u>	<u>\$0 \$0.00</u>

Consulting Company

MINOR ARTERIALS CIP Service Area 2

TABLE 5B
CIP INVENTORY AND COSTING
Roadway Service Area 2

FACILITY TYPE / NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LANE
<u>MINOR ARTERIALS</u>							
Future Facilities							
Windy Ridge (CGP to south, widening to 4 lane)	\$2,399,530	100.00%	40.55%	9.82%	49.62%	\$235,710	
Wesley Miller Lane (East of FM 973 to Windy Ridge)	\$1,890,013	100.00%	40.55%	9.82%	49.62%	\$185,660	
TCAT Road (west of Windy Ridge) (CGP to south City limits)	\$1,260,009	100.00%	40.55%	9.82%	49.62%	\$123,773	
Main St Sidewalk - Area 2 (Mallard south to City limits)	\$495,604	100.00%	40.55%	9.82%	49.62%	\$48,684	
Main St - Dahlberg Bvd Intersection Improvements (Dahlberg Blvd signal / turn lanes)	\$160,000	100.00%	40.55%	9.82%	49.62%	\$15,717	
E 4th St Sidewalk (Washburn St to Mariposa Lane)	\$127,106	100.00%	40.55%	9.82%	49.62%	\$12,486	
Gravel Pit Rd (4th St to north City limits)	\$4,200,030	100.00%	40.55%	9.82%	49.62%	\$412,577	
Windy Ridge (CGP to south, 2 lane)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Wesley Miller Lane (FM 973 to east)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
West 2nd St (Sloan St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Main St (Mallard south to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
East 4th Street (Main St E to CGP)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Gravel Pit Rd (CR 409) (East 4th St N to City limit)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Windy Ridge (CR405) (CGP S to City limits)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
TOTAL MINOR ARTERIALS	\$10,532,292	100.00%	40.55%	9.82%	49.62%	\$1,034,607	\$467.28

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In Association With
SLEDGE ENGINEERING LLC

COLLECTORS CIP Service Area 2

TABLE 5B
CIP INVENTORY AND COSTING
Roadway Service Area 2

FACILITY TYPE/NAME	CONSTRUCTION COST	FACILITY CAPACITY				2013-2023	
		TOTAL	FOR CURRENT USERS	2013-2023	POST-2023	CAPITAL COST TOTAL	COST PER LINE
COLLECTORS							
Future Facilities							
S Doak St SW (Welch to Rio Grande)	\$41,171	100.00%	40.55%	9.82%	49.62%	\$4,044	
Rio Grande St (CGP-S to S Doak)	\$1,312,509	100.00%	40.55%	9.82%	49.62%	\$128,930	
Rio Grande St (Bridge)	\$1,900,000	100.00%	40.55%	9.82%	49.62%	\$186,641	
4th St Sidewalk (Sloan St to Main St)	\$112,369	100.00%	40.55%	9.82%	49.62%	\$11,038	
7th St Sidewalk(Sloan St to Main St)	\$110,527	100.00%	40.55%	9.82%	49.62%	\$10,857	
Lake Dr Sidewalk (North Dr to Main St)	\$175,001	100.00%	40.55%	9.82%	49.62%	\$17,191	
South Edmond St (CGP to Welch)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Welch St (South Edmond to Doak St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Doak St (Welch St to Rio Grande St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Rio Grande St (S Doak St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Howard (2nd St to Lake Dr)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Davis (2nd St to Mallard)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
4th St (Sloan St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
7th St (Sloan St to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
West Lake Dr (North Dr to Main St)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
East Lake Dr (Main St to Gravel Pit Rd)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Old Thorndale Rd (Porter St to FM619)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
East Walnut St (Main St to City limit)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Southwood Hills Dr (Main St to Old Coupland Rd)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
Old Coupland Road (Southwood Hills to City limit)	\$0	100.00%	40.55%	9.82%	49.62%	\$0	
TOTAL COLLECTORS	\$3,651,577	100.00%	40.55%	9.82%	49.62%	\$358,701	\$162.01
ROADWAYS CONSTRUCTION COST							
TOTAL	\$14,183,869					\$1,393,308	\$629.29

TECHNICAL REQUIREMENTS: FEE CALCULATION

- ❖ Cannot Exceed Full Capital Cost per Unit
- ❖ Credits Given for Future Rate/Tax Payments
- ❖ Alternatively, Fee May be Cut in Half

Consulting Company

MAXIMUM ROADWAY IMPACT FEES

Area 1:

$$\begin{aligned} \$2,008.57 \times .50 &= \\ \$1,004.29 \end{aligned}$$

Area 2:

$$\begin{aligned} \$636.04 \times .50 &= \\ \$318.02 \end{aligned}$$

Costs include Study Costs

Consulting Company

IMPACT FEE ADVISORY COMMITTEE RECOMMENDED ROADWAY IMPACT FEES

**Area 1:
\$480**

**Area 2:
\$318**

TENTATIVE SCHEDULE FOR UPDATE OF ROADWAY IMPACT FEE

Date	Task
November 12	Meet with Advisory Committee on roadway fees; Committee notifies Council to call public hearing on fee update
December 12	Council passes resolution setting hearing.
December 13	City publishes notice of hearing; makes land use, CIP and fee information available to public; mails out certified notices.
January 15	Deadline for Advisory Committee comments submission to City Council.
January 23	Fee hearing. First reading of ordinance.
February 13	Second reading of ordinance.



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 15
Agenda Title: Consider proposals to remove the 1935 City Hall Building.
Council Action to be taken: Consider approval of proposals
Initiating Department: Planning and Development
Staff Contact: Bob van Til, Director

1. INTRODUCTION/PURPOSE

This item is to discuss the removal of the 1935 City Hall Building. The attached summary outlines the responses to a request for proposals.

The most competitive response is Sierra Demolition at \$49,775.

Camacho's response is \$95,000

Servpro's response is \$134,586

2. DESCRIPTION/ JUSTIFICATION

In the summer of 2013, Council directed staff to discern the cost of removing the 1935 City Hall located on the north side of Heritage Park.

Specifications were drawn up and circulated to contractors who are registered on the TIPS/TASPS purchasing cooperative. In total, five companies were contacted.

The specifications for the 1935 City Hall included:

- Demolition/Deconstruction of the building, including asbestos abatement,
- Saving at least 500 façade bricks,
- Removing the time capsule,
- Retaining
 - Several of the architectural features above the doors and windows,
 - Retaining the dedication plaques,
 - The identification signs ("Taylor Fire Department" and "Taylor City Hall" signs)
- Alternates include: back fill and sodding the area with grass.

Three responses were received on November 15, 2013: Camacho Demolition, LLC. From Corpus Christie, Sierra Demolition from Round Rock, and Servpro, Inc. from Lake Arlington, Texas. A summary of their proposals is attached.

In addition to requesting proposals to remove the 1935 City Hall, staff included the 1920 West End School (located on W. 4th). Those costs are also included.

3. FINANCIAL/BUDGET

The cost of the removal as proposed by Sierra is \$49,775. Staff recommends that the funds come from the General Fund Reserves.

City staff will backfill and sod the area after the building is gone.

4. TIMELINE CONSIDERATIONS

The estimated time to complete the removal by the contractor is about 25 to 30 days. Should the Council want to proceed with the project, it most likely will need to be started after the school year ends in June.

5. RECOMMENDATION

Should the Council decide to remove the building, staff recommends that the project be awarded to Sierra Demolition in the amount of \$49,775.00

Should the Council decide the remove the 1920 West End School Building, staff recommends that the project be awarded to Sierra demolition in the amount of \$25,287.00

6. REFERENCE FILES

- 15a. [Summary of Proposals](#)
- 15b. [Removal specifications](#)

Individual Responses:

- 15c. [Sierra](#)
- 15d. [Camacho](#)
- 15e. [Servpro](#)

Proposal Summary

VENDOR CITY TIPS/TAPS	Camacho Corpus Christie Info Pending	Sierra Round Rock Info Pending	Servpro Lake Arlington, TX Yes
1935 Building Working Days	45	30	34
Removal	\$95,000.00	\$49,774.75	\$134,586.00
Alternates			
Backfill	\$15,000.00	\$16,068.00	\$22,692.00
Sod	\$2,500.00	\$3,914.00	\$9,865.00
Sub-Total:	\$112,500.00	\$69,756.75	\$167,143.00
1920 Building Working Days	45	25	29
Removal	\$62,000.00	\$25,286.50	\$75,663.00
Alternates:			
Backfill	\$8,500.00	\$9,645.95	\$4,392.00
Sod	\$2,500.00	\$2,966.40	\$4,656.00
Sub-Total:	\$73,000.00	\$37,898.85	\$84,711.00
Total	\$185,500.00	\$107,655.60	\$251,854.00
Totals with out alternates	\$157,000.00	\$75,061.25	\$210,249.00

City of Taylor, Texas
Demolition Specifications
Bid Packet

1935 City Hall; Alternate 1920 “West End School”

Owner: City of Taylor, Texas

Contact person:

Bob van Til, Director of Planning and Development

bob.vantil@taylortx.gov

512-352-5990 x 16

Alternate contact:

Mr. Casey Sledge, Contract City Engineer

casey@sledge.biz

512-484-2932

Project

Objective: Project #1 - Demolish/deconstruct the 1935 City Hall, jail in the basement, tower, perimeter sidewalk, and twenty (20) feet of concrete on the east side of the building

Project #2 - Demolish/deconstruct former school building and sidewalk located at 1301 Ferguson Street.

Desired Outcomes: Complete legal demolition and removal, save and except the recycled materials, of a municipal office building leaving level mowable land free of any debris with grass.

PROJECT #1 - 1935 OLD CITY HALL

Location/Address: 400 N. Main Street, Taylor Texas. In the north side of Heritage Square; south of E. 5th Street between N. Main and Porter Street.

See Attachment “A” - Site Plan, prepared by Komatsu Architects in 2000

See Attachment “B” - Floor Plans, prepared by Komatsu Architects in 2000

Attachment “C” – Terracon Asbestos Survey

City of Taylor, Texas
Demolition Specifications
Bid Packet
Year constructed: 1935

Type of Construction: Wood frame with brick veneer; concrete floor (old fire station), concrete basement (Jail). Inactive electrical, plumbing, and HVAC systems.

Machinery and equipment: Tower on the north side of the building

Previous use: Municipal use, administration, court, fire station, jail.

Current Use/Existing conditions: vacant

Current general condition: weakened floors, compromised foundation, leaking roof, water rot/damage, cracked walls.

Overall Size: 11,300 SF

Floors: 1 and one-half with basement

First floor, former city hall: 4,016 SF

First floor, former fire station: 2,506 SF

Second floor, former fire station dormitory: 2,529 SF

Basement, jail: 2,249 (below grade)

Crawlspace, under the building: 1,896 SF (not included in the total SF'g)

Topography: flat.

Utilities: Will be disconnected by owner.

Protective Fencing: provided by owner (some existing now)

Protected features: trees, park benches, irrigation system in the park, adjacent portable school building (approximately 27' away from the east side of the building), walkway to Main Street.

Erosion Control: provided by contractor, approved by owner

Noise: Contractor will ensure that work will commence during normal and customary working hours only, from 7 am to 7 pm. Monday through Saturday. Extended hours may be approved by owner. No work shall occur on Sundays.

Dust: Contractor will ensure that dust will be contained on the site.

Vibration: Contractor will ensure that vibrations will be kept to a minimum

City of Taylor, Texas
Demolition Specifications
Bid Packet

Safety: Contractor will ensure that all necessary precautions will be taken to ensure the safety of the public, the City, and personnel retained by the contractor

Scheduling: Contractor shall submit a schedule to the owner for owner approval.

Work sequence: Contractor shall submit to the owner a work sequence schedule of events for owner approval prior to working commencing

Hazardous materials

Asbestos: a limited asbestos survey was conducted in 2006. Owner will update the survey and provide a mitigation schedule to the contractor. Contractor shall dispose of asbestos in an approved manner in accordance with all applicable federal, state, and local laws, rules, regulations and policies, including but not limited to daily licensed observation/testing of abatement process.

Recycling/recapture/deconstruction:

The owner desires to keep the time capsule located in the corner stone of the building.

The owner desires to salvage and keep a minimum of 500 whole façade bricks. These will need stacked and stored in a location approved by the City.

Owner desires to keep several architectural treatments that exist above the doors and windows (aka ‘zig-zags’) as well as above and around the main entrance.

The owner also desires to salvage the three (3) dedication plaques located on the west, south, and east sides of the building.

The owner also desires to keep two (2) signs that identify the building: the “Taylor Fire Department” sign on the east side of the building and the “1935 City hall” sign on the west side of the building.

The contractor is encouraged to recycle as much of the materials as possible and to deconstruct the building as much as is feasible.

Backfill: Contractor shall provide an alternate bid to backfill the site

City of Taylor, Texas
Demolition Specifications
Bid Packet
PROJECT #2 - WEST END SCHOOL

Location/Address: 1301 Ferguson Street, Taylor Texas. Adjacent to the Taylor Headstart School

See Attachment "D" - Site Plan

Attachment "E" – Terracon Asbestos Survey

Year constructed: 1920

Type of Construction: Concrete with brick veneer; wood floors, window trim. No active HVAC, electrical, or plumbing.

Machinery and equipment: None

Previous use: school building, fire training facility

Current Use/Existing conditions: vacant

Current general condition: weakened floors, compromised foundation, leaking roof, water rot/damage, cracked walls.

Over all Size: 9,022 SF

Floors: Two

First floor: 4,511 SF

First floor: 4,511 SF

Topography: flat.

Utilities: Will be disconnected by owner.

Protective Fencing: provided by owner

Protected features: trees, playground, basketball court and light, existing fencing

Erosion Control: provided by contractor, approved by owner

Noise: This building is located in a residential area and next to a school for young children. Contractor will ensure that work will commence during normal and customary working hours only, from 7 am to 7 pm. Monday through Saturday. Extended hours may be approved by owner. No work shall occur on Sundays.

Dust: Contractor will ensure that dust will be contained on the site.

City of Taylor, Texas
Demolition Specifications
Bid Packet

Vibration: Contractor will ensure that vibrations will be kept to a minimum

Safety: Contractor will ensure that all necessary precautions will be taken to ensure the safety of the public, the City, and personnel retained by the contractor

Scheduling: Contractor shall submit a schedule to the owner for owner approval.

Work sequence: Contractor shall submit to the owner a work sequence schedule of events for owner approval prior to working commencing

Hazardous materials

Asbestos: see attachment "E"

Recycling/recapture/deconstruction: N/A

Backfill: Contractor shall provide an alternate bid to backfill the site

GENERAL REQUIREMENTS

Experience of the contractor: Contractor shall demonstrate sufficient experience to demonstrate a competency to do this work. Submit at least three references.

Contractor shall submit the names and experience of the primary staff responsible for the project.

Payment: the Contractor will be paid in full upon completion of the work and subject to the satisfaction and approval of the City.

Complete the attached Proposal Form.

Incomplete proposals will be rejected.

The City reserves the right to reject any and all proposals.

City of Taylor, Texas
Demolition Specifications
Bid Packet

PRICING.

Contractor name:

Contractor Address:

Contractor Phone and email address:

Contractor EIN:

PROJECT #1 - 1935 CITY HALL PROJECT

Demolition/deconstruction price:

Alternate price:

Alternate price #1:

Back fill the jail area price:

Alternate price #2:

Sod the affected area price: (type and method subject to owner approval)

PROJECT #2 - WEST END SCHOOL

Demolition/deconstruction price:

Alternate prices:

Alternate price #1:

Back fill price:

Alternate price #2:

Sod the affected area price: (type and method subject to owner approval)

Attachments to the bid form:

Evidence of liability insurance in the amount of \$1,000,000 per occurrence. Add the City as additionally insured if awarded the project.

Performance bond in the amount of the bid.

Time commitment to complete the job from the award date.

City of Taylor, Texas
Demolition Specifications
Bid Packet
Attach a Safety Plan

Access/egress plan

Schedule of equipment: contractor shall submit a schedule of equipment and when they will be used on the site.

Printed name of Responder

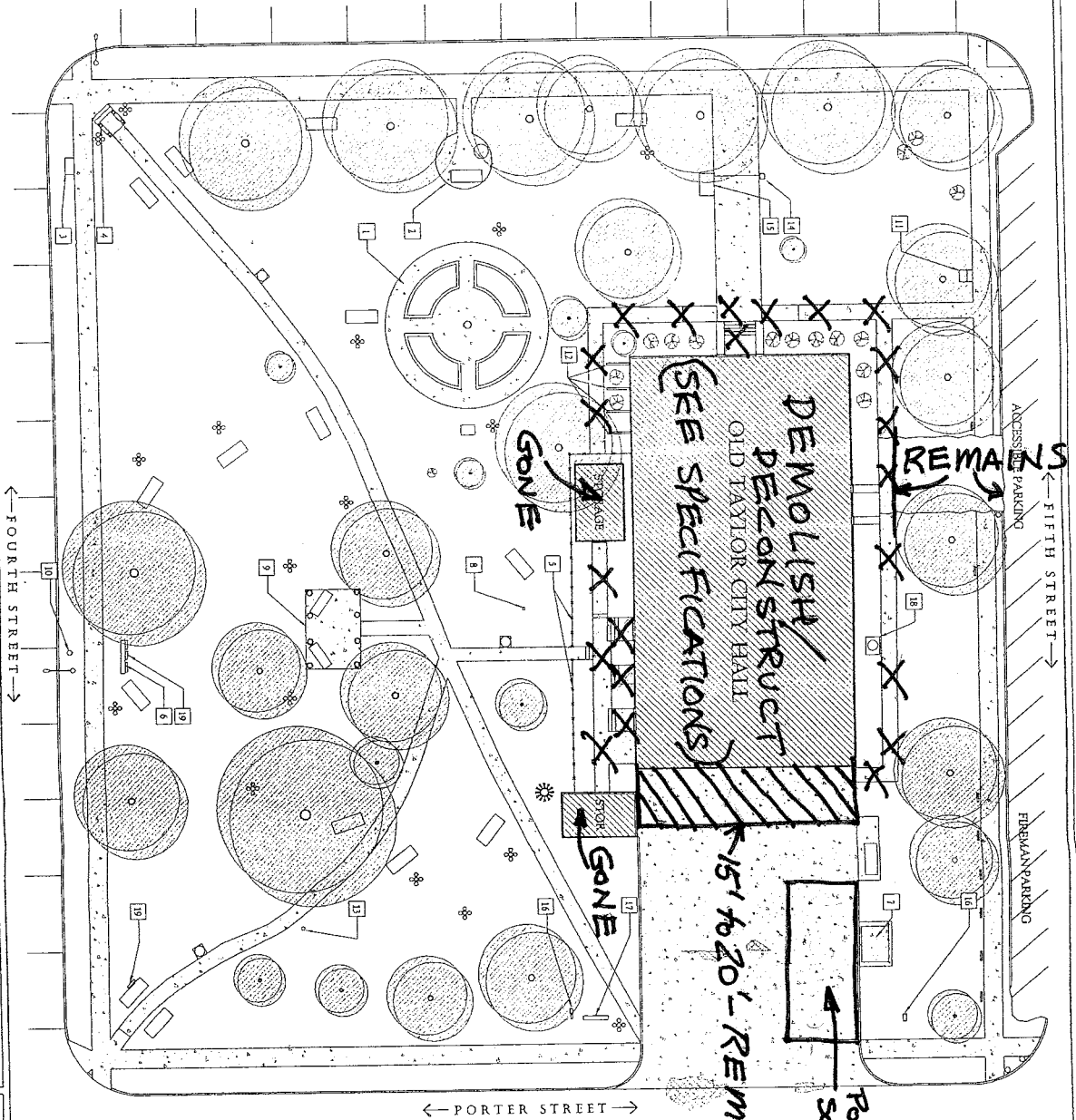
Signature of Responder.

Date:

Exhibit A
← MAIN STREET →

KOMATSU
ARCHITECTS

OLD TAYLOR CITY HALL
TAYLOR, TEXAS
PRESERVATION MAINTENANCE MASTER PLAN



NOTES BY SYMBOL □

1. EXPOSED AGGREGATE FINISH CONCRETE FLAG POLE PLATFORM W/ PLANTERS
2. CIRCULAR CONCRETE PLATFORM W/ BENCH AND WATER FOUNTAIN
3. PUBLIC PAYPHONE
4. ENTRY ARCHWAY FEATURE
5. 6' WOOD FENCE
6. HERITAGE PARK SIGN
7. TRASH DUMPSTER ON CONCRETE PAD
8. CONCRETE MARKER
9. PERCOLA W/ TWO BENCHES
10. UTILITY POLE
11. MARKER FOR PECAN TREE
12. BRACING
13. WATER FAUCET
14. MARGER - CITY COMMISSIONERS 1934
15. HISTORICAL MARKER - CITY OF TAYLOR
16. METER BOX
17. TAYLOR FIRE DEPARTMENT SIGN
18. ANTENNA POLE
19. ELECTRIC SERVICE

X = REMOVE
LEGEND

- ☼ DECORATIVE LIGHT STANDARD
- BENCH W/ CONCRETE BASE
- STREET LIGHT
- ☼ PUBLIC WARNING SYSTEM
- ☼ TRASH RECEPTICAL ON CONC BASE
- PARKING SIGN
- ☼ TREE
- ☼ SHRUB
- CONCRETE WALK/DRIVE
- ASPHALT
- ▨ DRIVE/STREET DETRIORATION



EXISTING SITE PLAN

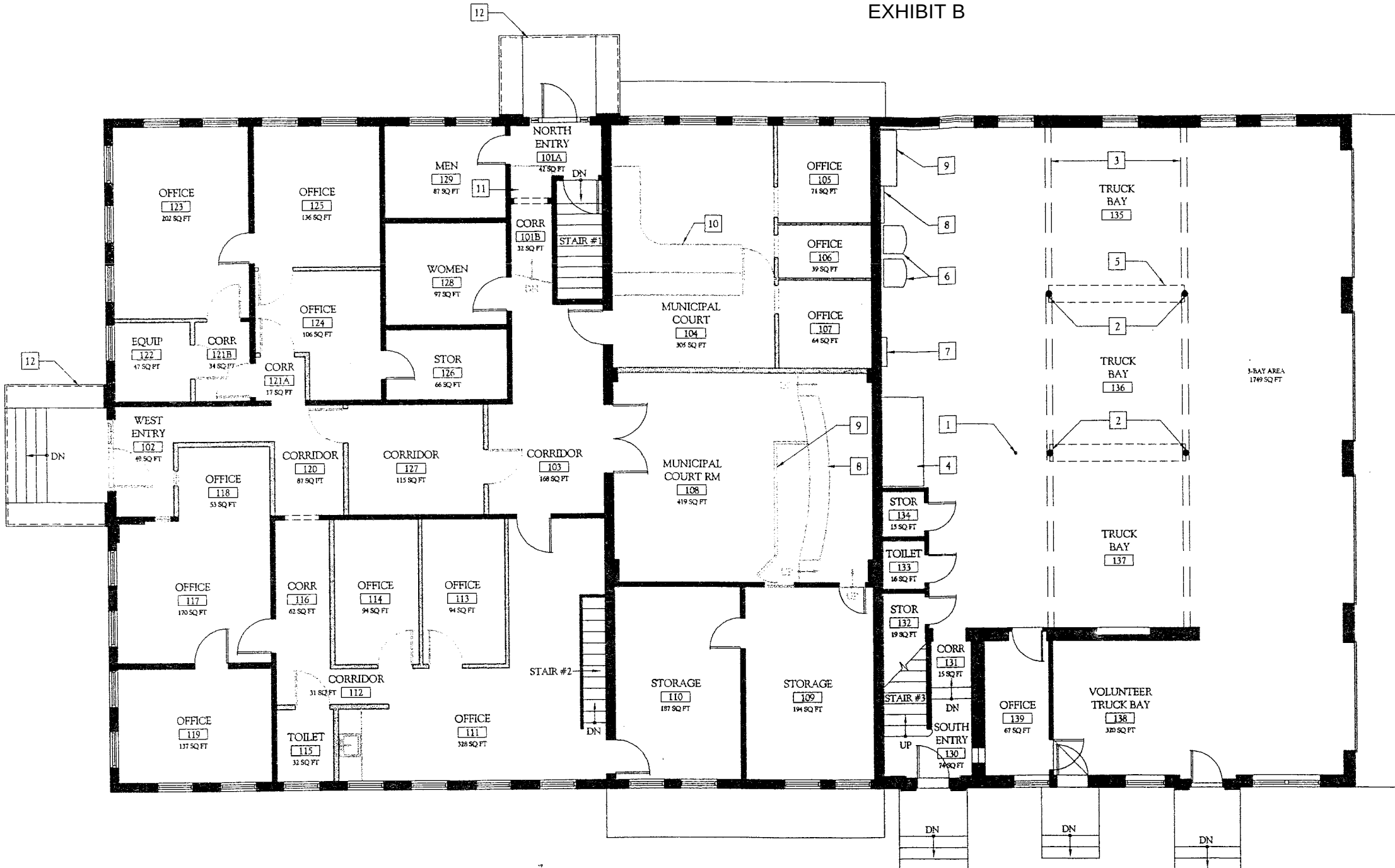
EXHIBIT B

NOTES BY SYMBOL 0

1. FIRE POLE
2. 6-1/2" O.D. STEEL COLUMN
3. STEEL STRUCTURAL BEAM
4. ROLLED HOSE RACK
5. DASHED LINE INDICATES SHELVES BETWEEN COLUMNS FOR EQUIPMENT STORAGE
6. SODA MACHINE
7. ELECTRIC SERVICE
8. COURT TABLE @ RAISED PLATFORM
9. WOOD RAILING WITH GATE
10. RECEPTION DESK
11. RAMP
12. DASHED LINE INDICATES AWNING ABOVE
13. HOT WATER HEATER
14. FIRE EXTINGUISHER
15. FIRE POLE
16. BUILT IN CABINET
17. AWNING BELOW
18. STEEL SUPPORT RODS
19. SHOWER

FIRST FLOOR
6522 SQ. FT. - GROSS SQUARE FOOTAGE

NOTE:
GREY WALLS AND ELEMENTS ARE NON
ORIGINAL AND NON-CONTRIBUTING



GRAPHIC SCALE: $3/32'' = 1'-0''$

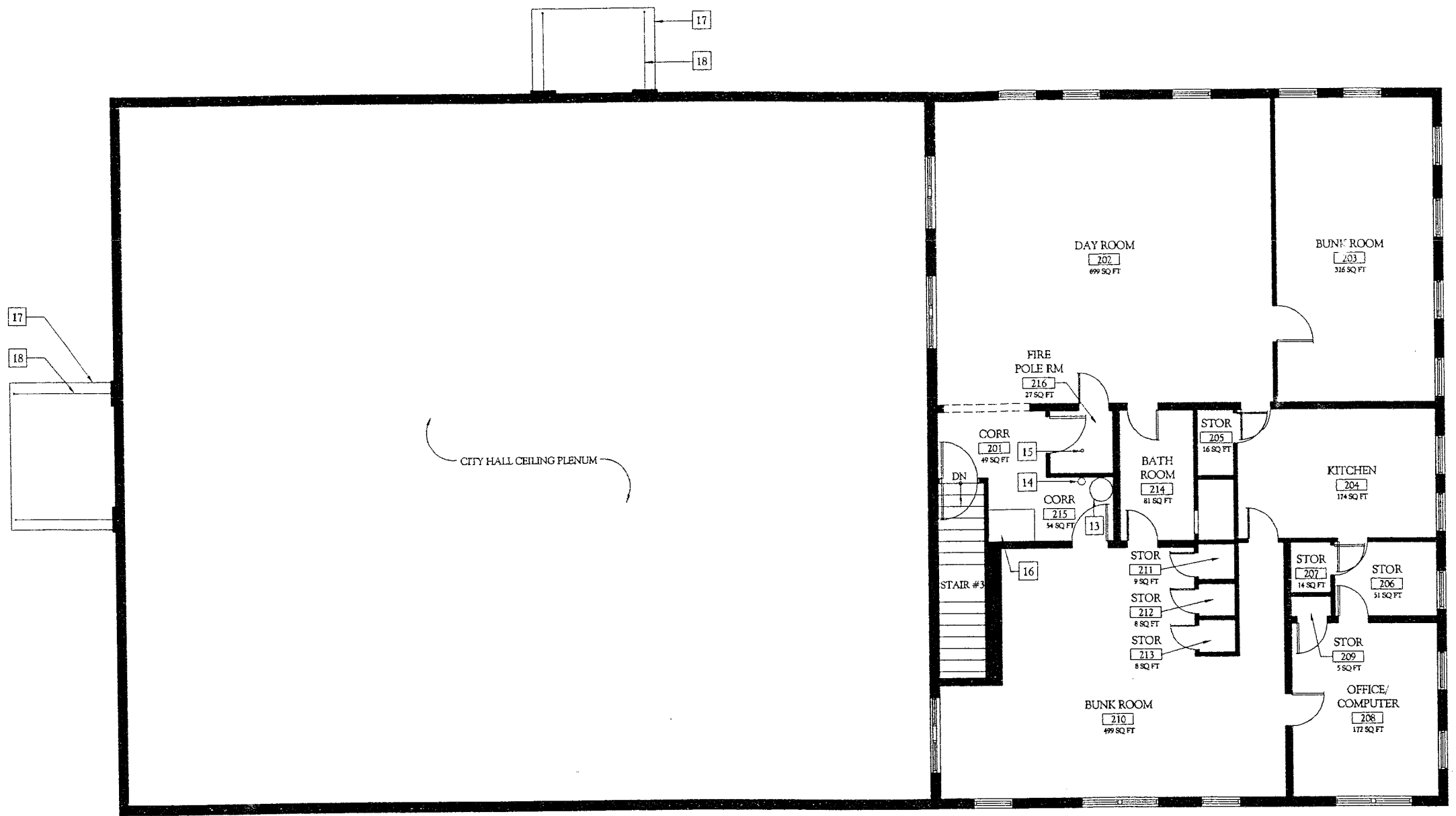
EXHIBIT B

NOTES BY SYMBOL "0"

- 1. FIRE POLE
- 2. 6-1/2" O.D. STEEL COLUMN
- 3. STEEL STRUCTURAL BEAM
- 4. ROLLED HOSE RACK
- 5. DASHED LINE INDICATES SHELVES BETWEEN COLUMNS FOR EQUIPMENT STORAGE
- 6. SODA MACHINE
- 7. ELECTRIC SERVICE
- 8. COURT TABLE @ RAISED PLATFORM
- 9. WOOD RAILING WITH GATE
- 10. RECEPTION DESK
- 11. RAMP
- 12. DASHED LINE INDICATES AWNING ABOVE
- 13. HOT WATER HEATER
- 14. FIRE EXTINGUISHER
- 15. FIRE POLE
- 16. BUILT IN CABINET
- 17. AWNING BELOW
- 18. STEEL SUPPORT RODS
- 19. SHOWER

SECOND FLOOR
2529 SQ. FT. - GROSS SQUARE FOOTAGE

NOTE:
GREY WALLS AND ELEMENTS ARE NON-ORIGINAL AND NON-CONTRIBUTING



GRAPHIC SCALE: 3/32" = 1'-0"



KOMATSU
ARCHITECTURE

OLD TAYLOR CITY HALL
TAYLOR, TEXAS
PRESERVATION MAINTENANCE MASTER PLAN

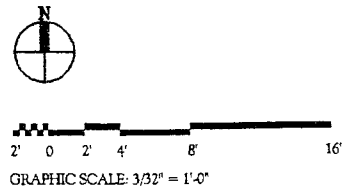
SECOND FLOOR PLAN - EXISTING

EXHIBIT B

GENERAL NOTES

- 1. ALL JAIL FLOORS ARE FLAT CONCRETE SLABS.
- 2. WALLS CONSTRUCTED OF CAST-IN-PLACE CONCRETE AND/OR CONCRETE GRADE BEAMS SUPPORTING LOAD BEARING MASONRY.
- 3. COLUMNS ARE CAST-IN-PLACE CONCRETE.
- 4. FIRST FLOOR ABOVE IS CONSTRUCTED OF WOOD FRAMING.
- 5. THE MAJORITY OF EXISTING DOORS ARE ORIGINAL WOOD PANEL ASSEMBLIES.
- 6. CELLS CONSTRUCTED OF STEEL JAIL BARS/DOORS.

BASEMENT
4145 SQ. FT. - GROSS SQUARE FOOTAGE



COMPREHENSIVE ASBESTOS SURVEY

**Former City Hall and Fire Station
401 North Main
Taylor, Texas**

Terracon Project No. 96137379
September 17, 2013



Prepared for:
City of Taylor
Taylor, Texas

Prepared by:
Terracon Consultants, Inc.
Austin, Texas

Offices Nationwide
Employee-Owned

Established in 1965
terracon.com

Terracon

Geotechnical ■ Environmental ■ Construction Materials ■ Facilities



September 17, 2013

City of Taylor, Texas
400 Porter Street
Taylor, Texas

Attention: Mr. Bob van Til, AICP, CECd
Director of Planning and Development

Phone: 512-352-5990 x 16
Mobile: 512-563-2347
E-mail: bob.vantil@taylortx.gov

Re: Comprehensive Asbestos Survey
Former City Hall and Fire Station
401 North Main
Taylor, Texas
Terracon Project No. 96137379

Mr. van Til:

The purpose of this report is to present the results of the asbestos survey performed on August 14, 2013, at the above referenced building in Taylor, Texas. This survey was conducted in general accordance with our Proposal dated July 12, 2013. We understand the purpose of this survey is to identify and quantify asbestos-containing materials (ACM) associated with the former City Hall and Fire Station building currently on the site prior to possible demolition or renovation operations.

Non-friable asbestos-containing materials were identified in the rolled roofing and joint/crack caulking materials associated with the roof of the Former City Hall Building. The black chalkboard materials associated with the Fire Station Building were assumed to be non-friable asbestos-containing materials based on observation by the Inspector.

The Client provided an Asbestos Inspection Report prepared by Kleinfelder on January 26, 2006. Terracon confirmed site conditions, located and quantified the previously identified non-friable asbestos-containing materials discussed in the previous report. Non-friable asbestos-containing 9"x9" green, tan-gold, and peach colored floor tile and associated black mastic materials, exterior window glazing materials, and drywall construction materials were identified and remain in the Former City Hall Building. Non-friable asbestos-containing red brick patterned and diamond/floral patterned sheet flooring materials and sink undercoating were identified and remain in the Fire Station Building. Please refer to the attached report for details.

EXHIBIT C

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
September 17, 2013 ■ Terracon Project No. 96137379

Terracon

Terracon Consultants, Inc. (Terracon) appreciates the opportunity to provide this service to City of Taylor, Texas. If you have any questions regarding this report, please contact the undersigned at 512-442-1122.

Sincerely,

Terracon

Project Manager/Reviewed by:



Richard Ian Howes
Individual Asbestos Consultant
TDSHS License 10-5406

Inspector:



Kenneth Williamson
Asbestos Inspector
TDSHS License 60-0050

TABLE OF CONTENTS

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2.0	BUILDING DESCRIPTION.....	2
3.0	FIELD ACTIVITIES	2
	3.1 Visual Assessment	2
	3.2 Physical Assessment	2
	3.3 Sample Collection	2
	3.4 Sample Analysis.....	3
4.0	REGULATORY OVERVIEW	3
5.0	FINDINGS AND RECOMMENDATIONS.....	5
6.0	GENERAL COMMENTS	6

LIST OF APPENDICES

APPENDIX A ASBESTOS SURVEY SAMPLE SUMMARY

APPENDIX B CONFIRMED ASBESTOS-CONTAINING MATERIALS

APPENDIX C ASBESTOS ANALYTICAL LABORATORY DATA

APPENDIX D PREVIOUS ASBESTOS INSPECTION REPORT(S)

APPENDIX E CERTIFICATIONS

APPENDIX F SAMPLE LOCATION MAP

ASBESTOS SURVEY REPORT

Former City Hall and Fire Station

401 North Main

Taylor, Texas

Terracon Project No. 96137379

1.0 INTRODUCTION

Terracon Consultants, Inc. (Terracon) conducted an asbestos survey of the Former City Hall and Fire Station Buildings located at 401 North Main in Taylor, Texas. The survey was conducted on August 14, 2013, by a State of Texas licensed Asbestos Inspector in general accordance with Terracon Proposal dated July 12, 2013. Interior and exterior building components were surveyed and homogeneous areas of suspect asbestos-containing materials (ACM) were visually identified and documented. Although reasonable effort was made to survey accessible suspect materials, additional suspect but unsampled materials could be located in walls, in voids or in other concealed areas. Suspect ACM samples were collected in general accordance with the sampling protocols outlined in EPA regulation 40 CFR 763 (Asbestos Hazard Emergency Response Act, AHERA). Samples were delivered to an accredited laboratory for analysis by Polarized Light Microscopy (PLM).

1.1 Project Objective

The Client provided an Asbestos Inspection Report prepared by Kleinfelder on January 26, 2006. Terracon confirmed site conditions, located and quantified the previously identified non-friable asbestos-containing materials discussed in the previous report. Non-friable asbestos-containing 9"x9" green, tan-gold, and peach colored floor tile and associated black mastic materials, exterior window glazing materials, and drywall construction materials were identified and remain in the Former City Hall Building. Non-friable asbestos-containing red brick patterned and diamond/floral patterned sheet flooring materials and sink undercoating were identified and remain in the Fire Station Building. Please refer to Appendix B of this Report for details and a copy of the Report is included in Appendix D.

We understand that this survey was requested to identify and quantify asbestos-containing materials (ACM) associated with the Former City Hall and Fire Station building as well as any additional materials that were not identified in the original survey performed by Kleinfelder on January 26, 2006. The Texas Asbestos Health Protection Rules and EPA regulation 40 CFR 61, Subpart M, The National Emission Standards for Hazardous Air Pollutants (NESHAP) requires that an asbestos survey be performed prior to renovation or demolition activities.

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
September 17, 2013 ■ Terracon Project No. 96137379

**2.0 BUILDING DESCRIPTION**

The Former City Hall building is a one-story masonry and frame structure atop a concrete slab-on-grade foundation. The roof is a flat built-up membrane system. Interior walls consisted of plaster and gypsum wallboard with a painted and textured finish. Resilient floor tile materials were observed in the majority of the building. Ceilings throughout the approximately 3,700 square foot building were finished with a suspended ceiling system.

The Fire Station building is a two-story frame and masonry block structure atop a concrete slab-on-grade foundation. The roof is a flat built-up membrane system on the majority of the roof and asphaltic shingle system on the gabled section of the roof. Interior walls consisted of plaster with a painted and textured finish. Resilient floor tile and sheet flooring materials were observed in the majority of the building other than in the Truck Bay. Ceilings throughout the approximately 4,700 square foot building were finished with a suspended ceiling system.

3.0 FIELD ACTIVITIES

The survey was conducted by Mr. Kenneth Williamson (License No. 60-0050) a TDSHS licensed Asbestos Inspector. A copy of Mr. Williamson's asbestos inspector license is attached as Appendix E. The survey was conducted in general accordance with the sample collection protocols established in EPA regulation 40 CFR 763 (AHERA). A summary of survey activities is provided below.

3.1 Visual Assessment

Our survey activities began with visual observation of the interior and exterior areas of the buildings to identify homogeneous areas of suspect ACM. A homogeneous area consists of building materials that appear similar throughout in terms of color, texture and date of application. Interior assessment was conducted throughout visually accessible areas of the Suite. Building materials identified as concrete, glass, wood, masonry, metal or rubber were not considered suspect ACM.

Suspect materials located behind mirrors or beneath ceramic tile were not sampled in order to prevent excessive damage to the material. Suspect materials, such as mastic or thin set, should be sampled prior to renovation activities if the activities will disturb the materials.

Asbestos Survey
Former City Hall and Fire Station ■ Taylor, Texas
September 17, 2013 ■ Terracon Project No. 96137379



3.2 Physical Assessment

A physical assessment of each homogeneous area of suspect ACM was conducted to assess the friability and condition of the materials. A friable material is defined by the EPA as a material which can be crumbled, pulverized or reduced to powder by hand pressure when dry. Friability was assessed by physically touching suspect materials.

3.3 Sample Collection

Based on results of the visual observation, bulk samples of suspect ACM were collected in general accordance with AHERA sampling protocols. Random samples of suspect materials were collected in each homogeneous area. Sample team members collected bulk samples using wet methods as applicable to reduce the potential for fiber release. Samples were placed in sealable containers and labeled with unique sample numbers using an indelible marker.

Twenty-one (21) bulk samples were collected from seven (7) homogeneous areas of suspect ACM. A summary of suspect ACM samples collected during the survey is included as Appendix A.

3.4 Sample Analysis

Bulk samples were submitted under chain of custody to Omni Environmental, Inc. of Austin, Texas for analysis by PLM with dispersion staining techniques per EPA's Method for the Determination of Asbestos in Bulk Building Materials (600/R-93-116). The percentage of asbestos, where applicable, was determined by microscopical visual estimation. Omni is accredited under the National Voluntary Laboratory Accreditation Program (NVLAP Accreditation No. 102061-0) and licensed by the TDSHS (License No. 300087).

4.0 REGULATORY OVERVIEW

The State of Texas has established the Texas Asbestos Health Protection Rules (TAHPR) which requires any asbestos-related activity to be performed by an individual licensed by the State of Texas, through the TDSHS. An asbestos related activity consists of the disturbance (whether intentional or unintentional), removal, encapsulation, or enclosure of asbestos, including preparations or final clearance, the performance of asbestos surveys, the development of management plans and response actions, asbestos project design, the collection or analysis of asbestos samples, monitoring for airborne asbestos, bidding for a contract for any of these activities, or any

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
September 17, 2013 ■ Terracon Project No. 96137379



other activity required to be licensed under TAHPR.

Abatement must be performed by a State of Texas licensed asbestos abatement contractor in accordance with a project design prepared by a State of Texas licensed asbestos consultant. In addition, third party air monitoring must be conducted during the abatement activities.

The asbestos NESHAP (40 CFR Part 61 Subpart M) regulates asbestos fiber emission and asbestos waste disposal practices. It also requires the identification and classification of existing building materials prior to demolition or renovation activity. Under NESHAP, asbestos containing building materials are classified as either friable, Category I non-friable or Category II non-friable ACM. Friable materials are those that, when dry, may be crumbled, pulverized or reduced to powder by hand pressure. Category I non-friable ACM includes packing, gaskets, resilient floor coverings and asphalt roofing products containing more than 1% asbestos. Category II non-friable ACM are any materials other than Category I materials that contain more than 1% asbestos.

Friable ACM, Category I and II non-friable ACM which is in poor condition and has become friable or which will be subject to drilling, sanding, grinding, cutting, or abrading and which could be crushed or pulverized during anticipated renovation or demolition activities are considered regulated ACM (RACM). RACM must be removed prior to renovation or demolition activities.

The TAHPR and NESHAP require that written notification be submitted before beginning renovation projects which include the disturbance of any asbestos-containing material (ACM) in a building or facility, or before the demolition of a building or facility, even when no asbestos is present. This written notification must be provided to the TDSHS at least 10 working days prior to the commencement of asbestos abatement or demolition activities. Removal of RACM must be conducted by a State of Texas licensed asbestos contractor. In addition, third party air monitoring must be performed during the abatement.

The OSHA Asbestos standard for the construction industry (29 CFR 1926.1101) regulates workplace exposure to asbestos. The OSHA standard requires employee exposure to airborne asbestos fibers be maintained below 0.1 asbestos fibers per cubic centimeter of air (0.1 f/cc).

The OSHA standard classifies construction and maintenance activities which could disturb ACM and specifies work practices and precautions which employers must follow

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
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when engaging in each class of regulated work. States that administer their own federally approved state OSHA programs may require other precautions.

5.0 FINDINGS AND RECOMMENDATIONS

Three (3) of the homogeneous materials sampled and analyzed as part of this study were found to contain asbestos.

- **Rolled Roofing** – The gray/black, rolled roofing materials utilized on the Former City Hall Building roof were found to contain 5% Chrysotile asbestos. The asbestos-containing rolled roofing materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 3,700 square feet of these materials in the above listed areas.
- **Joint/Crack Caulking** – The light gray on black, roof caulking materials utilized on the Former City Hall Building roof at the parapet seams and cracks were found to contain 20% Chrysotile asbestos. The asbestos-containing roof caulking materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 190 linear feet of these materials in the above listed areas.
- **Chalkboard (Assumed)** – The black, chalkboard materials observed in the 1st Floor Dispatch Area and 2nd Floor Training Room in the Fire Station Building were assumed to contain asbestos. The asbestos-containing chalkboard materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 64 square feet of these materials in the above listed areas.

The Client provided an Asbestos Inspection Report prepared by Kleinfelder on January 26, 2006. Terracon confirmed site conditions, located and quantified the previously identified non-friable asbestos-containing materials discussed in the previous report. Please refer to Appendix B of this Report for details and a copy of the Report is included in Appendix D.

Seven (7) of the homogeneous materials sampled and analyzed by Kleinfelder in the January 26, 2006 report were found to contain asbestos.

- **Resilient Floor Tile** – The green, 9" x 9" resilient floor tile materials and black mastic utilized in the Former City Hall Building in Rooms 101, 102, and 116 were found to contain 5% Chrysotile asbestos in the floor tile and mastic. The

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
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asbestos-containing resilient floor tile materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 1,000 square feet of these materials in the above listed areas.

- Resilient Floor Tile – The tan-gold, 9" x 9" resilient floor tile materials and clear yellow mastic utilized in the Former City Hall Building in Room 115 and the east half of Room 105 were found to contain 2% Chrysotile asbestos. The asbestos-containing resilient floor tile materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 300 square feet of these materials in the above listed areas.
- Resilient Floor Tile – The peach, 9" x 9" resilient floor tile materials and black mastic utilized in the Former City Hall Building in Rooms 108-112 were found to contain 10% Chrysotile asbestos in the floor tile and mastic. The asbestos-containing resilient floor tile materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 850 square feet of these materials in the above listed areas.
- Drywall Construction – The drywall construction materials with joint compound utilized in the Former City Hall Building on the walls of Rooms 101-103, 107, 116, and the dividing wall between Rooms 110 and 111 was found to contain 2% Chrysotile asbestos. The asbestos-containing drywall construction materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 2,200 square feet of these materials in the building.
- Sheet Flooring – The red sheet flooring materials with a brick pattern utilized on the 2nd Floor Restroom of the Fire Station Building were found to contain 10% Chrysotile asbestos. The asbestos-containing sheet flooring materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 60 square feet of these materials in the 2nd Floor Restroom of the Fire Station Building.
- Sink Undercoating – The black sink undercoating materials utilized in the 2nd Floor Kitchen of the Fire Station Building were found to contain 2% Chrysotile asbestos. The asbestos-containing sink undercoating materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 6 square feet of these materials in the 2nd Floor Kitchen of the Fire Station Building.

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
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- Sheet Flooring – The sheet flooring materials with a diamond/floral pattern utilized under the counter in the 2nd Floor Kitchen of the Fire Station Building was found to contain 30% Chrysotile asbestos. The asbestos-containing sheet flooring materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 25 square feet of these materials in the 2nd Floor Kitchen of the Fire Station Building.
- Exterior Window Glazing – The white, window glazing materials utilized on the exterior windows throughout the Former City Hall Building were found to contain 2% Chrysotile asbestos. The asbestos-containing window glazing materials identified were noted to be in good condition and were assessed as being non-friable. It is estimated that there exists approximately 300 linear feet of these materials in the approximately 21 windows on the Former City Hall and the Fire Station Buildings.

None of the other suspect building materials sampled and analyzed were found to contain asbestos.

It should be noted that suspect materials, other than those identified during the January 26, 2006 (Kleinfelder) and Terracon's August 14, 2013 survey may exist within inaccessible areas of the building. Should suspect materials other than those which were identified during this survey be uncovered prior to or during the renovation process, those materials should be assumed asbestos-containing until sampling and analysis can confirm or deny their asbestos content.

A summary of the classification, condition and approximate quantity of confirmed ACM are presented in Appendix B. Laboratory analytical reports are included in Appendix C.

If the Client does not intend to renovate or demolish the buildings, the asbestos-containing materials associated with the buildings, should be managed in place. This in-place management should include such operations as repairing any damaged materials which are not removed as part of any renovation operations, protecting the remaining asbestos-containing materials from further damage, and developing a plan to periodically monitor the condition of the asbestos-containing materials. Notification of the presence of the materials should also be made to residents, employees and outside contractors so that they do not inadvertently disturb the remaining asbestos-containing materials.

As it is understood demolition operations which could disturb the asbestos-containing materials located within the interior and exterior areas of the structures are to be

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas
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conducted, it is recommended that the affected materials be removed. It is recommended that any removal of asbestos-containing materials associated with the interior areas of the structures be conducted by trained and licensed asbestos abatement personnel working under the requirements of the TDSHS Texas Asbestos Health Protection Rules.

According to TDSHS Texas Asbestos Health Protection Rules, a removal project involving the removal of more than 160 square feet or 260 linear feet of asbestos-containing materials would need to be designed by a licensed Individual Asbestos Consultant. Air monitoring by a licensed third-party Air Monitor would be required during the actual removal work regardless of the size of the project. Terracon would be pleased to provide a proposal to provide these services.

It is important to note the TACPR and NESHAP require that written notification be submitted before beginning renovation projects which include the disturbance of any asbestos-containing material (ACM) in a building or facility, or before the demolition of a building or facility, even when no asbestos is present. This written notification must be provided to the TDSHS at least 10 working days prior to the commencement of asbestos abatement or demolition activities. These activities must be performed in accordance with the current TDSHS, EPA, and OSHA guidelines.

At the present time, under the US EPA National Emission Standards for Hazardous Air Pollutants (NESHAP) and the TDSHS regulations, roofing materials are considered exterior Category I non-friable materials. Under the NESHAP regulations, as long as the roofing materials are assessed as non-friable and manual removal methods are utilized, these materials are not considered regulated materials and these regulations do not require that the materials be removed by licensed personnel.

Disposal of roofing materials is also currently not a regulatory issue. The materials may be disposed of at any landfill which accepts general construction debris. At the present time, it would be recommended that the roofing contractor performing roof repairs/removal or the demolition contractor performing the building demolition be notified of the roofing materials that contain asbestos. The contractor would be responsible for assuring that the workforce precautions necessary under OSHA regulations are utilized. There should be no additional cost for removal of the asbestos-containing roofing materials at this time.

Asbestos Survey

Former City Hall and Fire Station ■ Taylor, Texas

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6.0 GENERAL COMMENTS

This asbestos survey was conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing under similar conditions in the same locale. The results, findings, conclusions and recommendations expressed in this report are based on conditions observed during our survey of the building. The information contained in this report is relevant to the date on which this survey was performed, and should not be relied upon to represent conditions at a later date.

This report has been prepared on behalf of and exclusively for use by City of Taylor, Texas for specific application to their project as discussed.

This report is not a bidding document. Contractors or consultants reviewing this report must draw their own conclusions regarding further investigation or remediation deemed necessary. Terracon does not warrant the work of regulatory agencies, laboratories or other third parties supplying information which may have been used in the preparation of this report. No warranty, express or implied is made.

EXHIBIT C

APPENDIX A ASBESTOS SURVEY SAMPLE SUMMARY

EXHIBIT C

ASBESTOS SURVEY SAMPLE SUMMARY**Former City Hall and Fire Station****401 North Main****Taylor, Texas****Terracon Project No. 96137379**

SAMPLE NUMBER	MATERIAL DESCRIPTION	HOMOGENEOUS AREA	SAMPLE LOCATION	LAB RESULTS
CH-01	Exterior Window Glazing- White	Utilized on the exterior Fire Station Windows	2 nd Floor, East side, North Window	No Asbestos Detected
CH-02	Exterior Window Glazing- White	Utilized on the exterior Fire Station Windows	1 st Floor, North side, East window	No Asbestos Detected
CH-03	Exterior Window Glazing- White	Utilized on the exterior Fire Station Windows	1 st Floor, North side, West window	No Asbestos Detected
CH-04	Ceramic Wall/Floor Tile Grout- White	Utilized in the Fire Station in the 2 nd Floor Shower	2nd Floor Shower, South side, Center	No Asbestos Detected
CH-05	Ceramic Wall/Floor Tile Grout- White	Utilized in the Fire Station in the 2 nd Floor Shower	2nd Floor Shower, East side, Center	No Asbestos Detected
CH-06	Ceramic Wall/Floor Tile Grout- White	Utilized in the Fire Station in the 2 nd Floor Shower	2nd Floor Shower, North side, Center	No Asbestos Detected
CH-07	Exterior Window Frame Caulking- White	Utilized around the majority of windows on the Fire Station and Former City Hall buildings	Fire Station- 2 nd Floor, East side, Center	No Asbestos Detected
CH-08	Exterior Window Frame Caulking- White	Utilized around the majority of windows on the Fire Station and Former City Hall buildings	Fire Station- 1 st Floor, North side, at East window	No Asbestos Detected
CH-09	Exterior Window Frame Caulking- White	Utilized around the majority of windows on the Fire Station and Former City Hall buildings	Fire Station- 1 st Floor, North side, at West window	No Asbestos Detected
CH-10	Rolled Roofing- Gray/Black	Utilized on the Former City Hall roof throughout	City Hall roof, East end, North side	10% Chrysotile
CH-11	Rolled Roofing- Gray/Black	Utilized on the Former City Hall roof throughout	City Hall roof, East end, Center	No Asbestos Detected
CH-12	Rolled Roofing- Gray/Black	Utilized on the Former City Hall roof throughout	City Hall roof, East end, South side	No Asbestos Detected

EXHIBIT C

ASBESTOS SURVEY SAMPLE SUMMARY**Former City Hall and Fire Station****401 North Main****Taylor, Texas****Terracon Project No. 96137379**

SAMPLE NUMBER	MATERIAL DESCRIPTION	HOMOGENEOUS AREA	SAMPLE LOCATION	LAB RESULTS
CH-13	Joint/Crack Caulking- Light gray on black	Utilized on the roof at the parapet seams and cracks of the Former City Hall building	City Hall roof, East end, North side	20% Chrysotile
CH-14	Joint/Crack Caulking- Light gray on black	Utilized on the roof at the parapet seams and cracks of the Former City Hall building	City Hall roof, East end, Center	20% Chrysotile
CH-15	Joint/Crack Caulking- Light gray on black	Utilized on the roof at the parapet seams and cracks of the Former City Hall building	City Hall roof, East end, South side	20% Chrysotile
CH-16	Composite Asphaltic Shingle with Felt Paper	Utilized on the gabled roof section of the Fire Station building	Fire Station roof, West side, North end	No Asbestos Detected
CH-17	Composite Asphaltic Shingle with Felt Paper	Utilized on the gabled roof section of the Fire Station building	Fire Station roof, West side, Center	No Asbestos Detected
CH-18	Composite Asphaltic Shingle with Felt Paper	Utilized on the gabled roof section of the Fire Station building	Fire Station roof, West side, West end	No Asbestos Detected
CH-19	Rolled Roofing with Tar- Gray/Black with granules	Utilized on the upper flat section of the Fire Station roof	Fire Station roof, Northwest corner	No Asbestos Detected
CH-20	Rolled Roofing with Tar- Gray/Black with granules	Utilized on the upper flat section of the Fire Station roof	Fire Station roof, Center	No Asbestos Detected
CH-21	Rolled Roofing with Tar- Gray/Black with granules	Utilized on the upper flat section of the Fire Station roof	Fire Station roof, Southeast corner	No Asbestos Detected
N/A	Chalkboard- Black	Observed in the 1st Floor dispatch area and 2nd Floor training room in the Fire Station building	N/A	Assumed

Responsive ■ Resourceful ■ Reliable

EXHIBIT C

APPENDIX B

CONFIRMED ASBESTOS-CONTAINING MATERIALS

EXHIBIT C

APPENDIX B
ASBESTOS SURVEY SAMPLE SUMMARY
Former City Hall and Fire Station
401 North Main
Taylor, Texas
Terracon Project No. 96137379

SAMPLE NO.	MATERIAL DESCRIPTION	HOMOGENEOUS AREA	PERCENT / TYPE ASBESTOS	NESHAP CLASSIFICATION	MATERIAL CONDITION	ESTIMATED QUANTITY
10	Rolled Roofing- Gray/Black	Utilized on the Former City Hall roof throughout	10% Chrysotile	Category I Non-Friable	Good	3,700 sq. ft.
13/14/ 15	Joint/Crack Caulking- Light gray on black	Utilized on the roof at the parapet seams and cracks of the Former City Hall building	20% Chrysotile	Category I Non-Friable	Good	190 lin. ft.
N/A	Chalkboard- Black	Observed in the 1st Floor dispatch area and 2nd Floor training room in the Fire Station building	Assumed ACM	Category II Non-Friable	Good	64 sq. ft.
02A/ 02B/ 02C	Resilient Floor Tile – 9" x 9", green and black mastic	Utilized in the Former City Hall building in Rooms 101,102, and 116	5% Chrysotile in floor tile and tar	Category I Non-Friable	Good	1,000 sq. ft.
03A/ 03B/ 03C	Resilient Floor Tile – 9" x 9", tan-gold and clear yellow mastic	Utilized in the Former City Hall building in Room 115 and the east half of Room 105	2% Chrysotile	Category I Non-Friable	Good	300 sq. ft.
04A/ 04B/ 04C	Resilient Floor Tile – 9" x 9", peach and black mastic	Utilized in the Former City Hall building in Rooms 108-112	2% Chrysotile in floor tile and 10% Chrysotile in tar	Category I Non-Friable	Good	850 sq. ft.

EXHIBIT C

APPENDIX B
ASBESTOS SURVEY SAMPLE SUMMARY
Former City Hall and Fire Station
401 North Main
Taylor, Texas
Terracon Project No. 96137379

SAMPLE NO.	MATERIAL DESCRIPTION	HOMOGENEOUS AREA	PERCENT / TYPE ASBESTOS	NESHAP CLASSIFICATION	MATERIAL CONDITION	ESTIMATED QUANTITY
08A/ 08B/ 08C	Drywall Construction with Joint Compound	Utilized in the Former City Hall building on the walls of Rooms 101-103, 107, 116, and the dividing wall between Rooms 110 and 111	2% Chrysotile in layer beneath paint and 2% Chrysotile in texture	RACM	Good	2,200 sq. ft.
13A/ 13B/ 13C	Sheet Flooring- Red brick pattern	Utilized on the 2nd Floor Restroom of the Fire Station building	10% Chrysotile	RACM	Good	60 sq. ft.
19A/ 19B/ 19C	Sink Undercoating- Black	Utilized in the 2nd Floor Kitchen of the Fire Station building	2% Chrysotile	Category I Non-Friable	Good	6 sq. ft.
20A/ 20B/ 20C	Sheet Flooring- Diamond/floral pattern	Utilized in the 2nd Floor Kitchen under the counter of the Fire Station building	30% Chrysotile	RACM	Good	25 sq. ft.
24A/ 24B/ 24C	Window Glazing- White	Utilized on the exterior windows throughout the Former City Hall building	2% Chrysotile	Category II Non-Friable	Good	340 lin. ft.

Sq. ft. = square feet

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EXHIBIT C

APPENDIX B
ASBESTOS SURVEY SAMPLE SUMMARY
Former City Hall and Fire Station
401 North Main
Taylor, Texas
Terracon Project No. 96137379

Lin. Ft. = linear feet

Category I: Includes asbestos-containing packings, gaskets, asphaltic roofing products, resilient flooring, pliable sealants and pliable mastics

EXHIBIT C

APPENDIX C

ASBESTOS LABORATORY ANALYTICAL REPORTS

SAMPLE SUMMARY REPORT

Omni Environmental, Inc.

8900 Shoal Creek Blvd Suite 121

Austin, TX 78757

(512) 258-9114

NVLAP LABCODE 102061.0

TDSHS Lab License 30-0087

Client Name: Terracon

Contact Name: Ian Howes

Client Project Number: 96137379-City Hall

Lab Project #: 218354

Client Sample Number	Lab Sample Number	Asbestos Type and %	Asbestos Content by Layer
CH-01	634527	NAD	
CH-02	634528	NAD	
CH-03	634529	NAD	
CH-04	634530	NAD	
CH-05	634531	NAD	
CH-06	634532	NAD	
CH-07	634533	NAD	
CH-08	634534	NAD	
CH-09	634535	NAD	
CH-10	634536	Chry 5%	
CH-11	634537	NAD	
CH-12	634538	NAD	
CH-13	634539	Chry 20%	
CH-14	634540	Chry 20%	
CH-15	634541	Chry 20%	
CH-16	634542	NAD	
CH-17	634543	NAD	
CH-18	634544	NAD	
CH-19	634545	NAD	
CH-20	634546	NAD	
CH-21	634547	NAD	

This report is only a summary. For complete information on each sample see the Bulk Sample Analysis Report.
Note that NAD means that No Asbestos was Detected in the sample or layer.

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Omni Environmental, Inc.

8900 Shoal Creek Blvd Suite 121

Austin, TX 78757

(512) 258-9114

NVLAP LABCODE 102061.0

TDSHS Lab License 30-0087

August 20, 2013

Ian Howes

Terracon

5307 Industrial Oaks Blvd. Ste. 160

Austin, TX 78735

Dear Mr. Howes:

Please find enclosed the bulk sample analytical results for the following project:

Client Project #:	96137379-City Hall	Lab Project #:	218354
Date Received:	8/15/2013	Received By:	Steve Griffin
Delivery Agency:	Austin Professional Couriers	Name/Tracking #:	978997
Date Logged:	8/15/2013	Logged in by:	Linda Griffin
Analysis Completed:	8/20/2013	Samples in Project:	21

The following procedures were used in sample analysis unless otherwise noted.

ANALYTICAL METHOD: EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA 600/R-93/116) or EPA Interim Method for the Determination of Asbestos in Bulk Insulation Samples (EPA 600/M4-82-020), as applicable.

Percentages are visual estimates based on sample volume. Limit of Detection: <1%. Limit of Quantification: 1%.

Negative results of resinously bound materials such as roofing material or floor tile may be inconclusive. NAD means No Asbestos was Detected in the sample or layer. The term texturizer (where applicable) may include wall texturizing, tape and bed, and/or joint compound. This report relates only to the item tested. It may not be used to claim product endorsement by NVLAP or any agency of the federal government. This report may not be reproduced, except in full, without the expressed written consent of laboratory management. Subsamples of layers or other inhomogeneities were analyzed separately and their results combined in proportion to the quantity of each layer to obtain quantitative results for the sample as a whole. All samples are stored for 1 month from the original analysis date before being disposed of.

Property of Terracon

Please call us if you have any questions regarding this report

Thank you for your business.

Sincerely,

Steve Griffin

Digitally signed by Steve Griffin
DN: cn=Steve Griffin, o=Omni Environmental,
Inc, ou=PLM Lab, email=steve@omnienv.
com, c=US
Date: 2013.08.20 16:24:03 -05'00'

Steve Griffin, Lab Manager

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	218354	Lab Sample #:	634527	Color:	Gray
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-01	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 97 %
Amosite		Perlite 3 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	NAD	Fibrous Total:
		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	218354	Lab Sample #:	634528	Color:	Gray
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-02	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:		QC'd By:	Monika Enriquez		

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 97 %
Amosite		Perlite 3 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	NAD	Fibrous Total:
		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	218354	Lab Sample #:	634529	Color:	Gray
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-03	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 97 %
Amosite		Perlite 3 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	NAD	Fibrous Total:
		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	218354	Lab Sample #:	634530	Color:	White
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-04	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	Cellulose	Filler/Binder
Amosite		
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	Fibrous Total:	Non-Fibrous Total:
NAD	<1 %	100 %

SAMPLE LAYER DETAILS

Lab Project #:	218354	Lab Sample #:	634531	Color:	White
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-05	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	Cellulose	Filler/Binder
Amosite		
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	Fibrous Total:	Non-Fibrous Total:
NAD	<1 %	100 %

SAMPLE LAYER DETAILS

Lab Project #:	218354	Lab Sample #:	634532	Color:	White
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-06	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	Cellulose	Filler/Binder
Amosite		
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	Fibrous Total:	Non-Fibrous Total:
NAD	<1 %	100 %

SAMPLE LAYER DETAILS

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	218354	Lab Sample #:	634533	Color:	Gray
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-07	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 97 %
Amosite		Paint 3 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	NAD	Fibrous Total:
		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	218354	Lab Sample #:	634534	Color:	Gray
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-08	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:		QC'd By:	Monika Enriquez		

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 97 %
Amosite		Paint 3 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	NAD	Fibrous Total:
		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	218354	Lab Sample #:	634535	Color:	Gray
Client Project #:	96137379-City Hall	Characterization:	Homogeneous, Non-Fibrous		
Client Sample #:	CH-09	Date Analyzed:	8/20/2013		
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 97 %
Amosite		Paint 3 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total:	NAD	Fibrous Total:
		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 218354 Lab Sample #: 634536 Color: Black
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-10 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	5 %	Cellulose	3 %	Filler/Binder	2 %
Amosite		Fibrous Glass	30 %	Tar	60 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	5 %	Fibrous Total:	33 %	Non-Fibrous Total:	62 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634537 Color: Black
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-11 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	3 %	Filler/Binder	2 %
Amosite		Fibrous Glass	30 %	Tar	65 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	33 %	Non-Fibrous Total:	67 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634538 Color: Black
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-12 Date Analyzed: 8/20/2013
Analyst: Steve Griffin QC'd By: Monika Enriquez
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	3 %	Filler/Binder	2 %
Amosite		Fibrous Glass	30 %	Tar	65 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	33 %	Non-Fibrous Total:	67 %

SAMPLE LAYER DETAILS

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 218354 Lab Sample #: 634539 Color: Black
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-13 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	20 %		Filler/Binder 10 %
Amosite			Tar 70 %
Crocidolite			
Tremolite			
Actinolite			
Anthophyllite			
Asbestos Total:	20 %	Fibrous Total:	Non-Fibrous Total: 80 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634540 Color: Black
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-14 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	20 %		Filler/Binder 10 %
Amosite			Tar 70 %
Crocidolite			
Tremolite			
Actinolite			
Anthophyllite			
Asbestos Total:	20 %	Fibrous Total:	Non-Fibrous Total: 80 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634541 Color: Black
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-15 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	20 %		Filler/Binder 10 %
Amosite			Tar 70 %
Crocidolite			
Tremolite			
Actinolite			
Anthophyllite			
Asbestos Total:	20 %	Fibrous Total:	Non-Fibrous Total: 80 %

SAMPLE LAYER DETAILS

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 218354 Lab Sample #: 634542 Color: Gray
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-16 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	20 %	Filler/Binder	
Amosite		Fibrous Glass	25 %	Tar	50 %
Crocidolite				Aggregate	5 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	45 %	Non-Fibrous Total:	55 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634543 Color: Gray
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-17 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	20 %	Filler/Binder	
Amosite		Fibrous Glass	25 %	Tar	50 %
Crocidolite				Aggregate	5 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	45 %	Non-Fibrous Total:	55 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634544 Color: Gray
Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
Client Sample #: CH-18 Date Analyzed: 8/20/2013
Analyst: Steve Griffin
Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	20 %	Filler/Binder	
Amosite		Fibrous Glass	25 %	Tar	50 %
Crocidolite				Aggregate	5 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	45 %	Non-Fibrous Total:	55 %

SAMPLE LAYER DETAILS

EXHIBIT C

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 218354 Lab Sample #: 634545 Color: Gray
 Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
 Client Sample #: CH-19 Date Analyzed: 8/20/2013
 Analyst: Steve Griffin
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	Cellulose 10 %	Filler/Binder
Amosite	Fibrous Glass 10 %	Paint 60 %
Crocidolite	Synthetic Fibers 10 %	Aggregate 10 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total: 30 %	Non-Fibrous Total: 70 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634546 Color: Gray
 Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
 Client Sample #: CH-20 Date Analyzed: 8/20/2013
 Analyst: Steve Griffin
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	Cellulose 10 %	Filler/Binder
Amosite	Fibrous Glass 10 %	Paint 60 %
Crocidolite	Synthetic Fibers 10 %	Aggregate 10 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total: 30 %	Non-Fibrous Total: 70 %

SAMPLE LAYER DETAILS

Lab Project #: 218354 Lab Sample #: 634547 Color: Gray
 Client Project #: 96137379-City Hall Characterization: Homogeneous, Fibrous
 Client Sample #: CH-21 Date Analyzed: 8/20/2013
 Analyst: Steve Griffin
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile	Cellulose 10 %	Filler/Binder
Amosite	Fibrous Glass 10 %	Paint 60 %
Crocidolite	Synthetic Fibers 10 %	Aggregate 10 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total: 30 %	Non-Fibrous Total: 70 %

SAMPLE LAYER DETAILS

EXHIBIT C

Omni Environmental, Inc.
NYAP LAB CODE NEW1
Toll Lab Line 1-800-431-1111

[illegible]

Ornel Environmental, Inc. • 8900 Shoal Creek, Suite 121 • Austin, Texas 78757 • 512.258.9114 • fax 512.258.9115

Lab# 218354

EXHIBIT C

APPENDIX D

PREVIOUS ASBESTOS INSPECTION REPORT

*Asbestos Survey
1935 City Hall*



February 3, 2006

Mr. Jim Dunaway
City of Taylor
1424 North Main Street
Taylor, Texas 76574

Subject: Report of Limited Asbestos Survey
Former Taylor City Hall and Fire Station
401 North Main Street
Taylor, Texas
Kleinfelder Project 65354-001

Dear Mr. Dunaway:

Kleinfelder has completed a limited asbestos survey of the former Taylor City Hall and Fire Station Building. This building is located at 400 North Main Street in Taylor, Texas. We were authorized to perform these services by your acceptance of our proposal AUS6P019 dated January 20, 2006. The building was reportedly constructed in the mid 1930s, and includes a single-story portion that previously housed the City Hall, a two-story section that is used by the fire department and a basement area beneath the entire building. The fire station includes high-bay space for fire trucks and emergency vehicles, and a dormitory area upstairs. The basement includes a crawl space and some jail cells. The City of Taylor plans renovations in the future. Texas Department of State Health Services (TDSHS) regulations require that materials that will be disturbed by demolition or renovation activities must be tested for asbestos content.

Mr. Geoff Dupree, TDSHS Individual Asbestos Consultant 105606, performed the limited survey of suspect building materials on January 26, 2006. This survey was performed in compliance with the Texas Asbestos Health Protection Rules, which require that a TDSHS-licensed inspector or management planner perform an asbestos survey prior to the commencement of renovation or demolition activities that could disturb asbestos-containing materials.

We obtained at least three bulk samples of each suspect material observed during our survey, for a total of 72 samples. The samples were collected from a variety of materials including wallboard, floor tiles, sheet floor coverings, waterproofing material, ceiling tiles, plaster and ceiling texture.

The material samples obtained during our survey were delivered to the laboratory of Omni Environmental, Inc. They were analyzed for the presence of asbestos-containing minerals utilizing Polarized Light Microscopy (PLM) coupled with Dispersion Staining as detailed in the United States Environmental Protection Agency's (EPA) "Method for the Determination of Asbestos in Bulk Building Materials" (EPA/600/R-93/116, July 1993). This laboratory is accredited by the National Voluntary Laboratory Accreditation Program (NVLAP) No. 102061 and licensed by the TDSHS,

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Mr. Jim Dunaway
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license No. 30-0087. Laboratory analysis indicates that 23 of the analyzed samples contained detectable quantities of asbestos (see table below). By TDSHS and EPA definition, a material containing more than one percent asbestos is considered an asbestos-containing material (ACM). Several of the ACM at the site are considered damaged or friable in their current conditions.

SAMPLE NUMBER	SAMPLE DESCRIPTION	LABORATORY RESULTS
01A	12-inch by 12-inch dark tan floor tile with brown specks and yellow mastic – City Hall First Floor	NAD
01B	12-inch by 12-inch dark tan floor tile with brown specks and yellow mastic – City Hall First Floor	NAD
01C	12-inch by 12-inch dark tan floor tile with brown specks and yellow mastic – City Hall First Floor	NAD
02A	9-inch by 9-inch green floor tile with black mastic – City Hall First Floor	5% Chrysotile (5% Chrysotile in floor tile; 2% Chrysotile in tar; NAD in mastic)
02B	9-inch by 9-inch green floor tile with black mastic – City Hall First Floor	5% Chrysotile (5% Chrysotile in floor tile; 2% Chrysotile in tar; NAD in mastic)
02C	9-inch by 9-inch green floor tile with black mastic – City Hall First Floor	5% Chrysotile (5% Chrysotile in floor tile; 2% Chrysotile in tar; NAD in mastic)
03A	9-inch by 9-inch tannish gold floor tile with clear yellow mastic – City Hall First Floor	2% Chrysotile
03B	9-inch by 9-inch tannish gold floor tile with clear yellow mastic – City Hall First Floor	2% Chrysotile
03C	9-inch by 9-inch tannish gold floor tile with clear yellow mastic – City Hall First Floor	2% Chrysotile
04A	9-inch by 9-inch peach-colored floor tile with black mastic – City Hall First Floor	2% Chrysotile (2% Chrysotile in floor tile; 10% Chrysotile in tar)
04B	9-inch by 9-inch peach-colored floor tile with black mastic – City Hall First Floor	2% Chrysotile (2% Chrysotile in floor tile; 5% Chrysotile in tar)
04C	9-inch by 9-inch peach-colored floor tile with black mastic – City Hall First Floor	NAD
05A	Popcorn Ceiling Texture – City Hall First Floor	NAD
05B	Popcorn Ceiling Texture – City Hall First Floor	NAD
05C	Popcorn Ceiling Texture – City Hall First Floor	NAD
06A	Plaster Walls – City Hall First Floor	NAD
06B	Plaster Walls – City Hall First Floor	NAD
06C	Plaster Walls – City Hall First Floor	NAD
07A	Gypsum Wallboard – City Hall First Floor	NAD
07B	Gypsum Wallboard – City Hall First Floor	NAD
07C	Gypsum Wallboard – City Hall First Floor	NAD

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Mr. Jim Dunaway
February 3, 2006
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SAMPLE NUMBER	SAMPLE DESCRIPTION	LABORATORY RESULTS
08A	Gypsum Wallboard with Joint Compound – City Hall First Floor	2% Chrysotile detected in layer beneath paint; 2% Chrysotile detected in texture
08B	Gypsum Wallboard with Joint Compound – City Hall First Floor	2% Chrysotile
08C	Gypsum Wallboard with Joint Compound – City Hall First Floor	2% Chrysotile
09A	Two-foot by four-foot ceiling tile with random holes – City Hall First Floor	NAD
09B	Two-foot by four-foot ceiling tile with random holes – City Hall First Floor	NAD
09C	Two-foot by four-foot ceiling tile with random holes – City Hall First Floor	NAD
10A	Ceiling Tile Panels – City Hall First Floor	NAD
10B	Ceiling Tile Panels – City Hall First Floor	NAD
10C	Ceiling Tile Panels – City Hall First Floor	NAD
11A	Black waterproofing materials - City Hall Crawl Space	NAD
11B	Black waterproofing materials - City Hall Crawl Space	NAD
11C	Black waterproofing materials - City Hall Crawl Space	NAD
12A	12-inch by 12-inch white floor tile with yellow mastic - Fire Station First and Second Floors	NAD
12B	12-inch by 12-inch white floor tile with yellow mastic - Fire Station First and Second Floors	NAD
12C	12-inch by 12-inch white floor tile with yellow mastic - Fire Station First and Second Floors	NAD
13A	Sheet vinyl floor covering, red-brick pattern – Fire Station Second Floor	10% Chrysotile
13B	Sheet vinyl floor covering, red-brick pattern – Fire Station Second Floor	10% Chrysotile
13C	Sheet vinyl floor covering, red-brick pattern – Fire Station Second Floor	10% Chrysotile
14A	12-inch by 12-inch tan floor tile with brown and white specks and clear yellow mastic – Fire Station Second Floor	NAD
14B	12-inch by 12-inch tan floor tile with brown and white specks and clear yellow mastic – Fire Station Second Floor	NAD
14C	12-inch by 12-inch tan floor tile with brown and white specks and clear yellow mastic – Fire Station Second Floor	NAD
15A	12-inch by 12-inch gray and white floor tile with clear yellow mastic – Fire Station Second Floor	NAD
15B	12-inch by 12-inch gray and white floor tile with clear yellow mastic – Fire Station Second Floor	NAD
15C	12-inch by 12-inch gray and white floor tile with clear yellow mastic – Fire Station Second Floor	NAD

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Mr. Jim Dunaway
February 3, 2006
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SAMPLE NUMBER	SAMPLE DESCRIPTION	LABORATORY RESULTS
16A	12-inch by 12-inch off-white floor tile with clear yellow mastic - Fire Station Second Floor	NAD
16B	12-inch by 12-inch off-white floor tile with clear yellow mastic - Fire Station Second Floor	NAD
16C	12-inch by 12-inch off-white floor tile with clear yellow mastic - Fire Station Second Floor	NAD
17A	Plaster Walls - Fire Station Second Floor	NAD
17B	Plaster Walls - Fire Station Second Floor	NAD
17C	Plaster Walls - Fire Station Second Floor	NAD
18A	Ceiling Insulation - Fire Station Second Floor	NAD
18B	Ceiling Insulation - Fire Station Second Floor	NAD
18C	Ceiling Insulation - Fire Station Second Floor	NAD
19A	Black Sink Undercoating - Fire Station Second Floor	2% Chrysotile
19B	Black Sink Undercoating - Fire Station Second Floor	2% Chrysotile
19C	Black Sink Undercoating - Fire Station Second Floor	2% Chrysotile
20A	Sheet-vinyl floor covering, diamond/floral pattern - Fire Station Second Floor	30% Chrysotile
20B	Sheet-vinyl floor covering, diamond/floral pattern - Fire Station Second Floor	30% Chrysotile
20C	Sheet-vinyl floor covering, diamond/floral pattern - Fire Station Second Floor	30% Chrysotile
21A	Sheet-vinyl floor covering, retro-triangle pattern - Fire Station Second Floor	NAD
21B	Sheet-vinyl floor covering, retro-triangle pattern - Fire Station Second Floor	NAD
21C	Sheet-vinyl floor covering, retro-triangle pattern - Fire Station Second Floor	NAD
22A	Two-foot by four-foot rough-textured ceiling tile - Fire Station Second Floor	NAD
22B	Two-foot by four-foot rough-textured ceiling tile - Fire Station Second Floor	NAD
22C	Two-foot by four-foot rough-textured ceiling tile - Fire Station Second Floor	NAD
23A	Two-foot by four-foot smooth-textured ceiling tile - Fire Station Second Floor	NAD
23B	Two-foot by four-foot smooth-textured ceiling tile - Fire Station Second Floor	NAD
23C	Two-foot by four-foot smooth-textured ceiling tile - Fire Station Second Floor	NAD
24A	White window glazing - City Hall Exterior	2% Chrysotile
24B	White window glazing - City Hall Exterior	2% Chrysotile
24C	White window glazing - City Hall Exterior	2% Chrysotile

Note: NAD = No Asbestos Detected

Current regulations require the removal of ACM from a property if the ACM is to be disturbed during renovation or demolition. If ACM to be disturbed by pending renovation activities is friable (when dry can be crumbled, pulverized, or reduced to powder by hand pressure) or is non-friable

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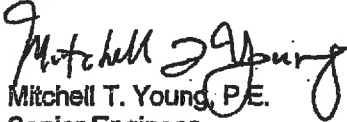
EXHIBIT C

Mr. Jim Dunaway
February 3, 2006
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but exceeds 160 square feet of surface area, 260 linear feet of pipe length, or 35 cubic feet of material, the asbestos abatement project must be designed by a licensed asbestos consultant. Only trained personnel under properly controlled conditions should handle identified ACM. We would be pleased to quantify the asbestos hazard and coordinate response action procedures at your request.

We appreciate the opportunity to serve as your facilities consultant. Please contact us if you have any questions or if we may be of further service to you.

Sincerely,
KLEINFELDER



Mitchell T. Young, P.E.
Senior Engineer
TDH Individual Asbestos Management Planner 205593

Attachments:
Sample Location Diagrams
Summary of Laboratory Analyses

SAMPLE SUMMARY REPORT

Omni Environmental, Inc.

2101 Donley Drive Suite B-100

Austin, TX 78758

(512) 258-9114

NVLAP # 102061

TDSHS Lab License 30-0087

Client Kleinfelder

Client Project Number: Taylor City Hall

Contact Name: Mitch Young

Lab Project #: 117685

Client Sample Number	Lab Sample Number	Asbestos Type and %	Asbestos Content by Layer	
01A	345340	NAD		
01B	345341	NAD		
01C	345342	NAD		
02A	345343	Chry 5%	5% Chrysotile detected in Floor Tile NAD detected in Mastic	2% Chrysotile detected in Tar
02B	345344	Chry 5%	5% Chrysotile detected in Floor Tile NAD detected in Mastic	2% Chrysotile detected in Tar
02C	345345	Chry 5%	5% Chrysotile detected in Floor Tile NAD detected in Mastic	2% Chrysotile detected in Tar
03A	345346	Chry 2%		
03B	345347	Chry 2%		
03C	345348	Chry 2%		
04A	345349	Chry 2%	2% Chrysotile detected in Floor Tile	10% Chrysotile detected in Tar
04B	345350	Chry 2%	2% Chrysotile detected in Floor Tile	5% Chrysotile detected in Tar
04C	345351	NAD		
05A	345352	NAD		
05B	345353	NAD		
05C	345354	NAD		
06A	345355	NAD		
06B	345356	NAD		
06C	345357	NAD		
07A	345358	NAD		
07B	345359	NAD		
07C	345360	NAD		
08A	345361	Chry 2%	2% Chrysotile detected in layer beneath Paint in Texturizer	2% Chrysotile detected
08B	345362	Chry 2%		
08C	345363	Chry 2%		
09A	345364	NAD		
09B	345365	NAD		
09C	345366	NAD		

This report is only a summary. For complete information on each sample see the Bulk Sample Analysis Report.

Note that NAD means that No Asbestos was Detected in the sample or layer.

SAMPLE SUMMARY REPORT

Omni Environmental, Inc.

2101 Donley Drive Suite B-100

Austin, TX 78758

(512) 258-9114

NVLAP # 102061

TDSHS Lab License 30-0087

Client **Kleinfelder**Client Project Number: **Taylor City Hall**Contact Name: **Mitch Young**Lab Project #: **117685**

Client Sample Number	Lab Sample Number	Asbestos Type and %	Asbestos Content by Layer
10A	345367	NAD	
10B	345368	NAD	
10C	345369	NAD	
11A	345370	NAD	
11B	345371	NAD	
11C	345372	NAD	
12A	345373	NAD	
12B	345374	NAD	
12C	345375	NAD	
13A	345376	Chry 10%	
13B	345377	Chry 10%	
13C	345378	Chry 10%	
14A	345379	NAD	
14B	345380	NAD	
14C	345381	NAD	
15A	345382	NAD	
15B	345383	NAD	
15C	345384	NAD	
16A	345385	NAD	
16B	345386	NAD	
16C	345387	NAD	
17A	345388	NAD	
17B	345389	NAD	
17C	345390	NAD	
18A	345391	NAD	
18B	345392	NAD	
18C	345393	NAD	
19A	345394	Chry 2%	
19B	345395	Chry 2%	
19C	345396	Chry 2%	
20A	345397	Chry 30%	
20B	345398	Chry 30%	

This report is only a summary. For complete information on each sample see the Bulk Sample Analysis Report.
 Note that NAD means that No Asbestos was Detected in the sample or layer.

SAMPLE SUMMARY REPORT**Omni Environmental, Inc.**

2101 Donley Drive Suite B-100

Austin, TX 78758

(512) 258-9114

NVLAP # 102061

TDSHS Lab License 30-0087

Client Kleinfelder**Client Project Number: Taylor City Hall****Contact Name: Mitch Young****Lab Project #: 117685**

Client Sample Number	Lab Sample Number	Asbestos Type and %	Asbestos Content by Layer
20C	345399	Chry 30%	
21A	345400	NAD	
21B	345401	NAD	
21C	345402	NAD	
22A	345403	NAD	
22B	345404	NAD	
22C	345405	NAD	
23A	345406	NAD	
23B	345407	NAD	
23C	345408	NAD	
24A	345409	Chry 2%	
24B	345410	Chry 2%	
24C	345411	Chry 2%	

This report is only a summary. For complete information on each sample see the Bulk Sample Analysis Report.
Note that NAD means that No Asbestos was Detected in the sample or layer.

BULK SAMPLE ANALYSIS REPORT

Omni Environmental, Inc.

2101 Donley Drive Suite B-100

Austin, TX 78758

(512) 258-9114

NVLAP # 102061

TDSHS Lab License 30-0087

February 1, 2006

Mitch Young

Kleinfelder

3601 Manor Road

Austin, TX 78723

Dear Mr Young:

Please find enclosed the bulk sample analytical results for the following

Client Project #:	Taylor City Hall	Lab Project #:	117685
Date Received:	1/27/2006	Received By:	Joseph Mink
Delivery Agency:	Hand Delivered	Name/Tracking #:	NA
Date Logged:	1/30/2006	Logged in by:	Joseph Mink
Analysis Completed:	2/1/2006	Samples in Project:	72

The following procedures were used in sample analysis unless otherwise

ANALYTICAL METHOD: EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA 600/R-93/116) or EPA Interim Method for the Determination of Asbestos in Bulk Insulation Samples (EPA 600/M4-82-020), as applicable.

Percentages are visual estimates based on sample volume. Limit of Detection: <1%. Limit of Quantification: 1%.

Negative results of resinously bound materials such as roofing material or floor tile may be inconclusive. NAD means No Asbestos was Detected in the sample or layer. The term texturizer (where applicable) may include wall texturizing, tape and bed, and/or joint compound. This report relates only to the item tested. It may not be used to claim product endorsement by NVLAP or any agency of the federal government. This report may not be reproduced, except in full, without the expressed written consent of laboratory management. Subsamples of layers or other inhomogeneities were analyzed separately and their results combined in proportion to the quantity of each layer to obtain quantitative results for the sample as a whole. All samples are stored for 1 month from the original analysis date before being disposed of.

Please call us if you have any questions regarding this

Thank you for your

Sincerely,

Steve Griffin, Lab Manager

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
Client Project #: Taylor City Hall
Client Sample 01A
Analyst: Monika Enriquez
Comments:

Lab Sample #: 345340

Color: Tan
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
Mastic 2 %
Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
Client Project #: Taylor City Hall
Client Sample 01B
Analyst: Monika Enriquez
Comments:

Lab Sample #: 345341

Color: Tan
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
Mastic 2 %
Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
Client Project #: Taylor City Hall
Client Sample 01C
Analyst: Monika Enriquez
Comments:

Lab Sample #: 345342

Color: Tan
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
Mastic 2 %
Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 03A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345346

Color: Tan
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006
 QC'd By: Steve Griffin

ASBESTOS COMPONENTS

Chrysotile 2 %
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
 Aggregate 30 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 03B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345347

Color: Tan
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 2 %
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
 Aggregate 30 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 03C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345348

Color: Tan
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 2 %
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
 Aggregate 30 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 04A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345349

Color: Tan
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %	Wollastonite	5 %	Filler/Binder 61 %
Amosite				Tar 2 %
Crocidolite				Aggregate 30 %
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	2 %	Fibrous Total:	5 %	Non-Fibrous Total: 93 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in Floor Tile.
 Layer 2: 10% Chrysotile detected in Tar.

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 04B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345350

Color: Tan
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %			Filler/Binder 66 %
Amosite				Tar 2 %
Crocidolite				Aggregate 30 %
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	2 %	Fibrous Total:		Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in Floor Tile.
 Layer 2: 5% Chrysotile detected in Tar.

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 04C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345351

Color: Tan
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile				Filler/Binder 68 %
Amosite				Tar 2 %
Crocidolite				Aggregate 30 %
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	NAD	Fibrous Total:		Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 05A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345352

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Synthetic Fibers

<1 %

Fibrous Total:

<1 %

NON-FIBROUS COMPONENTS

Filler/Binder 98 %
 Styrofoam 2 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 05B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345353

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Synthetic Fibers

<1 %

Fibrous Total:

<1 %

NON-FIBROUS COMPONENTS

Filler/Binder 98 %
 Styrofoam 2 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 05C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345354

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Synthetic Fibers

<1 %

Fibrous Total:

<1 %

NON-FIBROUS COMPONENTS

Filler/Binder 98 %
 Styrofoam 2 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 06A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345355

Color: Tan
 Characterization: Heterogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Paint 10 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 06B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345356

Color: Tan
 Characterization: Heterogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Paint 10 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 06C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345357

Color: Tan
 Characterization: Heterogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Paint 10 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 07A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345358

Color: White
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Cellulose

30 %

Fibrous Total:

30 %

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Paint <1 %

Non-Fibrous Total:

70 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 07B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345359

Color: White
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006
 QC'd By: Steve Griffin

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Cellulose

30 %

Fibrous Total:

30 %

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Paint 10 %

Non-Fibrous Total:

70 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 07C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345360

Color: White
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006
 QC'd By: Steve Griffin

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Cellulose

30 %

Fibrous Total:

30 %

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Paint 10 %

Non-Fibrous Total:

70 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 08A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345361

Color: White
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %	Cellulose	30 %	Filler/Binder	58 %
Amosite				Paint	10 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	2 %	Fibrous Total:	30 %	Non-Fibrous Total:	68 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in layer beneath Paint.
 Layer 2: 2% Chrysotile detected in Texturizer.

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 08B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345362

Color: White
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %	Cellulose	10 %	Filler/Binder	78 %
Amosite				Paint	10 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	2 %	Fibrous Total:	10 %	Non-Fibrous Total:	88 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 08C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345363

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %			Filler/Binder	88 %
Amosite				Paint	10 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	2 %	Fibrous Total:		Non-Fibrous Total:	98 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 09A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345364

Color: Brown
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	88 %	Filler/Binder	2 %
Amosite				Paint	10 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	88 %	Non-Fibrous Total:	12 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 09B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345365

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	98 %	Filler/Binder	2 %
Amosite					
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	98 %	Non-Fibrous Total:	2 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 09C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345366

Color: Brown
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	88 %	Filler/Binder	2 %
Amosite				Paint	10 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	88 %	Non-Fibrous Total:	12 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 10A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345367

Color: Brown
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006
 QC'd By: Steve Griffin

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	88 %	Filler/Binder	2 %
Amosite				Paint	10 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	88 %	Non-Fibrous Total:	12 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 10B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345368

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	98 %	Filler/Binder	2 %
Amosite					
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	98 %	Non-Fibrous Total:	2 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 10C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345369

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	98 %	Filler/Binder	2 %
Amosite					
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	98 %	Non-Fibrous Total:	2 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 11A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345370

Color: Brown
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 90 %
 Tar 10 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 11B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345371

Color: Brown
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 88 %
 Tar 10 %
 Aggregate 2 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 11C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345372

Color: Tan
 Characterization: Heterogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Paint 10 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 12A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345373

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
 Mastic 2 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 12B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345374

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
 Mastic 2 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 12C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345375

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 68 %
 Mastic 2 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 13A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345376

Color: Brown
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006
 QC'd By: Steve Griffin

ASBESTOS COMPONENTS

Chrysotile 10 %
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: 10 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 60 %
 Vinyl 30 %

Non-Fibrous Total: 90 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 13B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345377

Color: Brown
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 10 %
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: 10 %

FIBROUS COMPONENTS

Cellulose 2 %

Fibrous Total: 2 %

NON-FIBROUS COMPONENTS

Filler/Binder 58 %
 Vinyl 30 %

Non-Fibrous Total: 88 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 13C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345378

Color: Brown
 Characterization: Heterogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 10 %
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: 10 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 58 %
 Vinyl 30 %
 Mastic 2 %

Non-Fibrous Total: 90 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 14A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345379

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite

Asbestos Total: NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Mastic <1 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 14B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345380

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite

Asbestos Total: NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Mastic <1 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 14C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345381

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite

Asbestos Total: NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Mastic <1 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 15A
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345382

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Mastic <1 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 15B
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345383

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Mastic <1 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 15C
 Analyst: Monika Enriquez
 Comments:

Lab Sample #: 345384

Color: White
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 70 %
 Mastic <1 %
 Aggregate 30 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 16A
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345385

Color: Gray
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	<1 %	Filler/Binder	65 %
Amosite				Mastic	<1 %
Crocidolite				Aggregate	35 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	<1 %	Non-Fibrous Total:	100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 16B
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345386

Color: Gray
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	<1 %	Filler/Binder	65 %
Amosite				Mastic	<1 %
Crocidolite				Aggregate	35 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	<1 %	Non-Fibrous Total:	100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 16C
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345387

Color: Gray
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	<1 %	Filler/Binder	65 %
Amosite				Mastic	<1 %
Crocidolite				Aggregate	35 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	<1 %	Non-Fibrous Total:	100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685 Lab Sample #: 345388 Color: Tan
 Client Project #: Taylor City Hall Characterization: Heterogeneous, Non-Fibrous
 Client Sample 17A Date Analyzed: 2/1/2006
 Analyst: Steve Griffin
 Comments:

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite

Asbestos Total: NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 50 %
 Paint 10 %
 Aggregate 40 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685 Lab Sample #: 345389 Color: Tan
 Client Project #: Taylor City Hall Characterization: Heterogeneous, Non-Fibrous
 Client Sample 17B Date Analyzed: 2/1/2006
 Analyst: Steve Griffin
 Comments:

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite

Asbestos Total: NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 50 %
 Paint 10 %
 Aggregate 40 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #: 117685 Lab Sample #: 345390 Color: Tan
 Client Project #: Taylor City Hall Characterization: Heterogeneous, Non-Fibrous
 Client Sample 17C Date Analyzed: 2/1/2006
 Analyst: Steve Griffin
 Comments:

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite

Asbestos Total: NAD

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 50 %
 Paint 10 %
 Aggregate 40 %

Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 18A
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345391

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Cellulose

98 %

NON-FIBROUS COMPONENTS

Filler/Binder

2 %

Fibrous Total:

98 %

Non-Fibrous Total:

2 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 18B
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345392

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Cellulose

98 %

NON-FIBROUS COMPONENTS

Filler/Binder

2 %

Fibrous Total:

98 %

Non-Fibrous Total:

2 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 18C
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345393

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Cellulose

98 %

NON-FIBROUS COMPONENTS

Filler/Binder

2 %

Fibrous Total:

98 %

Non-Fibrous Total:

2 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 19A
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345394

Color: Black
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %	Cellulose	<1 %	Filler/Binder
Amosite				Tar
Crocidolite				98 %
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	2 %	Fibrous Total:	<1 %	Non-Fibrous Total:
				98 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 19B
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345395

Color: Black
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %	Cellulose	<1 %	Filler/Binder
Amosite				Tar
Crocidolite				98 %
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	2 %	Fibrous Total:	<1 %	Non-Fibrous Total:
				98 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 19C
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345396

Color: Black
 Characterization: Homogeneous, Non-Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	2 %	Cellulose	<1 %	Filler/Binder
Amosite				Tar
Crocidolite				98 %
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	2 %	Fibrous Total:	<1 %	Non-Fibrous Total:
				98 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 20A
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345397

Color: Tan
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	30 %	Cellulose	5 %	Filler/Binder	35 %
Amosite				Vinyl	30 %
Crocidolite				Mastic	<1 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	30 %	Fibrous Total:	5 %	Non-Fibrous Total:	65 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 20B
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345398

Color: Tan
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	30 %	Cellulose	5 %	Filler/Binder	35 %
Amosite				Vinyl	30 %
Crocidolite				Mastic	<1 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	30 %	Fibrous Total:	5 %	Non-Fibrous Total:	65 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 20C
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345399

Color: Tan
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	30 %	Cellulose	5 %	Filler/Binder	35 %
Amosite				Vinyl	30 %
Crocidolite				Mastic	<1 %
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	30 %	Fibrous Total:	5 %	Non-Fibrous Total:	65 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	117685	Lab Sample #:	345400	Color:	Black
Client Project #:	Taylor City Hall			Characterization:	Homogeneous, Fibrous
Client Sample	21A			Date Analyzed:	2/1/2006
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	45 %	Filler/Binder	10 %
Amosite				Tar	45 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	45 %	Non-Fibrous Total:	55 %

SAMPLE LAYER DETAILS

Lab Project #:	117685	Lab Sample #:	345401	Color:	Black
Client Project #:	Taylor City Hall			Characterization:	Homogeneous, Fibrous
Client Sample	21B			Date Analyzed:	2/1/2006
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	45 %	Filler/Binder	10 %
Amosite				Tar	45 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	45 %	Non-Fibrous Total:	55 %

SAMPLE LAYER DETAILS

Lab Project #:	117685	Lab Sample #:	345402	Color:	Black
Client Project #:	Taylor City Hall			Characterization:	Homogeneous, Fibrous
Client Sample	21C			Date Analyzed:	2/1/2006
Analyst:	Steve Griffin				
Comments:					

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>		<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile		Cellulose	45 %	Filler/Binder	10 %
Amosite				Tar	45 %
Crocidolite					
Tremolite					
Actinolite					
Anthophyllite					
Asbestos Total:	NAD	Fibrous Total:	45 %	Non-Fibrous Total:	55 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 22A
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345403

Color: Yellow
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Mineral Wool

85 %

NON-FIBROUS COMPONENTS

Filler/Binder

15 %

Fibrous Total:

85 %

Non-Fibrous Total:

15 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 22B
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345404

Color: Yellow
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Mineral Wool

85 %

NON-FIBROUS COMPONENTS

Filler/Binder

15 %

Fibrous Total:

85 %

Non-Fibrous Total:

15 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample 22C
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345405

Color: Yellow
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total:

NAD

FIBROUS COMPONENTS

Mineral Wool

85 %

NON-FIBROUS COMPONENTS

Filler/Binder

15 %

Fibrous Total:

85 %

Non-Fibrous Total:

15 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 23A
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345406

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: NAD

FIBROUS COMPONENTS

Cellulose 95 %
 Fibrous Total: 95 %

NON-FIBROUS COMPONENTS

Filler/Binder 5 %
 Paint <1 %
 Non-Fibrous Total: 5 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 23B
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345407

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: NAD

FIBROUS COMPONENTS

Cellulose 95 %
 Fibrous Total: 95 %

NON-FIBROUS COMPONENTS

Filler/Binder 5 %
 Paint <1 %
 Non-Fibrous Total: 5 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
 Client Project #: Taylor City Hall
 Client Sample: 23C
 Analyst: Steve Griffin
 Comments:

Lab Sample #: 345408

Color: Brown
 Characterization: Homogeneous, Fibrous
 Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile
 Amosite
 Crocidolite
 Tremolite
 Actinolite
 Anthophyllite
 Asbestos Total: NAD

FIBROUS COMPONENTS

Cellulose 95 %
 Fibrous Total: 95 %

NON-FIBROUS COMPONENTS

Filler/Binder 5 %
 Paint <1 %
 Non-Fibrous Total: 5 %

SAMPLE LAYER DETAILS

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 117685
Client Project #: Taylor City Hall
Client Sample 24A
Analyst: Steve Griffin
Comments:

Lab Sample #: 345409

Color: Gray
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 2 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 98 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
Client Project #: Taylor City Hall
Client Sample 24B
Analyst: Steve Griffin
Comments:

Lab Sample #: 345410

Color: Gray
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 2 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 98 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Lab Project #: 117685
Client Project #: Taylor City Hall
Client Sample 24C
Analyst: Steve Griffin
Comments:

Lab Sample #: 345411

Color: Gray
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 2/1/2006

ASBESTOS COMPONENTS

Chrysotile 2 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder 98 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

EXHIBIT C

APPENDIX E CERTIFICATIONS



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

TERRACON CONSULTANTS INC

is certified to perform as a

Asbestos Consultant Agency

in the State of Texas within the purview of Texas Occupations Code, chapter 1954, so long as this license is not suspended or revoked and is renewed according to the rules adopted by the Texas Board of Health.

A handwritten signature in dark ink, appearing to read "David Lakey MD".

DAVID LAKEY, M.D.
COMMISSIONER OF HEALTH

License Number: 100157

Control Number: 96547

Expiration Date: 11/30/2014

(Void After Expiration Date)

VOID IF ALTERED NON-TRANSFERABLE



Texas Department of State Health Services

Asbestos Individual Consultant

RICHARD I HOWES

License No. 105406

Control No. 96299

Expiration Date: 3/21/2014



EXHIBIT C



**Texas Department of
State Health Services**

Asbestos Inspector

KENNETH L WILLIAMSON

License No. 600050

Control No. 96952

Expiration Date: 5/7/2014





TEXAS DEPARTMENT OF STATE HEALTH SERVICES

OMNI ENVIRONMENTAL INC

is certified to perform as a

**Asbestos Laboratory
PLM**

*in the State of Texas within the purview of Texas Occupations Code, chapter 1954, so long as this license is not
suspended or revoked and is renewed according to the rules adopted by the Texas Board of Health.*

A handwritten signature in dark ink, appearing to read "David Lakey MD".

DAVID LAKEY, M.D.
COMMISSIONER OF HEALTH

License Number: 300087

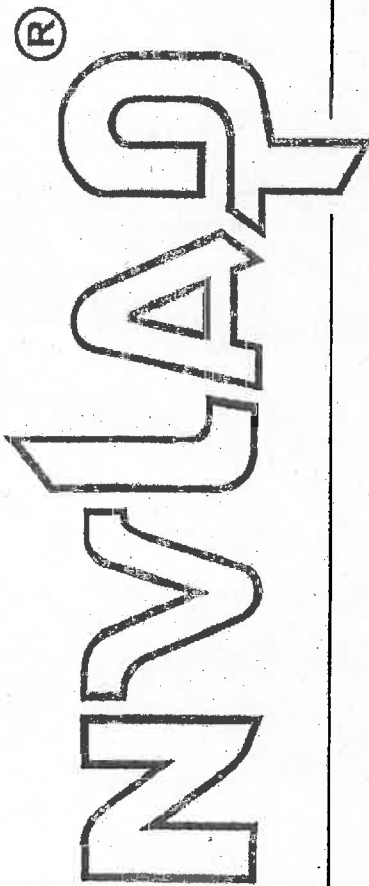
Control Number: 95883

Expiration Date: 6/15/2015

(Void After Expiration Date)

VOID IF ALTERED NON-TRANSFERABLE

United States Department of Commerce
National Institute of Standards and Technology



Certificate of Accreditation to ISO/IEC 17025:2005

EXHIBIT C

NVLAP LAB CODE: 102061-0

Omni Environmental, Inc.
Austin, TX

is accredited by the National Voluntary Laboratory Accreditation Program for specific services,
listed on the Scope of Accreditation, for.

BULK ASBESTOS FIBER ANALYSIS

This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2005.
This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality
management system (refer to joint ISO-ILAC-IAF Communiqué dated January 2009).

2013-07-01 through 2014-06-30

Effective dates



Wm. R. M. L.

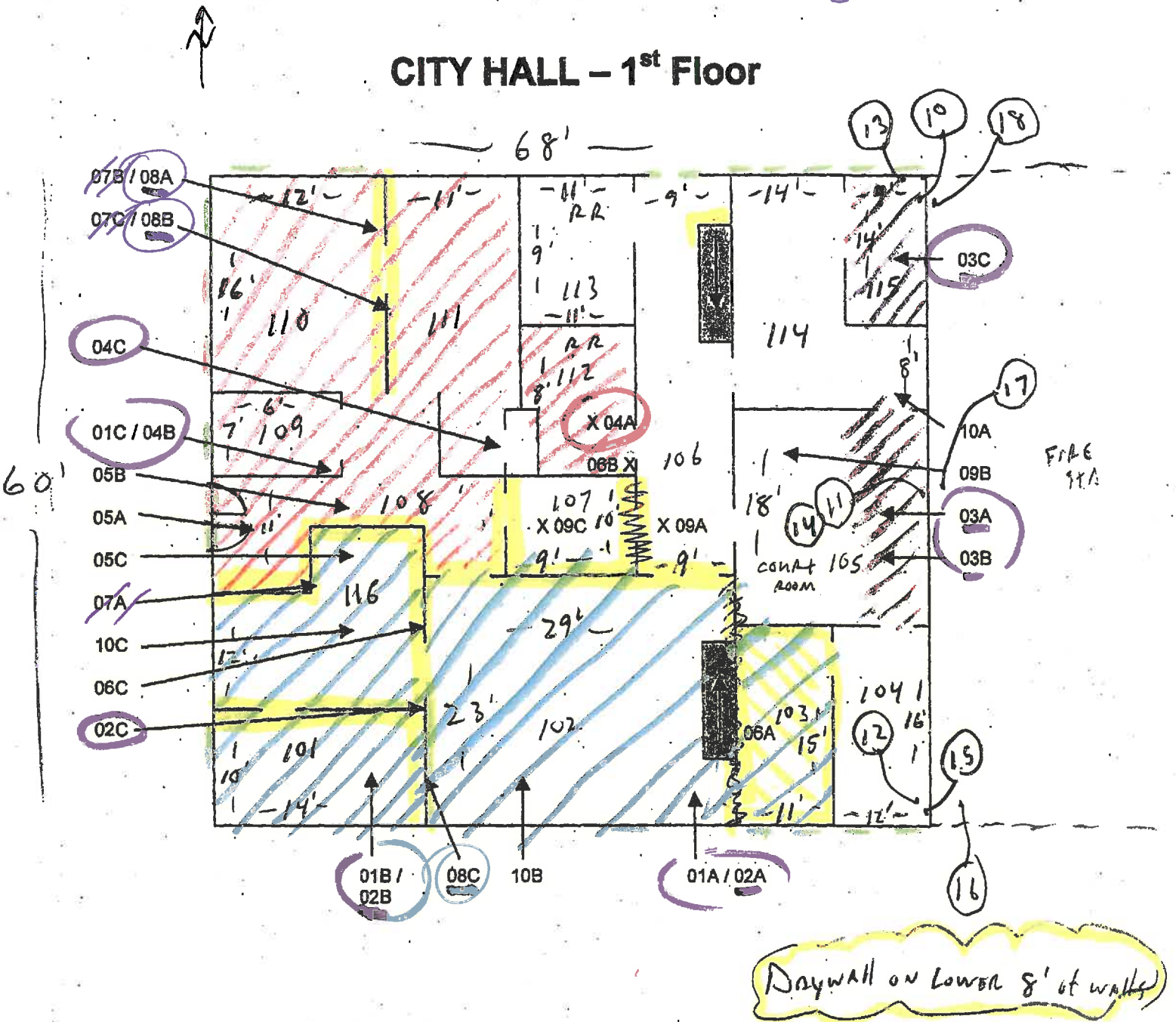
For the National Institute of Standards and Technology

EXHIBIT C

APPENDIX F

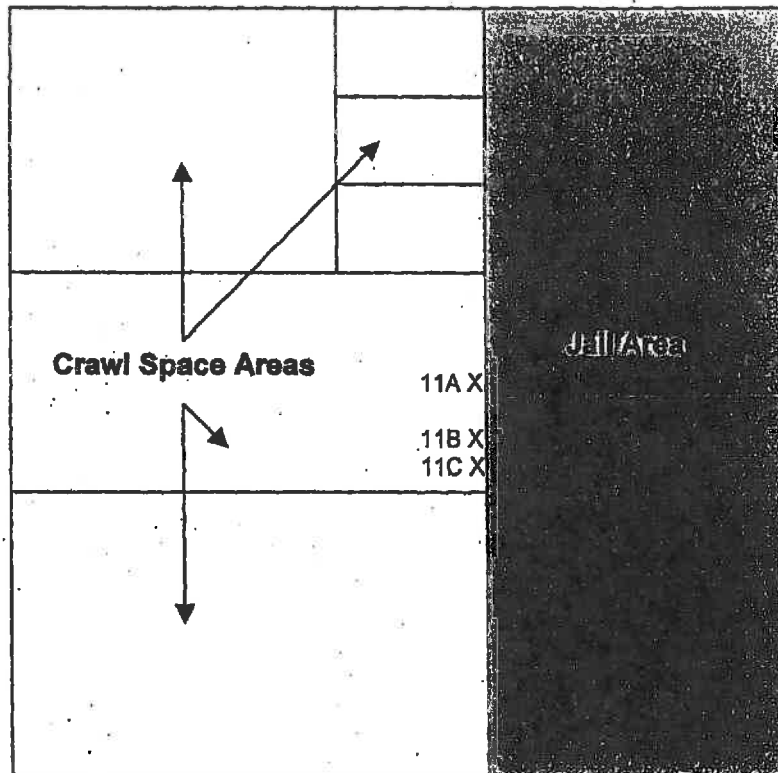
SAMPLE LOCATION MAP

CITY HALL - 1st Floor

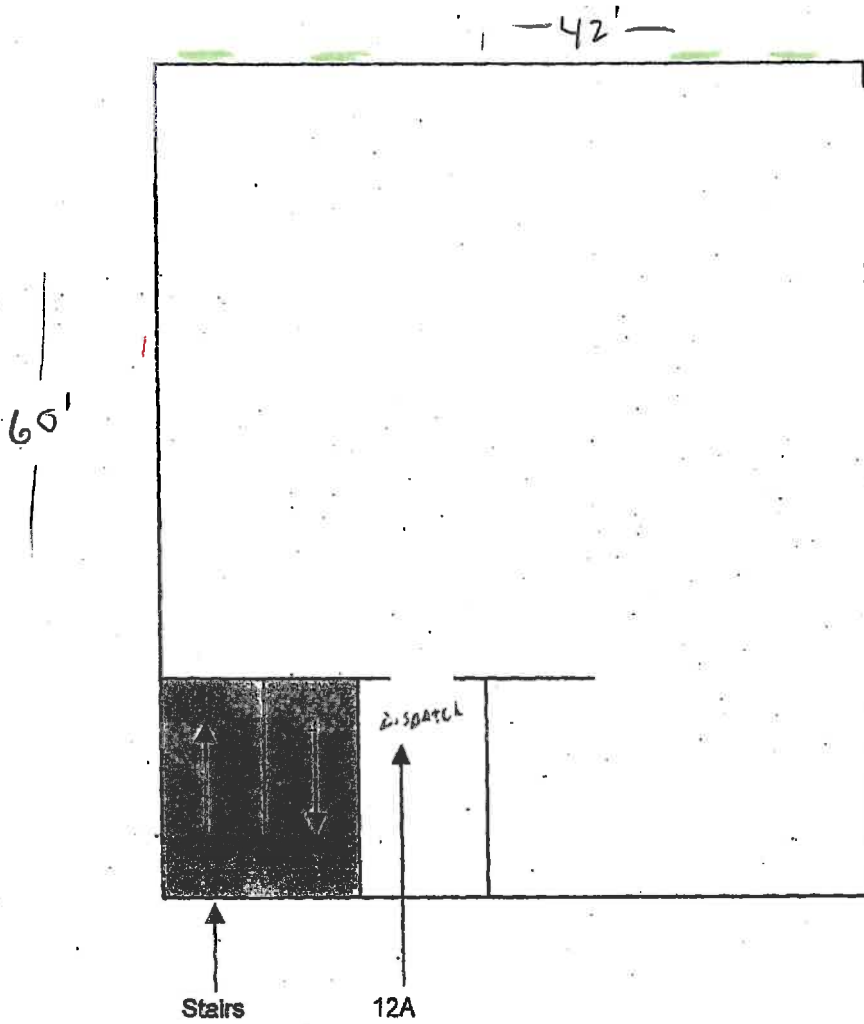


→ = Stairs leading to basement

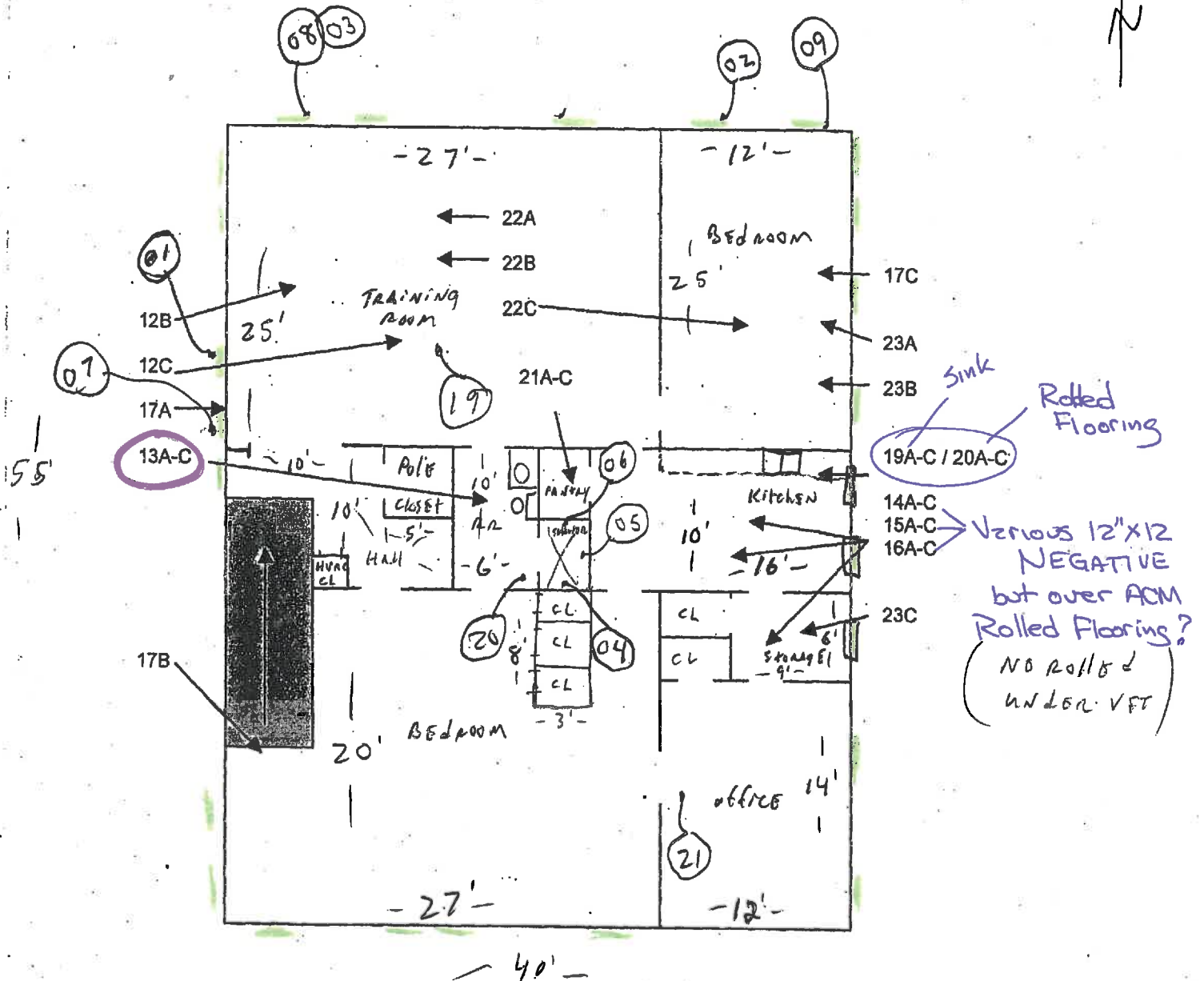
City Hall – Crawl Space



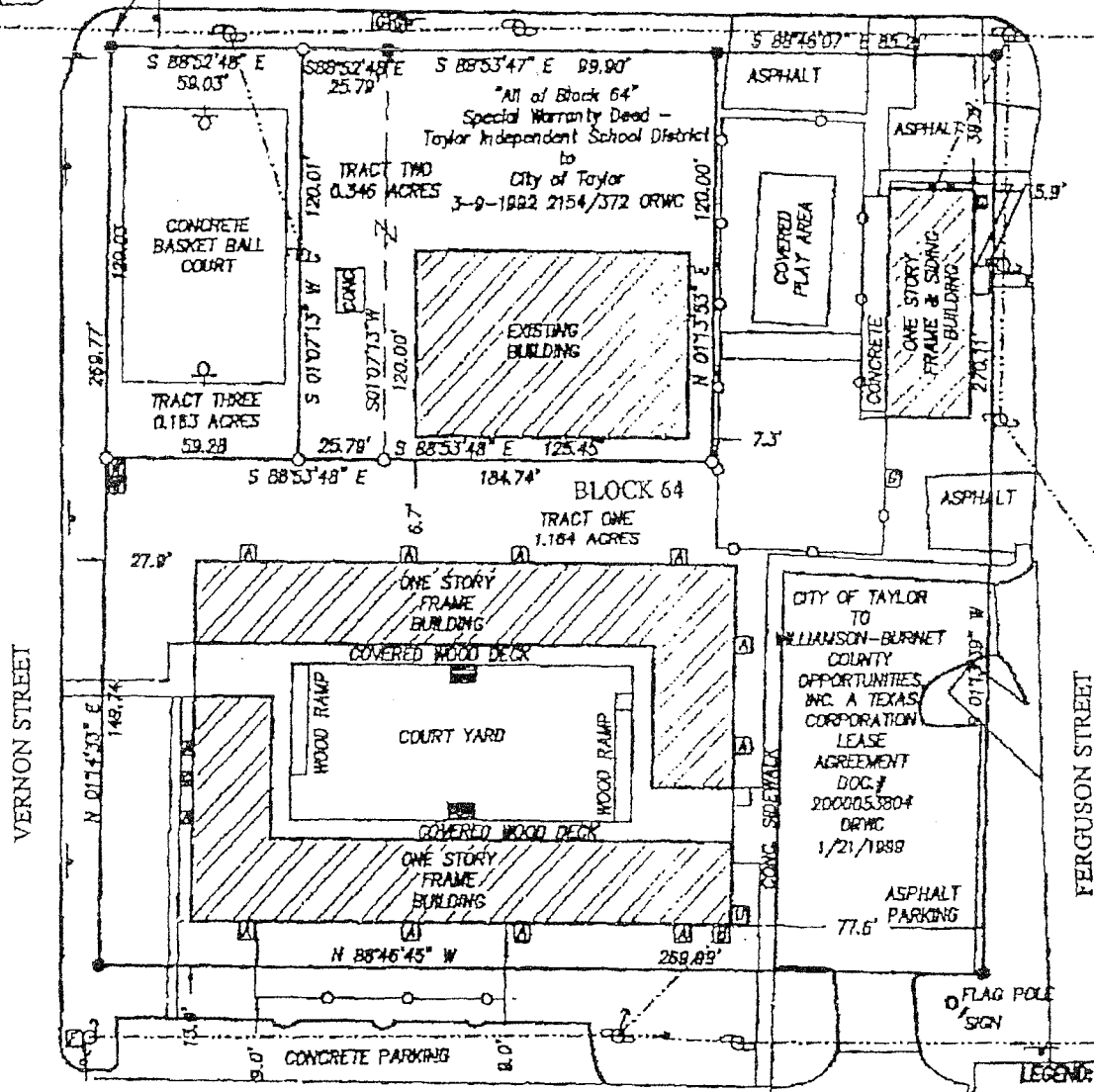
Fire Station – 1st Floor



Fire Station – 2nd Floor



POB TR 3
POC TR 1 & TR 2



LEGEND

- IRON ROD FOUND
- IRON ROD SET
- ☒ WATER METER
- ☒ GAS METER
- ☒ UTILITY
- ☒ POWER POLE
- ☒ FIRE HYDRANT
- ☒ A/C UNIT
- SIGN
- OVERHEAD ELECTRIC
- CHAIN LINK FENCE

Bearings and coordinates reflected herein are based upon City of Taylor H.A.R.N. (high accuracy reference network) and are based on Texas State Plane Coordinate System (Central Zone 4203).



THIS IS TO CERTIFY THAT, ON THIS DATE, A TRUE AND ACCURATE SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION OF PROPERTY LOCATED AT FERGUSON STREET & THIRD STREET IN WILLIAMSON COUNTY, TEXAS, DESCRIBED AS FOLLOWS: BEING PORTIONS OF BLOCK 64, OF THE DOAKS ADDITION, A SUBDIVISION IN WILLIAMSON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME 56, PAGE 483 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS.

FLOOD NOTE:

THE PROPERTY DEPICTED HEREON IS / IS NOT WITHIN A SPECIAL
FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY; THE FLOOD AREA BEING IDENTIFIED ON F. I. R.
M. PANEL NO. 484.53 C02 B5E EFFECTIVE 6-16-83 LOCATED IN ZONE
"C"

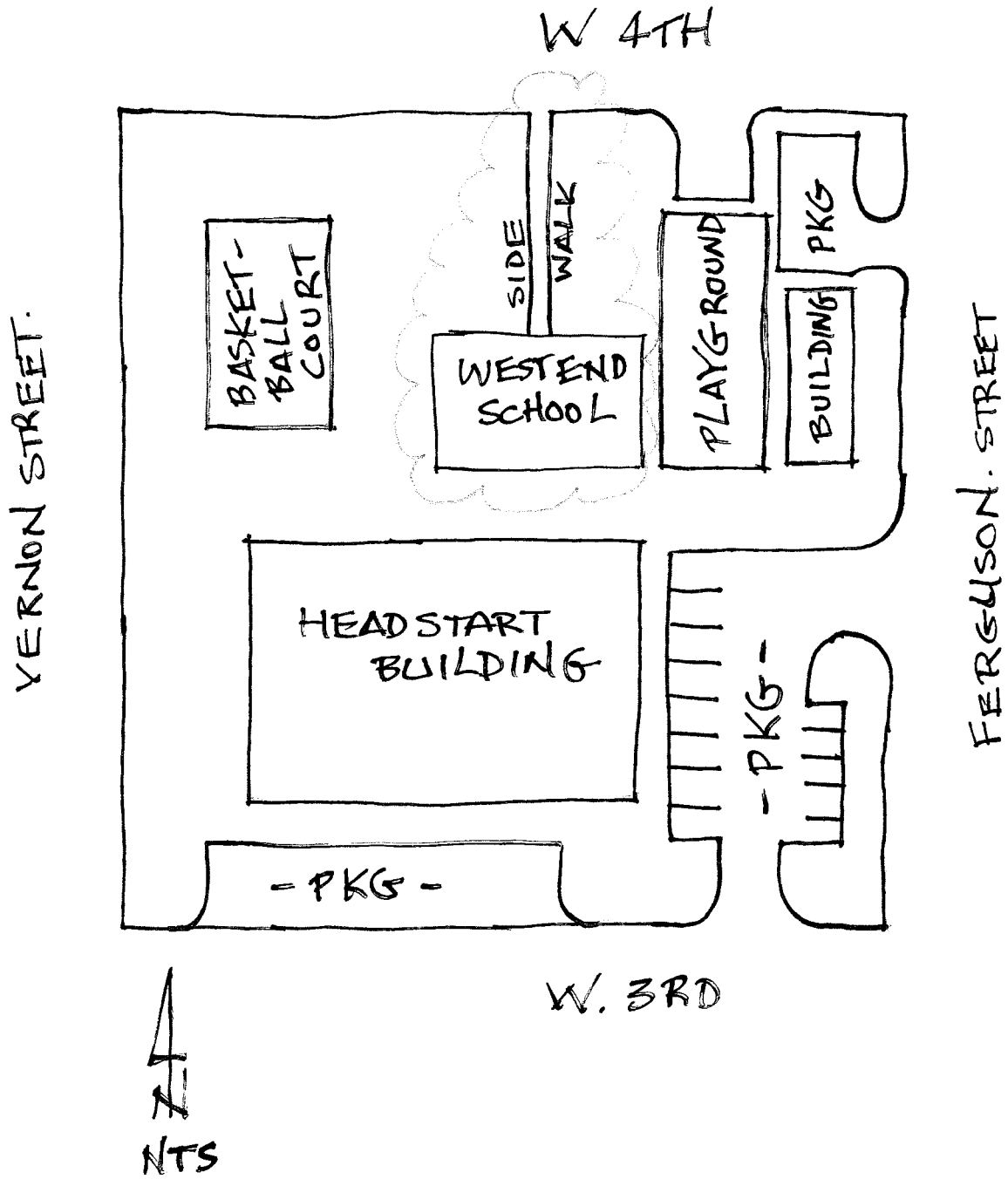
TO: CITY OF TAYLOR

RE: FERGUSON STREET & THIRD STREET, PROJ. NO. 05-846

SURVEYORS CERTIFICATE

NOTE: THIS TRACT IS SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS AND RIGHT TO CREATE ADDITIONAL PUBLIC UTILITY EASEMENTS, IF ANY, ACROSS SUBJECT PROPERTY AS SHOWN IN VOLUME 56, PAGE 483 DRWG.

NOTE: NO TITLE COMMITMENT SUPPLIED OR REVIEWED FOR THIS PROJECT. PARTIES TO THIS TRANSACTION ARE RESPONSIBLE FOR VERIFICATION OF ALL EASEMENTS, COVENANTS AND CONDITIONS WHICH MAY AFFECT THIS TRACT BUT ARE NOT SHOWN HEREON.



**BUILDING MATERIALS SURVEY
For Assessment of
Asbestos-Containing Building Materials**

**FORMER WEST END SCHOOL
1301 WEST 4th STREET
TAYLOR, TEXAS 76574**

**Terracon Project Number: 96097256
August 3, 2009**

Prepared for:

**CITY OF TAYLOR
400 PORTER STREET
TAYLOR, TEXAS 76574**

Prepared by:

**Terracon Consultants, Inc.
Consulting Engineers & Scientists
Austin, Texas**



August 3, 2009

City of Taylor
400 Porter Street
Taylor, Texas 76574

Attention: Mr. John Elsdon, AICP

Telephone: (512) 365-3863
Fax: (512) 352-8483
E-mail: john.elsden@ci.taylor.tx.us

Re: Asbestos Survey
Former West End School
1301 West 4th Street
Taylor, Texas 76574
Terracon Project No. 96097256

Mr. Elsdon:

On July 22, 2009, Terracon Consultants, Inc. (Terracon) conducted an asbestos-containing building material (ACBM) survey of the Former West End School located at 1301 West 4th Street in Taylor, Texas. The survey was conducted and bulk material samples were obtained by Mr. Kenneth Williamson, an Environmental Protection Agency (EPA) accredited and Texas Department of State Health Services (TDSHS) licensed Asbestos Inspector, employed by Terracon. The survey was intended to identify and assess suspect materials, which might be disturbed during renovation/demolition operations associated with the building on the site. **Twenty-seven (27) samples of suspect building materials were obtained in this study.**

Suspect materials that are typically considered for sampling include surfacing materials, thermal insulation, and miscellaneous materials (i.e. floor tiles, ceiling tiles, mastics, etc.). The locations and types of suspect materials sampled were at the discretion of the licensed Asbestos Inspector. Materials not sampled include concrete materials, wooden and metal doors, ceramic tile, fibrous glass containing materials, fibrous glass insulation systems, electrical wiring insulation, and other hidden or inaccessible components (i.e., materials within walls, in crawl spaces, etc.).

ANALYSIS AND RESULTS

All samples of suspect asbestos-containing building materials collected during the survey were analyzed by Omni Environmental, Inc., a National Voluntary Laboratory Accreditation Program (NVLAP) accredited and TDSHS licensed laboratory utilizing Polarized Light Microscopy (PLM) protocol. Reports of laboratory analysis of all samples collected are included herein.



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August 3, 2009



Six (6) of the homogeneous materials sampled and analyzed as part of this survey were found to contain asbestos.

- Chalkboard Panels - The black/green chalkboard panels utilized in all classrooms of the building were found to contain 60% Chrysotile asbestos. The asbestos-containing chalkboard panels identified were noted to be in fair to good condition and were assessed as being non-friable. It is estimated that there exists approximately 672 square feet (56 panels) of these materials in the above listed areas.
- Drywall Construction - The drywall construction materials with a medium texture utilized as the wall between the southeast and southwest classrooms on the 2nd Floor in the building were found to contain 2% Chrysotile asbestos. The asbestos-containing drywall construction materials identified were noted to be in poor to fair condition and were assessed as being non-friable. It is estimated that there exists approximately 480 square feet of these materials in the above listed areas.
- Resilient Floor Tile and Mastic - The brown 9" x 9" floor tile and associated black mastic materials utilized in the east-central and west-central rooms on the 2nd Floor above the stairwells in the building were found to contain 2% Chrysotile asbestos in both the tile and mastic. The asbestos-containing floor tile and mastic materials identified were noted to be in fair to good condition and were assessed as being non-friable. It is estimated that there exists approximately 200 square feet of these materials in the above listed areas.
- Window Glazing Compound - The white window glazing compound materials utilized on the exterior sides of the wood frame windows of the building were found to contain 2% Chrysotile asbestos. The asbestos-containing window glazing compound materials identified were noted to be in fair to good condition and were assessed as being non-friable. It is estimated that there exists approximately 15 square feet (15 windows) of these materials in the above listed areas. *(The windows observed on the north and south elevations of the 2nd Floor did not have glazing compound materials or were removed and covered with wood panels.)*
- Thermal System Insulation Debris - The white thermal system insulation debris materials utilized on the piping and floor area of the Boiler Room in the building were found to contain 60% Chrysotile asbestos. The asbestos-containing thermal system insulation debris materials identified were noted to be in poor condition and were assessed as being friable. It is estimated that there exists approximately 100 square feet of these materials in the above listed area.
- Chalkboard Panel Adhesive - The black adhesive materials behind the chalkboard panels in the classrooms of the building were found to contain 40% Chrysotile asbestos. The asbestos-containing chalkboard adhesive materials identified were noted to be in fair to good condition

Asbestos Survey
Former West End School
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and were assessed as being non-friable. It is estimated that there exists approximately 56 square feet of these materials in the above listed areas. *(Some chalkboards observed were nailed to the walls and may not have used asbestos-containing adhesive materials.)*

None of the other suspect building materials sampled and analyzed as part of this survey were found to contain asbestos.

The roof area of the building was not accessed during this survey. Any suspect materials associated with the roof area of the building should be considered asbestos-containing until sampling is conducted to ascertain or refute the presence of asbestos. Any visual assessment and/or sampling procedures should be conducted by properly trained and licensed personnel.

RECOMMENDATIONS

If the Client does not intend to renovate or demolish the building, the asbestos-containing materials associated with the building, should be managed in place. This in-place management should include such operations as repairing any damaged materials which are not removed as part of any renovation operations, protecting the remaining asbestos-containing materials from further damage, and developing a plan to periodically monitor the condition of the asbestos-containing materials. Notification of the presence of the materials should also be made to residents, employees and outside contractors so that they do not inadvertently disturb the remaining asbestos-containing materials.

If repair, renovation or demolition operations which could disturb the asbestos-containing materials are to be conducted, it is recommended that the affected materials be removed. It is recommended that any removal of asbestos-containing materials associated with the structure be conducted by trained and licensed asbestos abatement personnel working under the requirements of the TDSHS Texas Asbestos Health Protection Rules. According to TDSHS Texas Asbestos Health Protection Rules, a removal project involving the removal of more than 160 square feet or 260 linear feet of asbestos-containing materials would need to be designed by a licensed Individual Asbestos Consultant. Air monitoring by a licensed third-party Air Monitor would be required during the actual removal work regardless of the size of the project. Terracon would be pleased to provide a proposal to provide these services.

At the present time, under the US EPA National Emission Standards for Hazardous Air Pollutants (NESHAP) and the TDSHS regulations, roofing materials are considered Category I non-friable materials. Under the NESHAP regulations, as long as the roofing materials are assessed as non-friable and manual removal methods are utilized, these materials are not considered regulated materials and these regulations do not require that the materials be removed by licensed personnel.

Asbestos Survey
Former West End School
Project No. 96097256
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Terracon

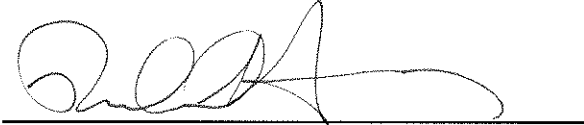
Disposal of roofing materials is also currently not a regulatory issue. The materials may be disposed of at any landfill which accepts general construction debris. At the present time, it would be recommended that the roofing contractor performing roof repairs/removal or the demolition contractor performing the building demolition be notified of the roofing materials that contain asbestos. The contractor would be responsible for assuring that the workforce precautions necessary under OSHA regulations are utilized. There should be no additional cost for removal of the asbestos-containing roofing materials at this time.

We appreciate the opportunity to provide asbestos-related environmental consulting services to you and look forward to working with you on future projects.

Respectfully Submitted,
TERRACON CONSULTANTS, INC.



Mitch Stogner
Individual Asbestos Consultant
TDSHS License Number 105648



Richard Ian Howes
Individual Asbestos Consultant
TDSHS License Number 105406

 For:

Kenneth Williamson
Asbestos Inspector
TDSHS License Number 600050

EXHIBIT E

1.0 PROJECT OBJECTIVE

We understand this asbestos survey was requested due to the planned renovation/demolition operations of the building(s) / structure(s) on the site.

The Texas Department of State Health Services (TDSHS) regulates asbestos-related activities in the State of Texas. The TDSHS Texas Asbestos Health Protection Rules (TAHPR) require that a licensed Asbestos Inspector conduct an asbestos survey which conforms to generally accepted industry standards such as the protocol specified in 40 CFR Part 763.85, commonly referred to as the Asbestos Hazard Emergency Response Act (AHERA) and applies to schools. Other factors are taken into consideration when determining the best method to determine the location, extent and condition of Asbestos-Containing Building Materials (ACBMs) in a non-school building.

EPA regulation 40 CFR 61, Subpart M, National Emission Standards for Hazardous Air Pollutants (NESHAP), prohibits the release of asbestos fibers to the atmosphere during renovation or demolition activities. The asbestos NESHAP, which is enforced by the TDSHS, requires that prior to the commencement of demolition or renovation, that the facility or part of the facility affected be thoroughly inspected for the presence of both Friable (Regulated Asbestos-Containing Building Materials), and Non-Friable (Category I & II Asbestos-Containing Materials).

Terracon conducted a visual assessment of the building(s) / structure(s) to identify materials suspected of containing asbestos (suspect ACM) such as thermal system insulation, surfacing materials, and miscellaneous materials (e.g., floor tiles). Suspect materials were physically assessed for friability and evidence of damage or degradation. Samples of suspect ACM were collected for laboratory analysis. Bulk sample collection was conducted in accordance with the protocols outlined in the TDSHS TAHPR and/or USEPA 40 CFR 763.85, as applicable.

2.0 FIELD ACTIVITIES

The survey was conducted by Texas Department of State Health Services (TDSHS) licensed and Environmental Protection Agency accredited asbestos inspector(s) employed by Terracon. A copy of the asbestos inspector's license(s) is/are attached. The survey was conducted in general accordance with the sample collection protocols established in the TAHPR and/or EPA regulation 40 CFR 763 of the (AHERA), and/or per Client directives, as applicable. A summary of survey activities is provided below.

2.1 Visual Assessment

Our survey activities began with visual observation of the suspect building components to identify homogeneous areas of suspect ACM. A homogeneous area consists of building materials that appear similar throughout in terms of color, texture and date of application. The assessment was conducted throughout visually accessible areas of the structure. Building materials identified as concrete, glass, wood, masonry, metal or rubber were not considered suspect ACM.

EXHIBIT E

2.2 Physical Assessment

A physical assessment of each homogeneous area of suspect ACM was conducted to assess the friability and condition of the materials. A friable material is defined by the EPA as a material when dry may be crumbled, pulverized, or reduced to powder by hand pressure, and includes previously non-friable material after such previously non-friable material becomes damaged to the extent that when dry it may be crumbled, pulverized, or reduced to powder by hand pressure. Friability was assessed by physically touching suspect materials.

2.3 Sample Collection

Based on results of the visual observation, bulk samples of suspect ACM were collected in general accordance with the sample collection protocols established in the TAHPR and/or EPA regulation 40 CFR 763 of the (ASHERA), and/or per Client directives, as applicable. Random samples of suspect materials were collected in each homogeneous area. Sample team members collected bulk samples using wet methods as applicable to reduce the potential for fiber release. Samples were placed in sealable containers and labeled with unique sample numbers using an indelible marker.

2.4 Sample Analysis

Bulk samples were submitted under chain of custody to Omni Environmental, Inc., a National Voluntary Laboratory Accreditation Program (NVLAP) accredited and TDSHS licensed laboratory utilizing Polarized Light Microscopy (PLM) analysis protocol with dispersion staining techniques per EPA methodology (40 CFR 763, Subpart F). The percentage of asbestos, where applicable, was determined by microscopical visual estimation.

3.0 REGULATORY OVERVIEW

The asbestos NESHAP (40 CFR Part 61, Subpart M) regulates asbestos fiber emissions and asbestos waste disposal practices. It also requires the identification and classification of existing building materials prior to demolition or renovation activity. Under NESHAP, asbestos-containing building materials are classified as either friable, Category I non-friable or Category II non-friable ACM. Friable materials are those that, when dry, may be crumbled, pulverized or reduced to powder by hand pressure. Category I non-friable ACM includes packings, gaskets, resilient floor coverings and asphalt roofing products containing more than 1% asbestos. Category II non-friable ACM are any materials other than Category I materials that contain more than 1% asbestos.

Friable ACM, Category I and Category II non-friable ACM which is in poor condition and has become friable or which will be subjected to drilling, sanding, grinding, cutting or abrading and which could be crushed or pulverized during anticipated renovation or demolition activities are considered regulated ACM (RACM).

In the state of Texas, asbestos activities are regulated by the Texas Department of State Health Services (TDSHS) under the Texas Asbestos Health Protection Rules (TAHPR). The TAHPR require that any asbestos-related activity conducted in a public building be performed by personnel licensed by the TDSHS. Asbestos abatement must be performed by TDSHS licensed Asbestos Abatement Contractors in accordance with a Project Design prepared by a TDSHS licensed Asbestos Consultant. Third-party air monitoring must be conducted during the abatement activities. Management Plans developed for the in-place management of asbestos-containing materials must be developed by a TDSHS-licensed Management Planner.

EXHIBIT E

RACM must be removed prior to renovation or demolition activities which will disturb the materials. The owner or operator must provide the TDSHS with written notification of planned removal activities at least 10 working days prior to the commencement of asbestos abatement activities. Removal of RACM must be conducted by a State of Texas licensed Asbestos Abatement Contractor. In addition, third party air monitoring must be performed prior to, during, and following the abatement.

The OSHA Asbestos standard for construction (29 CFR 1926.1101) regulates workplace exposure to asbestos. The OSHA standard requires that employee exposure to airborne asbestos fibers be maintained below 0.1 asbestos fibers per cubic centimeter of air (0.1 f/cc). The OSHA standard classifies construction and maintenance activities which could disturb ACM, and specifies work practices and precautions which employers must follow when engaging in each class of regulated work. States which administer their own federally-approved state OSHA programs may require additional precautions.

4.0 GENERAL COMMENTS

This asbestos survey was conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing under similar conditions in the same locale. The results, findings, conclusions and recommendations expressed in this report are based on conditions observed during our survey of the structure. The information contained in this report is relevant to the date on which this survey was performed, and should not be relied upon to represent conditions at a later date. This report has been prepared on behalf of and exclusively for use by the client for specific application to their project as discussed. This report is not a bidding document. Contractors or consultants reviewing this report must draw their own conclusions regarding further investigation or remediation deemed necessary. Terracon does not warrant the work of regulatory agencies, laboratories or other third parties supplying information which may have been used in the preparation of this report. No warranty, express or implied is made.



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BULK SAMPLE LOG AND RESULTS							
INSPECTOR: Kenneth Williamson		DATE: July 22, 2009	PROJECT NAME: Former West End School - 1301 W. 4 th Street, Taylor, Texas		PROJECT NUMBER: 96097256		
SAMPLE NO.	TYPE OF MATERIAL	HOMOGENEOUS AREA	LOCATION OF SAMPLE	NON-FRIABLE/FRIABLE	CONDITION	QUANTITY	ASBESTOS CONTENT
WE-01	Hard Plaster/Stucco – White top coat on light brown scratch coat	Original walls throughout	1 st Floor – Center Hall, southwest corner wall	Non-Friable	Poor	N/A	None Detected
WE-02	Hard Plaster/Stucco – White top coat on light brown scratch coat	Original walls throughout	1 st Floor – Center Hall, southeast corner wall	Non-Friable	Poor	N/A	None Detected
WE-03	Hard Plaster/Stucco – White top coat on light brown scratch coat	Original walls throughout	2 nd Floor – Northwest Classroom, southeast corner wall	Non-Friable	Poor	N/A	None Detected
WE-04	Hard Plaster/Stucco – White top coat on light brown scratch coat	Original ceilings throughout	2 nd Floor – Northwest Classroom, ceiling, northwest corner	Non-Friable	Good	N/A	None Detected
WE-05	Hard Plaster/Stucco – White top coat on light brown scratch coat	Original ceilings throughout	2 nd Floor – Southwest Classroom, ceiling, southwest corner	Non-Friable	Good	N/A	None Detected
WE-06	Hard Plaster/Stucco – White top coat on light brown scratch coat	Original ceilings throughout	2 nd Floor – Northeast Classroom, ceiling, northeast corner	Non-Friable	Good	N/A	None Detected
WE-07	Chalkboard Panels – Black and green	Classrooms throughout	1 st Floor – Northeast Classroom, south side, central	Non-Friable	Fair	~ 672 sq. ft. (56 panels)	60% Chrysotile
WE-08	Chalkboard Panels – Black and green	Classrooms throughout	2 nd Floor – Northeast Classroom, northwest corner	Non-Friable	Fair	See WE-07	60% Chrysotile

EXHIBIT B

BULK SAMPLE LOG AND RESULTS							
INSPECTOR: Kenneth Williamson		DATE: July 22, 2009	PROJECT NAME: Former West End School - 1301 W. 4 th Street, Taylor, Texas		PROJECT NUMBER: 96097256		
SAMPLE NO.	TYPE OF MATERIAL	HOMOGENEOUS AREA	LOCATION OF SAMPLE	NON-FRIABLE/FRIABLE	CONDITION	QUANTITY	ASBESTOS CONTENT
WE-09	Chalkboard Panels – Black and green	Classrooms throughout	2 nd Floor – Northwest Classroom, south side, central	Non-Friable	Fair	See WE-07	60% Chrysotile
WE-10	Drywall Construction – White with medium texture	2 nd Floor – Wall between Southeast Classroom and Southwest Classroom	2 nd Floor – Southeast Classroom, west wall, north end	Non-Friable	Poor	~ 480 sq. ft.	2% Chrysotile
WE-11	Drywall Construction – White with medium texture	2 nd Floor – Wall between Southeast Classroom and Southwest Classroom	2 nd Floor – Southeast Classroom, west wall, south end	Non-Friable	Poor	See WE-10	2% Chrysotile
WE-12	Drywall Construction – White with medium texture	2 nd Floor – Wall between Southeast Classroom and Southwest Classroom	2 nd Floor – Southwest Classroom, east wall, north end	Non-Friable	Poor	See WE-10	2% Chrysotile
WE-13	Resilient Floor Tile – 9" x 9", Brown with black mastic	2 nd Floor – East Center Room and West Center Room, above Stairwells	2 nd Floor – East Center Room, southwest corner	Non-Friable	Good	~ 200 sq. ft.	2% Chrysotile in the tile 2% Chrysotile in the mastic
WE-14	Resilient Floor Tile – 9" x 9", Brown with black mastic	2 nd Floor – East Center Room and West Center Room, above Stairwells	2 nd Floor – East Center Room, east side, central	Non-Friable	Good	See WE-13	2% Chrysotile in the tile 2% Chrysotile in the mastic

BULK SAMPLE LOG AND RESULTS							
INSPECTOR: Kenneth Williamson		DATE: July 22, 2009	PROJECT NAME: Former West End School - 1301 W. 4 th Street, Taylor, Texas		PROJECT NUMBER: 96097256		
SAMPLE NO.	TYPE OF MATERIAL	HOMOGENEOUS AREA	LOCATION OF SAMPLE	NON-FRIABLE/FRIABLE	CONDITION	QUANTITY	ASBESTOS CONTENT
WE-15	Resilient Floor Tile – 9" x 9", Brown with black mastic	2 nd Floor – East Center Room and West Center Room, above Stairwells	2 nd Floor – West Center Room, southeast corner	Non-Friable	Good	See WE-13	2% Chrysotile in the tile 2% Chrysotile in the mastic
WE-16	Window Glazing Compound - White	1 st Floor - Small corner windows, windows in Northeast Classroom and Northwest Classroom; 2 nd Floor – Small corner windows	1 st Floor – Northwest Classroom, east-central window	Friable	Poor	~ 15 sq. ft. (15 windows)	2% Chrysotile
WE-17	Window Glazing Compound - White	1 st Floor - Small corner windows, windows in Northeast Classroom and Northwest Classroom; 2 nd Floor – Small corner windows	1 st Floor – Northwest Classroom, west window	Friable	Poor	See WE-16	2% Chrysotile
WE-18	Window Glazing Compound - White	1 st Floor - Small corner windows, windows in Northeast Classroom and Northwest Classroom; 2 nd Floor – Small corner windows	2 nd Floor – Southwest Classroom, southwest small corner window	Friable	Poor	See WE-16	2% Chrysotile
WE-19	Thermal System Insulation Debris - White	1 st Floor – Boiler Room, on Boiler piping and floor around Boiler	1 st Floor – Boiler Room, pipe on top of Boiler	Friable	Poor	~ 100 sq. ft.	60% Chrysotile

BULK SAMPLE LOG AND RESULTS							
INSPECTOR: Kenneth Williamson		DATE: July 22, 2009	PROJECT NAME: Former West End School - 1301 W. 4 th Street, Taylor, Texas		PROJECT NUMBER: 96097256		
SAMPLE NO.	TYPE OF MATERIAL	HOMOGENEOUS AREA	LOCATION OF SAMPLE	NON-FRIABLE/FRIABLE	CONDITION	QUANTITY	ASBESTOS CONTENT
WE-20	Thermal System Insulation Debris - White	1 st Floor – Boiler Room, on Boiler piping and floor around Boiler	1 st Floor – Boiler Room, on floor at north end of Boiler	Friable	Poor	See WE-19	60% Chrysotile
WE-21	Thermal System Insulation Debris - White	1 st Floor – Boiler Room, on Boiler piping and floor around Boiler	1 st Floor – Boiler Room, on floor at south end of Boiler	Friable	Poor	See WE-19	60% Chrysotile
WE-22	Chalkboard Panel Adhesive - Black	Various chalkboard panels throughout	1 st Floor – Northeast Classroom, west wall, north end	Non-Friable	Good	~ 56 sq. ft.	40% Chrysotile
WE-23	Chalkboard Panel Adhesive - Black	Various chalkboard panels throughout	2 nd Floor – Northeast Classroom, west wall, south end	Non-Friable	Good	See WE-22	40% Chrysotile
WE-24	Chalkboard Panel Adhesive - Black	Various chalkboard panels throughout	2 nd Floor – Northeast Classroom, west wall, north end	Non-Friable	Good	See WE-22	40% Chrysotile
WE-25	Boiler Brick – Brown, cementitious	1 st Floor – Boiler Room, bottom of Boiler	1 st Floor – Boiler Room, bottom of Boiler, central	Non-Friable	Poor	N/A	None Detected
WE-26	Boiler Brick – Brown, cementitious	1 st Floor – Boiler Room, bottom of Boiler	1 st Floor – Boiler Room, bottom of Boiler, central	Non-Friable	Poor	N/A	None Detected
WE-27	Boiler Brick – Brown, cementitious	1 st Floor – Boiler Room, bottom of Boiler	1 st Floor – Boiler Room, bottom of Boiler, central	Non-Friable	Poor	N/A	None Detected

EXHIBIT E

SAMPLE SUMMARY REPORT

Omni Environmental, Inc.

2101 Donley Drive Suite B-100

Austin, TX 78758

(512) 258-9114

NVLAP # 102061

TDSHS Lab License 30-0087

Client Name: Terracon

Client Project Number: 96097256

Contact Name: Mitch Stogner

Lab Project #: 208686

Client Sample Number	Lab Sample Number	Asbestos Type and %	Asbestos Content by Layer	
WE-01	502358	NAD		
WE-02	502359	NAD		
WE-03	502360	NAD		
WE-04	502361	NAD		
WE-05	502362	NAD		
WE-06	502363	NAD		
WE-07	502364	Chry 60%		
WE-08	502365	Chry 60%		
WE-09	502366	Chry 60%		
WE-10	502367	Chry <1%	2% Chrysotile detected in	layer beneath Paint
WE-11	502368	Chry <1%	2% Chrysotile detected in	layer beneath Paint
WE-12	502369	Chry <1%	2% Chrysotile detected in	layer beneath Paint
WE-13	502370	Chry 5%	2% Chrysotile detected in	Floor Tile 2% Chrysotile detected in Tar
WE-14	502371	Chry 5%	2% Chrysotile detected in	Floor Tile 2% Chrysotile detected in Tar
WE-15	502372	Chry 5%	2% Chrysotile detected in	Floor Tile 2% Chrysotile detected in Tar
WE-16	502373	Chry 2%		
WE-17	502374	Chry 2%		
WE-18	502375	Chry 2%		
WE-19	502376	Chry 60%		
WE-20	502377	Chry 60%		
WE-21	502378	Chry 60%		
WE-22	502379	Chry 40%		
WE-23	502380	Chry 40%		
WE-24	502381	Chry 40%		
WE-25	502382	NAD		
WE-26	502383	NAD		
WE-27	502384	NAD		

This report is only a summary. For complete information on each sample see the Bulk Sample Analysis Report.
Note that NAD means that No Asbestos was Detected in the sample or layer.

BULK SAMPLE ANALYSIS REPORT

Omni Environmental, Inc.

2101 Donley Drive Suite B-100

Austin, TX 78758

(512) 258-9114

NVLAP # 102061

TDSHS Lab License 30-0087

August 3, 2009

Mitch Stogner

Terracon

5307 Industrial Oaks Blvd. Ste. 160

Austin, TX 78735

Dear Mr. Stogner:

Please find enclosed the bulk sample analytical results for the following project:

Client Project #:	96097256	Lab Project #:	208686
Date Received:	7/27/2009	Received By:	Monika Enriquez
Delivery Agency:	Austin Professional Couriers	Name/Tracking #:	788158
Date Logged:	7/28/2009	Logged in by:	Colleen Quindlen, M.S.
Analysis Completed:	8/3/2009	Samples in Project:	27

The following procedures were used in sample analysis unless otherwise noted.

ANALYTICAL METHOD: EPA Method for the Determination of Asbestos in Bulk Building Materials (EPA 600/R-93/116) or EPA Interim Method for the Determination of Asbestos in Bulk Insulation Samples (EPA 600/M4-82-020), as applicable.

Percentages are visual estimates based on sample volume. Limit of Detection: <1%. Limit of Quantification: 1%.

Negative results of resinously bound materials such as roofing material or floor tile may be inconclusive. NAD means No Asbestos was Detected in the sample or layer. The term texturizer (where applicable) may include wall texturizing, tape and bed, and/or joint compound. This report relates only to the item tested. It may not be used to claim product endorsement by NVLAP or any agency of the federal government. This report may not be reproduced, except in full, without the expressed written consent of laboratory management. Subsamples of layers or other inhomogeneities were analyzed separately and their results combined in proportion to the quantity of each layer to obtain quantitative results for the sample as a whole. All samples are stored for 1 month from the original analysis date before being disposed of.

Please call us if you have any questions regarding this report

Thank you for your business.

Sincerely,

Steve Griffin

Steve Griffin, Lab Manager

Digitally signed by Steve Griffin

DN: cn=Steve Griffin, o=Omni Environmental, Inc, ou,

email=steve@omnienv.com, c=US

Date: 2009.08.03 10:56:16 -05'00'

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	208686	Lab Sample #: 502358	Color:	White
Client Project #:	96097256		Characterization:	Heterogeneous, Non-Fibrous
Client Sample #:	WE-01		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 70 %
Amosite		Paint 10 %
Crocidolite		Aggregate 20 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #: 502359	Color:	White
Client Project #:	96097256		Characterization:	Heterogeneous, Non-Fibrous
Client Sample #:	WE-02		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 70 %
Amosite		Paint 10 %
Crocidolite		Aggregate 20 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #: 502360	Color:	White
Client Project #:	96097256		Characterization:	Heterogeneous, Non-Fibrous
Client Sample #:	WE-03		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 70 %
Amosite		Paint 10 %
Crocidolite		Aggregate 20 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	208686	Lab Sample #: 502361	Color:	White
Client Project #:	96097256		Characterization:	Heterogeneous, Non-Fibrous
Client Sample #:	WE-04		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 40 %
Amosite		Paint 10 %
Crocidolite		Aggregate 50 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #: 502362	Color:	White
Client Project #:	96097256		Characterization:	Homogeneous, Non-Fibrous
Client Sample #:	WE-05		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez		QC'd By:	Steve Griffin
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 50 %
Amosite		Aggregate 50 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #: 502363	Color:	White
Client Project #:	96097256		Characterization:	Homogeneous, Non-Fibrous
Client Sample #:	WE-06		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 48 %
Amosite		Paint 2 %
Crocidolite		Aggregate 50 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 208686 Lab Sample #: 502364 Color: Gray
 Client Project #: 96097256 Characterization: Homogeneous, Fibrous
 Client Sample #: WE-07 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 60 %		Filler/Binder 38 %
Amosite		Tar 2 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 60 %	Fibrous Total:	Non-Fibrous Total: 40 %

SAMPLE LAYER DETAILS

Lab Project #: 208686 Lab Sample #: 502365 Color: Gray
 Client Project #: 96097256 Characterization: Homogeneous, Fibrous
 Client Sample #: WE-08 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 60 %		Filler/Binder 36 %
Amosite		Tar 2 %
Crocidolite		Paint 2 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 60 %	Fibrous Total:	Non-Fibrous Total: 40 %

SAMPLE LAYER DETAILS

Lab Project #: 208686 Lab Sample #: 502366 Color: Gray
 Client Project #: 96097256 Characterization: Homogeneous, Fibrous
 Client Sample #: WE-09 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 60 %		Filler/Binder 38 %
Amosite		Tar 2 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 60 %	Fibrous Total:	Non-Fibrous Total: 40 %

SAMPLE LAYER DETAILS

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 208686 Lab Sample #: 502367 Color: Green
 Client Project #: 96097256 Characterization: Homogeneous, Fibrous
 Client Sample #: WE-10 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	<1 %	Cellulose	10 %	Filler/Binder 88 %
Amosite				Paint 2 %
Crocidolite				
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	<1 %	Fibrous Total:	10 %	Non-Fibrous Total: 90 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in layer beneath Paint.

Lab Project #: 208686 Lab Sample #: 502368 Color: Green
 Client Project #: 96097256 Characterization: Homogeneous, Fibrous
 Client Sample #: WE-11 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez QC'd By: Steve Griffin
 Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	<1 %	Cellulose	50 %	Filler/Binder 48 %
Amosite				Paint 2 %
Crocidolite				
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	<1 %	Fibrous Total:	50 %	Non-Fibrous Total: 50 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in layer beneath Paint.

Lab Project #: 208686 Lab Sample #: 502369 Color: Green
 Client Project #: 96097256 Characterization: Homogeneous, Fibrous
 Client Sample #: WE-12 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez QC'd By: Steve Griffin
 Comments:

<u>ASBESTOS COMPONENTS</u>		<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>	
Chrysotile	<1 %	Cellulose	50 %	Filler/Binder 48 %
Amosite				Paint 2 %
Crocidolite				
Tremolite				
Actinolite				
Anthophyllite				
Asbestos Total:	<1 %	Fibrous Total:	50 %	Non-Fibrous Total: 50 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in layer beneath Paint.

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 208686 Lab Sample #: 502370 Color: Tan
 Client Project #: 96097256 Characterization: Heterogeneous, Non-Fibrous
 Client Sample #: WE-13 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 5 %		Filler/Binder 63 %
Amosite		Tar 2 %
Crocidolite		Aggregate 30 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 5 %	Fibrous Total:	Non-Fibrous Total: 95 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in Floor Tile.
 Layer 2: 2% Chrysotile detected in Tar.

Lab Project #: 208686 Lab Sample #: 502371 Color: Tan
 Client Project #: 96097256 Characterization: Heterogeneous, Non-Fibrous
 Client Sample #: WE-14 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 5 %		Filler/Binder 63 %
Amosite		Tar 2 %
Crocidolite		Aggregate 30 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 5 %	Fibrous Total:	Non-Fibrous Total: 95 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in Floor Tile.
 Layer 2: 2% Chrysotile detected in Tar.

Lab Project #: 208686 Lab Sample #: 502372 Color: Tan
 Client Project #: 96097256 Characterization: Heterogeneous, Non-Fibrous
 Client Sample #: WE-15 Date Analyzed: 8/2/2009
 Analyst: Monika Enriquez
 Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 5 %		Filler/Binder 63 %
Amosite		Tar 2 %
Crocidolite		Aggregate 30 %
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 5 %	Fibrous Total:	Non-Fibrous Total: 95 %

SAMPLE LAYER DETAILS

Layer 1: 2% Chrysotile detected in Floor Tile.
 Layer 2: 2% Chrysotile detected in Tar.

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 208686
Client Project #: 96097256
Client Sample #: WE-16
Analyst: Monika Enriquez
Comments:

Lab Sample #: 502373

Color: Gray
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 8/2/2009

ASBESTOS COMPONENTS
Chrysotile 2 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS
Filler/Binder 98 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Lab Project #: 208686
Client Project #: 96097256
Client Sample #: WE-17
Analyst: Monika Enriquez
Comments:

Lab Sample #: 502374

Color: Gray
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 8/2/2009

ASBESTOS COMPONENTS
Chrysotile 2 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS
Filler/Binder 98 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

Lab Project #: 208686
Client Project #: 96097256
Client Sample #: WE-18
Analyst: Monika Enriquez
Comments:

Lab Sample #: 502375

Color: Gray
Characterization: Homogeneous, Non-Fibrous
Date Analyzed: 8/2/2009

ASBESTOS COMPONENTS
Chrysotile 2 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite
Asbestos Total: 2 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS
Filler/Binder 98 %

Non-Fibrous Total: 98 %

SAMPLE LAYER DETAILS

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #: 208686 Lab Sample #: 502376 Color: Gray
Client Project #: 96097256 Characterization: Homogeneous, Fibrous
Client Sample #: WE-19 Date Analyzed: 8/2/2009
Analyst: Monika Enriquez
Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 60 %		Filler/Binder 40 %
Amosite		
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 60 %	Fibrous Total:	Non-Fibrous Total: 40 %

SAMPLE LAYER DETAILS

Lab Project #: 208686 Lab Sample #: 502377 Color: Gray
Client Project #: 96097256 Characterization: Homogeneous, Fibrous
Client Sample #: WE-20 Date Analyzed: 8/2/2009
Analyst: Monika Enriquez
Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 60 %		Filler/Binder 40 %
Amosite		
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 60 %	Fibrous Total:	Non-Fibrous Total: 40 %

SAMPLE LAYER DETAILS

Lab Project #: 208686 Lab Sample #: 502378 Color: Gray
Client Project #: 96097256 Characterization: Homogeneous, Fibrous
Client Sample #: WE-21 Date Analyzed: 8/2/2009
Analyst: Monika Enriquez
Comments:

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile 60 %		Filler/Binder 40 %
Amosite		
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: 60 %	Fibrous Total:	Non-Fibrous Total: 40 %

SAMPLE LAYER DETAILS

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	208686	Lab Sample #:	502379	Color:	Black
Client Project #:	96097256			Characterization:	Heterogeneous, Fibrous
Client Sample #:	WE-22			Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez				
Comments:					

ASBESTOS COMPONENTS

Chrysotile 40 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite

Asbestos Total: 40 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder
Tar 60 %

Non-Fibrous Total: 60 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #:	502380	Color:	Black
Client Project #:	96097256			Characterization:	Heterogeneous, Fibrous
Client Sample #:	WE-23			Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez				
Comments:					

ASBESTOS COMPONENTS

Chrysotile 40 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite

Asbestos Total: 40 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder
Tar 60 %

Non-Fibrous Total: 60 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #:	502381	Color:	Black
Client Project #:	96097256			Characterization:	Heterogeneous, Fibrous
Client Sample #:	WE-24			Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez				
Comments:					

ASBESTOS COMPONENTS

Chrysotile 40 %
Amosite
Crocidolite
Tremolite
Actinolite
Anthophyllite

Asbestos Total: 40 %

FIBROUS COMPONENTS

Fibrous Total:

NON-FIBROUS COMPONENTS

Filler/Binder
Tar 60 %

Non-Fibrous Total: 60 %

SAMPLE LAYER DETAILS

EXHIBIT E

BULK SAMPLE ANALYSIS REPORT

Lab Project #:	208686	Lab Sample #: 502382	Color:	White
Client Project #:	96097256		Characterization:	Homogeneous, Non-Fibrous
Client Sample #:	WE-25		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 70 %
Amosite		Aggregate 30 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #: 502383	Color:	White
Client Project #:	96097256		Characterization:	Homogeneous, Non-Fibrous
Client Sample #:	WE-26		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 70 %
Amosite		Aggregate 30 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

Lab Project #:	208686	Lab Sample #: 502384	Color:	White
Client Project #:	96097256		Characterization:	Homogeneous, Non-Fibrous
Client Sample #:	WE-27		Date Analyzed:	8/2/2009
Analyst:	Monika Enriquez			
Comments:				

<u>ASBESTOS COMPONENTS</u>	<u>FIBROUS COMPONENTS</u>	<u>NON-FIBROUS COMPONENTS</u>
Chrysotile		Filler/Binder 70 %
Amosite		Aggregate 30 %
Crocidolite		
Tremolite		
Actinolite		
Anthophyllite		
Asbestos Total: NAD	Fibrous Total:	Non-Fibrous Total: 100 %

SAMPLE LAYER DETAILS

OMNI ENVIRONMENTAL, INC.
2101 Donley Drive, Suite B-100
Austin, Texas 78758
(512) 258-9114 / (512) 258-9115 Fax

BULK ASBESTOS SAMPLE CHAIN OF CUSTODY

Client Name: Terracon **Contact Person:** Mitch Stogner *Plus copy to Katie Ramirez

Address: 5307 Industrial Oaks Boulevard, Suite 160, Austin, TX - 78735

Phone Number: (512) 442-1122 **Fax Number:** (512) 442-1181

Email Address: mwstogner@terracon.com and kdramirez@terracon.com

Delivered By: Courier – APC **Date Delivered:** 07-27-09

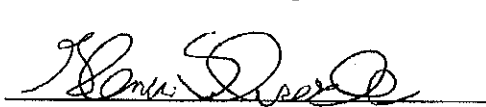
Project Name / Number: Former West End School / 96097256

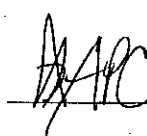
Number of Samples: Twenty-Seven (27)

Notes: Invoice Terracon for these samples.

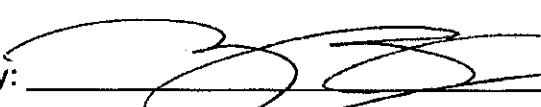
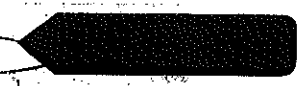
Sample ID #	Sample ID #	Sample ID #	Sample ID #	Sample ID #
WE-01				
Through				
WE-27				

Samples Released By: Glenn Shrode to APC **Date:** 07-27-09



 788158

LABORATORY USE ONLY

Samples Received by:  

Date: 7/27/09 **Time:** 11:53

Payment received: _____

208686



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

TERRACON CONSULTANTS, INC

is certified to perform as a

Asbestos Consultant Agency

in the State of Texas within the purview of Texas Occupations Code, chapter 1954, so long as this license is not suspended or revoked and is renewed according to the rules adopted by the Texas Board of Health.

A handwritten signature in cursive script, appearing to read "David Lakey MD".

DAVID LAKEY, M.D.
COMMISSIONER OF HEALTH

License Number: 100157

Control Number: 96165

Expiration Date: 11/30/2010

(Void After Expiration Date)

VOID IF ALTERED NON-TRANSFERABLE

EXHIBIT E

 **TEXAS**
Department of
State Health Services

Control No:
92113

Department of State Health Services certifies that:

RICHARD I HOWES

Is Licensed as an:
Individual Asbestos Consultant

License Number: 105406
From: 03/22/2006
To: 03/21/2008



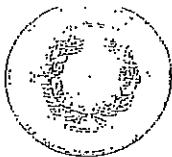


EXHIBIT E

TEXAS DEPARTMENT OF STATE HEALTH SERVICES

DAVID L. LAKEY, M.D.
COMMISSIONER

1100 West 49th Street • Austin, Texas 78756
P.O. Box 149347 • Austin, Texas 78714-9347
1-888-963-7111 • www.dshs.state.tx.us
TTY: 1-800-735-2989

APRIL 24, 2008

RICHARD HOWES
2501 SPRING CREEK
AUSTIN, TX 78704

This is to verify that the individual shown below holds a valid credential to practice as an ASBESTOS INDIVIDUAL CONSULTANT in the State of Texas.

NAME: RICHARD HOWES
LICENSE TYPE: ASBESTOS INDIVIDUAL CONSULTANT
LICENSE NUMBER: 105406
CONTROL NUMBER: 95604
EXPIRATION DATE: 3/21/2010

If you have any questions, please contact us by phone at 512-834-6600, by fax at 512/834-6614. We encourage you to visit our website at <http://www.dshs.state.tx.us> for frequently updated information, including rules, laws, publications and forms. You may also verify a credential through this website.

Environmental & Sanitation Licensing Group

EXHIBIT E

 **TEXAS**
Department of
State Health Services

Control No:
95516

Department of State Health Services certifies that:
MITCH STOGER
is Licensed as an:
Asbestos Individual Consultant

License Number: 105648
Expiration Date: 12/26/2009



EXHIBIT E

 **TEXAS**
Department of
State Health Services

Control No:
92737

Department of State Health Services certifies that:
KENNETH L WILLIAMSON
is Licensed as an:
Asbestos Inspector



License Number: 600050
From: 05/08/2006
To: 05/07/2008

EXHIBIT E



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

DAVID L. LAKEY, M.D.
COMMISSIONER

1100 West 49th Street • Austin, Texas 78756
P.O. Box 149347 • Austin, Texas 78714-9347
1-888-963-7111 • www.dshs.state.tx.us
TTY: 1-800-735-2989

MAY 13, 2008

KENNETH WILLIAMSON
1111 DUNSTAN DR
AUSTIN, TX 78745

This is to verify that the individual shown below holds a valid credential to practice as an ASBESTOS INSPECTOR in the State of Texas.

NAME: KENNETH WILLIAMSON
LICENSE TYPE: ASBESTOS INSPECTOR
LICENSE NUMBER: 600050
CONTROL NUMBER: 95771
EXPIRATION DATE: 5/7/2010

If you have any questions, please contact us by phone at 512-834-6600, by fax at 512/834-6614. We encourage you to visit our website at <http://www.dshs.state.tx.us> for frequently updated information, including rules, laws, publications and forms. You may also verify a credential through this website.

Environmental & Sanitation Licensing Group



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

OMNI ENVIRONMENTAL INC

is certified to perform as a

Asbestos Laboratory PLM

in the State of Texas within the purview of Texas Occupations Code, chapter 1954, so long as this license is not suspended or revoked and is renewed according to the rules adopted by the Texas Board of Health.

A handwritten signature in cursive script, appearing to read "David Lakey MD".

DAVID LAKEY, M.D.
COMMISSIONER OF HEALTH

License Number: 300087

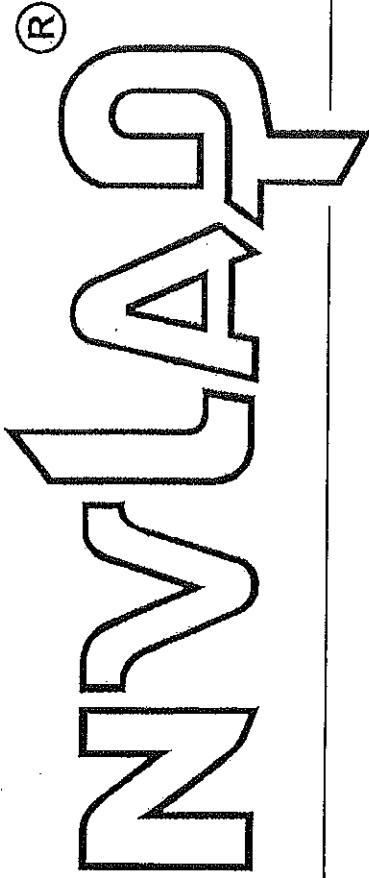
Control Number: 95569

Expiration Date: 6/15/2011

(Void After Expiration Date)

VOID IF ALTERED NON-TRANSFERABLE

United States Department of Commerce
National Institute of Standards and Technology



Certificate of Accreditation to ISO/IEC 17025:2005

NVLAP LAB CODE: 102061-0

Omni Environmental, Inc.
Austin, TX

is accredited by the National Voluntary Laboratory Accreditation Program for specific services,
listed on the Scope of Accreditation, for.

BULK ASBESTOS FIBER ANALYSIS

This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2005.
This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality
management system (refer to joint ISO-ILAC-IAF Communiqué dated January 2009).

2009-07-01 through 2010-06-30

Effective dates



Dolly S. Bruce
For the National Institute of Standards and Technology



PO Box 7858
Round Rock, Texas 78683

P 512.336.7665
F 512.258.6342
www.sierra-demolition.com

November 15, 2013

Mr. Bob van Til
City of Taylor
400 Porter Street
Taylor, TX 76574

RE: Demolition Services
Former City Hall and Fire Station

Dear Mr. van Til:

Sierra Demolition is pleased to submit for your consideration the following proposal for the above referenced work.

Our proposal is for the demolition and disposal of the former City Hall and Fire Station Building. All work will be performed in accordance with TDSHS, OSHA and all applicable Federal, State and Local Regulations as well as the "Demolition Specifications" provided by the City of Taylor. All work will be covered by \$2,000,000.00 in GL and \$1,000,000.00 in Auto and WC policies.

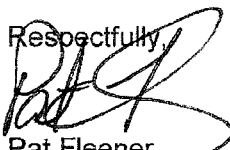
\$48,325.00 – Asbestos removal and demolition of structures.

\$15,600.00 – Add alternate for fill materials.

\$3,800.00 – Add alternate for grass in affected areas leaving site in a mowable condition.

This project will require approximately 20 working days to complete. If a Performance and Payment Bond is required, please add 3% to the contract price. Attached is a sample of the Certificate of Insurance to be provided upon award. Our EIN is 74-2809075. Work plans and Safety plans will be provided upon award.

If you should have any questions or require any additional information, please do not hesitate to call.

Respectfully,

Pat Fleener
Sierra Demolition



PO Box 7858
Round Rock, Texas 78683

P 512.336.7665
F 512.258.6342
www.sierra-demolition.com

November 15, 2013

Mr. Bob van Til
City of Taylor
400 Porter Street
Taylor, TX 76574

RE: Demolition Services
West End School

Dear Mr. van Til:

Sierra Demolition is pleased to submit for your consideration the following proposal for the above referenced work.

Our proposal is for the demolition and disposal of the old West End School. All work will be performed in accordance with TDSHS, OSHA and all applicable Federal, State and Local Regulations as well as the "Demolition Specifications" provided by the City of Taylor. All work will be covered by \$2,000,000.00 in GL and \$1,000,000.00 in Auto and WC policies.

\$24,550.00 – Asbestos removal and demolition of structures.

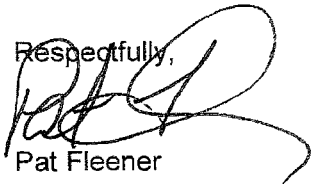
\$9,365.00 – Add alternate for fill materials.

\$2,880.00 – Add alternate for grass in affected areas leaving site in a mowable condition.

This project will require approximately 15 working days to complete. If a Performance and Payment Bond is required, please add 3% to the contract price. Attached is a sample of the Certificate of Insurance to be provided upon award. Our EIN is 74-2809075. Work plans and Safety plans will be provided upon award.

If you should have any questions or require any additional information, please do not hesitate to call.

Respectfully,



Pat Fleener
Sierra Demolition

Camacho Demolition, LLC

Mailing Address: P.O. Box 10264, Corpus Christi, TX 78460

Physical Address: 5113 Agnes Street, Corpus Christi, TX 78405

Ph: 361 289-1095 * Fax: 361 882-1944

COMPETITIVE SEALED PROPOSAL

Asbestos Abatement & Demolition

**City of Taylor, Texas
400 Porter Street
Taylor, Texas 76574**

Bid: 1935 City Hall and 1920 West End School

Bid Date: November 15, 2013 – 5:00 PM

TABLE OF CONTENTS

1. PRICING
2. CERTIFICATE OF INSURANCE
3. REFERENCES
4. LICENSES
5. RESUMES

PRICING.

Contractor name: Camacho Demolition LLC

Contractor Address: 5113 Agnes St. Corpus Christi, Texas 78405

Contractor Phone and email address: 361-442-1776 - vernon@camachorecycling.net

Contractor EIN: 46-0990436

PROJECT #1 - 1935 CITY HALL PROJECT

Demolition/deconstruction price: \$95,000.00 "Demolition & Asbestos Abatement"

Alternate price: N/A

Alternate price #1: N/A

Back fill the jail area price: \$15,000.00

Alternate price #2: N/A

Sod the affected area price: (type and method subject to owner approval) \$2,500.00 "Hydro Mulch"

PROJECT #2 - WEST END SCHOOL

Demolition/deconstruction price: \$62,000.00 "Demolition & Asbestos Abatement"

Alternate prices: N/A

Alternate price #1: N/A

Back fill price: \$8,500.00

Alternate price #2: N/A

Sod the affected area price: (type and method subject to owner approval) \$2,500.00 "Hydro Mulch"

Attachments to the bid form:

Evidence of liability insurance in the amount of \$1,000,000 per occurrence. Add the City as additionally insured if awarded the project. See Attached

Performance bond in the amount of the bid. Will furnish bond upon award of contract

Time commitment to complete the job from the award date. 90 days

City of Taylor, Texas
Demolition Specifications
Bid Packet
Attach a Safety Plan

Access/egress plan

Schedule of equipment: contractor shall submit a schedule of equipment and when they will be used on the site.

Vernon Carr

Printed name of Responder



Signature of Responder.

Date: November 12, 2013



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/12/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Grove & Davis Insurance Agency 4444 Corona #103 Corpus Christi TX 78411		CONTACT NAME: Monette Davis PHONE (A/C No. Ext): (361) 854-3046 FAX (A/C No): (361) 854-2485 E-MAIL: mdavis@grovedavisins.com ADDRESS:	
INSURED Camacho Demolition, LLC 5113 Agnes St. Corpus Christi TX 78405		INSURER(S) AFFORDING COVERAGE INSURER A: Underwriters @ Lloyds INSURER B: Arch Insurance Co. INSURER C: Texas Mutual Insurance Company 524126 INSURER D: INSURER E: INSURER F:	

COVERAGES**CERTIFICATE NUMBER:** CL1382703929**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY ☒ COMMERCIAL GENERAL LIABILITY ☐ CLAIMS-MADE ☒ OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: ☒ POLICY ☐ PROJECT ☐ LOC			PGIARK03168-00	8/27/2013	8/27/2014	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY ☐ ANY AUTO ☐ ALL OWNED AUTOS ☒ SCHEDULED AUTOS ☒ HIRED AUTOS ☒ NON-OWNED AUTOS			FBCAT0186601 FBCAT0267400	8/27/2013 10/06/2013	10/6/2013 8/27/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB ☒ OCCUR EXCESS LIAB ☐ CLAIMS-MADE DED ☐ RETENTION \$			PGIXS00096-00	8/27/2013	8/27/2014	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below Y/N ☒ N/A			TSF0001215450	8/27/2013	8/27/2014	☒ WC STATUTORY LIMITS ☐ OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Contractors Pollution			PGIARK03168-00	8/27/2013	8/27/2014	\$1,000,000. Each Claim \$2,000,000. Aggregate

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

General Liability & Automobile contain Blanket Additional Insured & Blanket Waiver of Subrogation, when required by written contract. Workers Compensation contains Blanket Waiver of Subrogation when required by written contract. Project: 1935 City Hall Project

CERTIFICATE HOLDER**CANCELLATION**City of Taylor
400 Porter Street
Taylor, TX 76574

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Larry Grove/MD



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/12/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

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COVERAGES

CERTIFICATE NUMBER: CL1382703929

REVISION NUMBER:

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INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY						
	☒ COMMERCIAL GENERAL LIABILITY						EACH OCCURRENCE \$ 1,000,000
	☐ CLAIMS-MADE ☒ OCCUR			PGIARK03168-00	8/27/2013	8/27/2014	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
							MED EXP (Any one person) \$ 10,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						PERSONAL & ADV INJURY \$ 1,000,000
	☒ POLICY ☐ PROJECT ☐ LOC						GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
							\$
B	AUTOMOBILE LIABILITY						
	☐ ANY AUTO						COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	☐ ALL OWNED AUTOS	☒ SCHEDULED AUTOS		FBCAT0186601	8/27/2013	10/6/2013	BODILY INJURY (Per person) \$
	☒ HIRED AUTOS	☒ NON-OWNED AUTOS		FBCAT0267400	10/06/2013	8/27/2014	BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
							\$
A	UMBRELLA LIAB ☒ OCCUR						EACH OCCURRENCE \$ 2,000,000
	☒ EXCESS LIAB ☐ CLAIMS-MADE						AGGREGATE \$ 2,000,000
	DED ☐ RETENTION \$			PGIXS00096-00	8/27/2013	8/27/2014	\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						☒ WC STATUTORY LIMITS ☐ OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	☐ Y ☒ N	N/A	TSF0001215450	8/27/2013	8/27/2014	E.L. EACH ACCIDENT \$ 1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$ 1,000,000
							E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Contractors Pollution			PGIARK03168-00	8/27/2013	8/27/2014	\$1,000,000. Each Claim \$2,000,000. Aggregate

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
General Liability & Automobile contain Blanket Additional Insured & Blanket Waiver of Subrogation, when required by written contract. Workers Compensation contains Blanket Waiver of Subrogation when required by written contract. Project: West End School

CERTIFICATE HOLDER**CANCELLATION**City of Taylor
400 Porter Street
Taylor, TX 76574

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Larry Grove/MD



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

CAMACHO DEMOLITION LLC

is certified to perform as a

Asbestos Abatement Contractor

in the State of Texas within the purview of Texas Occupations Code, chapter 1954, so long as this license is not suspended or revoked and is renewed according to the rules adopted by the Texas Board of Health.

A handwritten signature in cursive script, appearing to read "David Lakey MD".

DAVID LAKEY, M.D.
COMMISSIONER OF HEALTH

License Number: 800997

Control Number: 95939

Expiration Date: 12/20/2013

(Void After Expiration Date)

VOID IF ALTERED

NON-TRANSFERABLE



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

CAMACHO DEMOLITION LLC

is certified to perform as a

Asbestos Transporter

in the State of Texas within the purview of Texas Occupations Code, chapter 1954, so long as this license is not suspended or revoked and is renewed according to the rules adopted by the Texas Board of Health.

A handwritten signature in cursive script, appearing to read "David Lakey".

DAVID LAKEY, M.D.
COMMISSIONER OF HEALTH

License Number: 400442

Expiration Date: 2/27/2015

Control Number: 95908

(Void After Expiration Date)

VOID IF ALTERED NON-TRANSFERABLE



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

Be it known that

CAMACHO DEMOLITION LLC

is certified to perform as a

Lead Firm

in the State of Texas and is hereby governed by the rights, privileges and responsibilities set forth in Texas Occupations Code, Chapter 1955 and Title 25, Texas Administrative Code, Chapter 295 relating to Texas Environmental Lead Reduction, as long as this license is not suspended or revoked.

A handwritten signature in dark ink, appearing to read "David Lakey MD".

David L. Lakey, M.D.
Commissioner of Health

License Number: 2110592

Control Number 6526

Expiration Date: 4/28/2015

(Void After Expiration Date)

VOID IF ALTERED

NON-TRANSFERABLE



TEXAS DEPARTMENT OF STATE HEALTH SERVICES

Be it known that

CAMACHO DEMOLITION LLC

is licensed to perform as a

Mold Remediation Company

in the State of Texas and is hereby governed by the rights, privileges, and responsibilities set forth in Title 25, Texas Administrative Code, Chapter 295, relating to Texas Mold Assessment and Remediation Rules, as long as this license is not suspended or revoked.

A handwritten signature in cursive script, appearing to read "David Lahey MD".

David Lahey, M.D.
Commissioner of Health

License Number: RCO1166

Expiration Date: 10/24/2014

Control Number: 6975

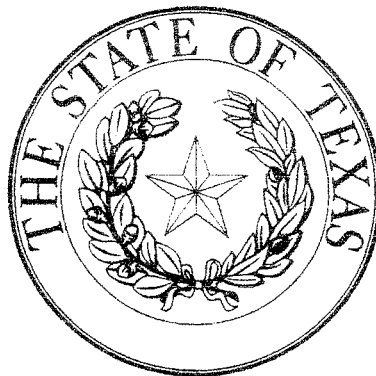
(Void After Expiration Date)

VOID IF ALTERED

NON-TRANSFERABLE

State of Texas

Historically Underutilized Business Certification and Compliance Program



The Texas Comptroller of Public Accounts (CPA),
hereby certifies that

CAMACHO RECYCLING

has successfully met the established requirements of the
State of Texas Historically Underutilized Business (HUB) Program
to be recognized as a HUB.

This certificate, printed 12-DEC-2009, supersedes any registration and certificate previously issued by the HUB Program. If there are any changes regarding the information (i.e., business structure, ownership, day-to-day management, operational control, addresses, phone and fax numbers or authorized signatures) provided in the submission of the business' application for registration/certification as a HUB, you must immediately (within 30 days of such changes) notify the HUB Program in writing. The CPA reserves the right to conduct a compliance review at any time to confirm HUB eligibility. HUB certification may be suspended or revoked upon findings of ineligibility.

Certificate/VID Number: 1201500690600
File/Vendor Number: 65571
Approval Date: 08-DEC-2009
Expiration Date: 08-DEC-2013

Paul A. Gibson
Statewide HUB Program Manager
Texas Comptroller of Public Accounts
Texas Procurement and Support Services Division

Note: In order for State agencies and institutions of higher education (universities) to be credited for utilizing this business as a HUB, they must award payment under the Certificate/VID Number identified above. Agencies and universities are encouraged to validate HUB certification prior to issuing a notice of award by accessing the Internet (<http://www.window.state.tx.us/procurement/cmbl/hubonly.html>) or by contacting the HUB Program at (888) 863-5881 or (512) 463-5872.

Julian Camacho
3655 Starlite Lane
Corpus Christi, Texas 78410
Cell – 361-726-8278

Work Experience

2006-2012

Business Manager CAMACHO RECYCLING – SINTON, TX

Responsible for operations of Camacho Recycling. Duties include quoting demolition, recycling, and asset recovery projects. Work closely with Superintendents, Foremen, Workers, Owners, Consultants, Architects & Estimators. Projects performed for school districts, county governments, city governments, refineries, gas plants, privately owned homes, wind mill companies, general contractors (commercial & private), & department of defense. Work done in South Texas, predominately Corpus Christi, Victoria, Laredo & Rio Grande Valley. Review Financial Plans, Profit & Loss Statements, Inventory, Accounts Receivable, Accounts Payable & Human Resource Policies.

Projects:

2006 Feb Formosa Plastics Corp, Texas Point Comfort, Texas
Phase I

Demo of two boiler units including Asbestos abatement. Worked alongside and subcontracted to LVI.

Contact: Robert Resuriz 713-562-6912

2006 Nov Formosa Plastics Corp, Texas Point Comfort, Texas
Phase II

Demo 22 exchangers and one boiler with Asbestos abatement. Worked alongside and subcontracted to LVI.

Contact: Robert Resuriz 713-562-6912

2007 July Nueces Bay Power Plant Corpus Christi, Texas
Phase I

Demo of two boilers with Asbestos abatement. Work done for Topaz Power Group.

Contact Trisha Elizondo 512-314-8600

2008 Jan Nueces Bay Power Plant Corpus Christi, Texas
Phase II

Demo five boilers with Asbestos abatement. Work done for Topaz Power Group.

Contact Trisha Elizondo 512-314-8600

- 2008 Nov Barney Davis Power Plant Corpus Christi, Texas
Demo two boilers with Asbestos abatement. Work done for Topaz Power Group.
Contact Trisha Elizondo 512-314-8600
- 2009 Dec Pawnee ISD Pawnee, Texas
Demo school and Asbestos abatement. Work done for Journeyman Construction.
Contact Elaine Richardson 361-456-7256
- 2010 Mar Copano Gas Plant Rockport, Texas
Demo of gas plant with Asbestos removal.
Contact Jim Sammons 713-737-9552
- 2010 Aug Corpus Christi ISD Corpus Christi, Texas
Demo school and Asbestos abatement. Work done for Journeyman Construction.
Contact Gary Willard 361-850-3069

2006-1991

Territory Sales Manager HOLT CAT – CORPUS CHRISTI, TX

Responsible for sales of Caterpillar equipment into the building construction arena. Sold to general contractors (commercial & private), government entities, & refineries. Liaison between Holt and Customers. Reviewed budgets, set sales goals, made performance reviews.

Education

Tuloso Midway High School
Del Mar College – Business

Diploma **1989**
Diploma – Associate **1999**

Licenses & Training

Asbestos Supervisor
OSHA 30

Mold Remediation Contractor
Lead Awareness

Julian Camacho

References

3400	Isaac Camacho	Camacho Recycling	Owner	361-726-
	Gary Willard	Journeyman Const.	PM	361-299-1001
	Fred Ehsai	SpawGlass	PM	956-412-9880
	Ozgur Koc	D. Wilson Const.	PM	956-686-9573
	Jimmy Shuford	Krueger Const.	PM	361-573-5291
	Eloy Palacios	Terracon	Asbestos	956-283-8254
	Duane Guzman	UT Pan American	PM	956-665-2658

Vernon L. Carr
13534 Ducat Ct.
Corpus Christi, Tx 78418
361-442-1776
vernoncarr@sbcglobal.net

Summary of Achievements:

- Executive Strategic Business Estimating, Planning and Management
- Sales / Marketing / New Customers
- Budget Marketing with Engineers / Architects
- Estimator & Project Manager of Construction, Demolition and Abatement Projects
- Develop, manage and maintain Health and Safety programs
- On site supervision of various types of Construction / Demolition & Abatement Projects
- Analyze results of operations and projects to discover more efficient ways to utilize resources

Experience

Camacho Demolition, Corpus Christi, TX

Senior Estimator / Business Development Manager , 2010 to present

- Estimate, Project Manage and Supervise Projects
- Sales / Marketing / New Customers
- Environmental and Occupational Health and Safety Director
- Work with Architects, Engineers and Owners on Budgets for upcoming projects
- Executive Growth and Business Planning
- Manage Public - Business Relations
- Power Plant / Industrial Decommissioning

A&R Demolition / Allstate Services, Austin, TX

Project Manager / Safety Director, 2005 to 2010

- Estimate, managed and supervised projects up to \$10M per project
- Safety Director for Demolition of Texas Stadium in Dallas, Texas
- Project Management of numerous University Of Texas and Texas A&M projects
- Estimated, project managed and worked with municipalities in successfully delivering timely and cost effective demolition of commercial and industrial sites
- Environmental and Occupational Health and Safety Director for all company projects
- Oil Industry & Power Plant Decommissioning

D&W Construction Inc., Austin, TX

Project Manager / Safety Manager, 2000 – 2005

- Managed water and sewer rehabilitation construction projects up to \$6M per project
- Responsible for the hiring, supervision and managing of all personnel in the greater Texas area

- Performed pre and post inspections of jobs to be performed
- Responsible for Estimating and Project Management of all jobs in Texas, Georgia & Florida
- Managed coordination between general contractors, sub-contractors and municipalities

Penhall Company

Bridge Demolition Superintendent, 1998-1999

- Managed projects up to \$10M per project
- Managed and supervised Saw Cutting and Bridge Demolition Operations
- Airport Runway & Large Public Demolition Operations throughout the Country
- Division #28 Specialist with Support from California & Atlanta Office

Southwestern Underground, Austin, TX

Underground Utility Branch Manager, 1993 – 1998

- Estimator & Project Manage company branch with revenues up to \$2M per year
- Hired, trained and managed all personnel
- Responsible for all branch sales, shipping and service activities
- Coordinated activities with Engineers and city officials

United States Army

SGT/ E-5, 1987-1993

- Desert Strom Veteran / Honorable Discharge / 22nd Support Command in Saudi Arabia
- Payroll and personnel Sgt for all divisions operations
- Special task force operations with U.S. Border Patrol and U.S. Customs along Texas Borders
- Custodian of financial and personnel records
- Adjutant General's assistant for 2 years

Education

- | | |
|--|--------------|
| • St. Michaels Catholic Academy / Johnston High School | Diploma |
| • U.S. Army technical and computer training | Certificates |
| • 30 Hour OSHA Certified Train the Trainer | Certificate |
| • Confined space entry training | Certificate |

Special Accomplishments

Dallas Cowboys Stadium Abatement & Implosion	Irving, Texas
Demolition of Dallas Mavericks Reunion Arena	Dallas, Texas
Midland Savings Abatement & Implosion "Discovery Channel"	Midland, Texas
Memorial Coliseum Abatement & Demolition	Corpus Christi, Texas
Asarco / Encycle Plant Abatement & Decommissioning	Corpus Christi, Texas
Laredo Power Plant Abatement & Decommissioning	Laredo, Texas

Palmer Auditorium Abatement & Demolition
Atlanta Airport Runway Demolition 9R 27L
Georgia Bulldog Stadium Select Demolition

Austin, Texas
Atlanta, Georgia
Athens, Georgia

Business References

Jerry Shoemaker- President	RH Shackelford Inc.	361-675-0964	jshoemaker@rhsitx.com
Todd Terrill -Senior Estimator	Barcom Commercial	361-906-8686	toddterrill@hotmail.com
Robert Bennett – Manager	Spawglass Contractors	956-535-3294	robert.bennett@spawglass.com
Farid (Fred) Ehsai – Estimator	Spawglass Contractors	956-535-2496	fred@spawglass.com
Sam Beecroft – Owner	Beecroft Construction	361-533-1368	snb@beecroftconstruction.com
Eric Trejo – Vice President	LNV Engineering	361-883-1984	etrejo@lnvinc.com
Albert Soto – Architect	Lamar Womack	361-533-3421	alsoto@lwarchitects.com
Gary Willard – Manager	Journeyman Const	361-850-3069	gwillard@journeymanco.com
Debbie Ehlen – Director	AGC South Texas	361-739-9004	DEhlen@southtexasagc.org
Mark Hebert – Project MGR	Bartlett Cocke	210-332-3108	MHebert@bartlettcocke.com

Business Media

Linked in <http://www.linkedin.com/pub/vernon-carr/4a/b6a/696> 500+ Connections

Memorial Coliseum Abatement & Demolition

<http://www.youtube.com/watch?v=HDW14yl490k&feature=related>

Reunion Arena Abatement & Demolition <http://www.youtube.com/watch?v=S9lvvVLDqaY>

Midland Savings Abatement & Implosion <http://www.youtube.com/watch?v=TOkke7zRxk0>

Dallas Cowboys Stadium Abatement & Implosion <http://www.youtube.com/watch?v=qXS39gNkNjw>

**Erasmo M.
Deleon**

613 N. Nueces
Street Mathis,
Texas 78368 Home:
(361) 547-7114
Cell: (361) 510-0091

Objective: Position in a multi-tasked environment where a goal-oriented method of productivity can be performed.

Education: Mathis High School
1615 San Patricio Ave. Mathis, Texas 78368
1993-1997
Diploma

Computer Skills: Microsoft Word, Word Perfect , Microsoft Excel, Microsoft Publisher , Microsoft Power Point, Punch 5 & 1 Home Design, ActiMate Estimating Program, Quick Books,

Certificates: Resilient Floor Covering Institute Supervisor, Asbestos Contractor Supervisor Training, Mold Worker Training

Licenses: Texas Department Of State Health Services Asbestos Supervisor, Asbestos Abatement Contractor, Asbestos Transporter, and Mold Worker

Experience:

01/15/2011 to Present

Camacho Demolition LLC
5113 Agnes Street
Corpus Christi, Texas 78405

Asbestos Site Supervisor

Oversee asbestos abatement projects, make sure that each project is abiding by the Texas Department of State Health Services rules and regulations, prepare the DSHS 10 day notification form for asbestos abatement and demolition projects, provide customer service, order supplies for all ongoing projects, and maintain a file log for each abatement worker with all their certificates, licenses, and physicals.

04/15/2009 to 09/15/2010

Planet Air Solutions, LLC
809 Quince Ave. Suite A
McAllen, Texas 78501

Owner / Asbestos Department Project Manager

Attend pre-bid conferences, obtain bid bonds when required, submit bid documents, and meet with possible clients to discuss the company's services, capabilities, and work performances utilizing brochures, recommendation letters, and photos of previous completed projects.

Office Manager

Prepare payroll, collect payments from all projects, maintain time cards for each employee, schedule all projects and maintain a project log for the office, submit invoice to the clients for payment, make deposits to the bank when payments are received, track inventory of the office supplies, and type out reports for each completed project to submit to the client

Asbestos Site Supervisor

Oversee asbestos abatement projects, make sure that each project is abiding by the Texas Department of State Health Services rules and regulations, prepare the DSHS 10 day notification form for asbestos abatement and demolition projects, provide customer service, order supplies for all ongoing projects, and maintain a file log for each abatement worker with all their certificates, licenses, and physicals.

08/15/2007 to 3/13/2009

Clean Air Solutions
111 Band Lane Suite 400
Stafford, Texas 77477

Asbestos Project Manager/ Site Supervisor

Over saw the asbestos abatement, mold remediation, and HVAC duct cleaning projects. I made sure that each project was abiding by the Texas Department of State Health Services rules and regulations, helped prepare the DSHS 10 day notification form for asbestos abatement and demolition projects, prepared the DSHS 5 Day notification form for the mold remediation projects, typed mold residential, commercial, and school work plans, asbestos abatement reports, specification plans and asbestos laboratory reports, attended pre-bid conferences, submitted bid documents and responsible for obtaining bid bonds when required. Prepared the job schedules for all projects, Collected payments, made deposits for the owner, and provided customer service

04/15/2005-08/15/2007

Bio-Tech Solutions
Inc. 2007 W. Owassa
Road . Edinburg,
Texas, 78539

Asbestos Department Project Manager

Attended pre-bid conferences, obtained bid bonds when required, submitted bid documents, met with possible clients to discuss the company's services, capabilities, and work performances utilizing brochures, recommendation letters, and photos of previous completed projects, and provided customer service.

Office Manager

Prepared payroll, collected payments from clients for completed projects, maintained time cards for all employees, ordered supplies for all projects, scheduled all projects and maintained a project log for each project, made deposits to the bank for the owner, kept inventory of all mold, asbestos, and office supplies, typed the final reports for each project, and filed a copy of the reports for the company records

Asbestos Site Supervisor

Over saw the asbestos abatement and mold remediation projects. I made sure that each project abided by the Texas Department of State Health Services rules and regulations, prepared the DSHS 10 day notification form for asbestos abatement and demolition projects, prepared the DSHS 5 day notification form for mold remediation projects, and maintained a file for each abatement worker with all their certificates, licenses, and physicals.

01/02/2002-02/28/2005

Health & Safety Management, Inc.
913 E. Esperanza, Ste. B
McAllen, Texas 78501
Phone: (956) 928-1652

Asbestos Department Supervisor

Inspected commercial, residential, and schools for asbestos containing material, Sent samples to be analyzed in a lab, over saw the asbestos abatement projects, and made sure that each project was abiding by the Texas Department of State Health Services rules and regulations, Set up personnel and area pumps to monitor the air levels of the abatement project, completed all paperwork for each project, typed reports for mold surveys, asbestos surveys, asbestos abatement projects, specification plans, baseline letters, and clearance letters, helped prepare the DSHS 10 day notification form for asbestos abatement and demolition projects, and provided customer service

10/13/1998 to 02/15/2000

J & J Insulation
800 Cantwell
Corpus Christi, Texas
Phone: (361) 887-6603

Supervisor/Asbestos Abatement Worker

Supervised NESHAP projects and worked as an asbestos worker removing the asbestos containing material

References:

Rodolfo Cantu
Owner
New Concept Development & Construction
McAllen, Texas 78504
(956) 522-4910

Mr. Gerry Valdez
Maintenance Director
Marine Military Academy
320 Iwo Jima Blvd
Harlingen, Texas 78550
(956) 432-6006 Ext. 249

Mr. Marcelino Ibarra
Maintenance Director
Cameron County
Brownsville, Texas
(956) 459-8603

Mr. Robert Garcia
Owner
Bio-Tech Solutions
2007 W. Owassa Road
Edinburg, Texas 78539
(956) 787-5500

Mr. Charlie Salinas
Project Manager
Myane Insulation
P.O. Box Z
Premont, Texas
(361) 701-4870

Erica Alvarez
Owner
Hesbrook Construction
Edinburg, Texas 78539
(956) 929-9999

Jerry Arellano
Project Manager
Chemical Response & Remediation Contractors
Harlingen, Texas 78550
(956) 535-3876

David Hanawa
Owner
Chemical Response & Remediation Contractors
Harlingen, Texas 78550
Office (956) 365-4252

Refugio M. Villagrana
441 West Clark Street
Corpus Christi, Texas 78415
Cell: (361) 728-2737

Objective: Apply my background and experience to help your company grow revenues and profits.

Certificates: Excavation/Trenching, Asbestos Worker Training

Experience: Camacho Demolition LLC – General Superintendent
2007 – Present
Responsible for operations of Camacho Demolition LLC. Oversee and coordinate safe demolition of structures. Work closely with abatement supervisor to coordinate sufficient scheduling and phasing of work.

Projects:

2009 Nov	Pawnee ISD Work done for Topaz Power Group. Trisha Elizondo 512-314-8600	Pawnee, Texas
2010 Oct	Zavala Elementary – CCISD Work done for JC Evans	Corpus Christi, Texas
2010 Aug 12.5 million gallon	Holly Tank Demo – City of Corpus Christi Work done for CCISD Jerry Shoemaker 361-826-1000	
2011 Apr	Carroll Lane Elementary – CCISD Work done for Journeyman Gary Willard 361-850-3069	Corpus Christi, Texas

2011 Sep	Prescott Elementary – CCISD Work done for Journeyman Gary Willard 361-850-3069	Corpus Christi, Texas
2012 May	Casa Linda / Lexington Elementary Work done for CCISD Brett Bostian 361-854-1471	Corpus Christi, Texas
2012 Feb	Naval Barricks – NAS Kingsville Work done for TJC Engineering Bill Couch 228-596-0227	Kingsville, Texas

Experience: Alliance Environmental Systems – Demolition Supervisor
2007 – 1997
Direct activities of workers concerned with site preparation, land clearing and filling, demolition and other construction projects. Plan procedures for construction on basis of starting and completion times, staffing requirements and tools and equipment available for project.

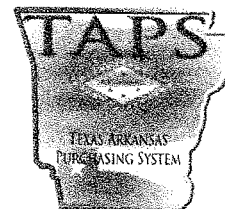
Cleveland Wrecker Company – Superintendent
1984 – 1997
Direct activities of workers concerned with site preparation, land clearing and filling, demolition and other construction projects. Plan procedures for construction on basis of starting and completion times, staffing requirements and tools and equipment available for project.

SCHOOLS AND COLLEGES PROJECTS

Project Name / Description / Location	Owner	Architect/Engineer Contact Name	Contract Amount	Completion Date
UTPA Fine Arts A,B, C & D Asbestos Abatement & Demolition 1201 West University Drive Edinburg, Texas 78539	University Texas Pan American 1201 West University Drive Edinburg, Texas 78539 (956) 665-2458	SpawGlass Fred Ehsai (956) 412-9880 fred.ehsai@spawglass.com	\$ 634,000.00	2013
Casa Linda / Lexington / Cabiness Whse Asbestos Abatement & Demolition Various Address Corpus Christi, Texas	Corpus Christi I.S.D. 801 Leopard Street Corpus Christi, Texas 78401 (361) 965-7200	SolkaNova Torno Erasmio Nava (361) 886-9100 enava@snrarchitects.com	\$ 384,000.00	2013
Tuloso Midway High School Asbestos Abatement & Demolition 2653 McKenzie Street Corpus Christi, Texas 78410	Tuloso Midway I.S.D. 9760 La Branch Drive Corpus Christi, Texas 78410 (361) 903-6400	SpawGlass Fred Ehsai (956) 412-9880 fred.ehsai@spawglass.com	\$ 356,500.00	2013
Old Dubose Intermediate School Asbestos Abatement & Demolition 1000 n. Lantana Drive Alice, Texas 78332	Alice I.S.D. #2 Coyote Trail Alice, Texas 78332 (361) 664-0981	Lamar Womack & Associates Albert Soto (361) 884-7442 alsoto@lwarchitects.com	\$ 238,000.00	2013
LBJ Middle School Asbestos Abatement & Demolition 500 E Sioux Road Pharr, Texas 78571	Pharr, San Juan, Alamo I.S.D. 601 E Kelly Street Pharr, Texas 78577 (956) 354-2000	D. Wilson Construction Ozkur Koc (956) 686-9573 ozgurk@dwilsonconstruction.com	\$ 218,000.00	2013
Archie Parr / Collins Primary Schools Asbestos Abatement & Demolition 609 W Labbe Street San Diego, Texas 78384	San Diego I.S.D. 609 W Labbe Street San Diego, Texas 78384 (361) 664-0981	Lamar Womack & Associates Albert Soto (361) 884-7442 alsoto@lwarchitects.com	\$ 197,000.00	2013
Lozano Elementary School Asbestos Abatement & Demolition 650 Osage Street Corpus Christi, Texas 78405	Corpus Christi I.S.D. 801 Leopard Street Corpus Christi, Texas 78401 (361) 695-7350	Lamar Womack & Associates Albert Soto (361) 884-7442 alsoto@lwarchitects.com	\$ 197,000.00	2013

SCHOOLS AND COLLEGES PROJECTS

Project Name / Description / Location	Owner	Architect/Engineer Contact Name	Contract Amount	Completion Date
Victoria College Fine Arts Asbestos Abatement & Demolition 2200 E Red River Victoria, Texas 77901	Victoria College Fine Arts 2200 E Red River Victoria, Texas 77901 (361) 573-3291	Don Krueger Construction Jimmy Shuford (361) 220-2207 jimmy.shuford@donkruegerconstruction.com	\$ 175,000.00	2011
Taft Petty Elem. & Taft Jr H.S. Asbestos Abatement & Demolition 150 Gregory Street Taft, Texas 78390	Taft I.S.D. 400 College Street Taft, Texas 78390 (361) 528-2636	Don Krueger Construction Jimmy Shuford (361) 220-2207 jimmy.shuford@donkruegerconstruction.com	\$ 169,250.00	2011
Brooks County Falfurrias High School Demolition 100 West Jersey Drive Falfurrias, Texas 78355	Brooks County I.S.D. P.O. Box 589 Falfurrias, Texas 23219 (956) 325-8000	D. Wilson Construction Ozkur Koc (956) 686-9573 ozgurk@dwilsonconstruction.com	\$ 150,648.00	2013
Fulton Learning Center Asbestos Abatement & Demolition 502 N Mesquite Street Rockport, Texas 78382	Aransas County I.S.D. 1700 Omohundro Street Rockport, Texas 78381 (361) 790-2212	Sterling Structures Joel W Sylvester (281) 850-3938 jsylvester@sterlingstructures.com	\$ 141,850.00	2011
J.A. Garcia Elementary School Asbestos Abatement & Demolition 1945 Gollhar Road Corpus Christi, Texas 78415	Corpus Christi I.S.D. 801 Leopard Street Corpus Christi, Texas 78401 (361) 695-7350	Journeyman Construction Gary Willard (361) 241-0002 gwillard@journeymanco.com	\$ 115,000.00	2012
Skidmore Tynan Elementary School Asbestos Abatement & Demolition 221 N 8th Street Skidmore, Texas 78389	Skidmore Tynan I.S.D. 224 W Main Street Skidmore, Texas 78389 (361) 287-3426	Barlett Cocke Mark Hebert (210) 332-3108 mhebert@barlettcocke.com	\$ 100,000.00	2012
George West High School 1013 Houston Street George West, Texas 78022	George West I.S.D. 913 Houston Street George West, Texas 78022 (361) 449-1914	Lamar Womack & Associates Albert Soto (361) 884-7442 alsoto@lwarchitects.com	\$ 100,000.00	2013
Taylor (Old) High School 3101 N. Main Street Taylor, Texas 78574	Taylor I.S.D. 3101 N. Main Street Taylor, Texas 78574 (512) 365-5757	N/A	\$ 46,000.00	2012



RECOGNIZES
SERVPRO OF LAKE ARLINGTON
As an Awarded Vendor For
Disaster Restoration & Emergency Recovery Services
Contract #1072513

Effective Date through 7/25/13-7/25/14

Renewal Option Year 1 dates: 7/25/14-7/25/15
Renewal Option Year 2 dates: 7/25/15-7/25/16
Contract due to Publicly Rebid – April of 2016

(annual renewal of vendor contract for consecutive years will be based on sales and service during the contract period)

Dr. Ray Glynn
Executive Director
Region VIII ESC



Bob Vantil

From: Jackie Hall [JackieHall@Servprooflakearlington.com]
Sent: Tuesday, November 12, 2013 1:40 PM
To: Bob Vantil
Cc: 'Les Bailey'; 'Servpro of Lake Arlington'
Subject: City of Taylor, Texas Demolition Specifications Bid Proposal
Attachments: city taylor bid20131112130802.pdf

Hi Bob, pursuant to our conversation just now, I am attaching the bid proposal, letter for performance bond and copy of my insurance policy.

Please do not hesitate to contact me if you have any questions. Les and I are available to meet with you if it becomes necessary.

JACKIE HALL

Owner
HUB Certified; GSA Contractor and
TIPS/TAPS Vendor

SERVPRO of Lake Arlington and
SERVPRO of Southwest Fort Worth
3108 Pleasant Valley Lane
Suite A
Arlington, TX 76015
817/460-7766 ofs
817/483-0192 fax
817/938-6169 cell
jhall@servprooflakearlington.com

City of Taylor, Texas

Demolition Specifications
Bid Packet

1935 City Hall; Alternate 1920 "West End School"

Owner: City of Taylor, Texas

Contact person: Bob van Til, Director of Planning and Development

bob.vantil@taylortx.gov

512-352-5990 x 16

Alternate contact:

Mr. Casey Sledge, Contract City Engineer

casey@sledge.biz

512-484-2932

Project

Objective: Project #1 - Demolish/deconstruct the 1935 City Hall, jail in the basement, tower, perimeter sidewalk, and twenty (20) feet of concrete on the east side of the building

Project #2 - Demolish/deconstruct former school building and sidewalk located at 1301 Ferguson Street.

Desired Outcomes: Complete legal demolition and removal, save and except the recycled materials, of a municipal office building leaving level mowable land free of any debris with grass.

PROJECT #1 - 1935 OLD CITY HALL

Location/Address: 400 N. Main Street, Taylor Texas. In the north side of Heritage Square; south of E. 5th Street between N. Main and Porter Street.

See Attachment "A" - Site Plan, prepared by Komatsu Architects in 2000

See Attachment "B" - Floor Plans, prepared by Komatsu Architects in 2000

Attachment "C" - Terracon Asbestos Survey

Year constructed: 1935

Type of Construction: Wood frame with brick veneer; concrete floor (old fire station), concrete basement (Jail). Inactive electrical, plumbing, and HVAC systems.

Machinery and equipment: Tower on the north side of the building

Previous use: Municipal use, administration, court, fire station, jail.

Current Use/Existing conditions: vacant

Current general condition: weakened floors, compromised foundation, leaking roof, water rot/damage, cracked walls.

Overall Size: 11,300 SF

Floors: 1 and one-half with basement

First floor, former city hall: 4,016 SF

First floor, former fire station: 2,506 SF

Second floor, former fire station dormitory: 2,529 SF

Basement, jail: 2,249 (below grade)

Crawlspace, under the building: 1,896 SF (not included in the total SF'g)

Topography: flat.

Utilities: Will be disconnected by owner.

Protective Fencing: provided by owner (some existing now)

Protected features: trees, park benches, irrigation system in the park, adjacent portable school building (approximately 27' away from the east side of the building), walkway to Main Street.

Erosion Control: provided by contractor, approved by owner

Noise: Contractor will ensure that work will commence during normal and customary working hours only, from 7 am to 7 pm. Monday through Saturday. Extended hours may be approved by owner. No work shall occur on Sundays.

Dust: Contractor will ensure that dust will be contained on the site.

Vibration: Contractor will ensure that vibrations will be kept to a minimum

Safety: Contractor will ensure that all necessary precautions will be taken to ensure the safety of the public, the City, and personnel retained by the contractor

Scheduling: Contractor shall submit a schedule to the owner for owner approval upon award of contract and prior to work commencing.

Work sequence: Contractor shall submit to the owner a work sequence schedule of events for owner approval prior to work commencing

Hazardous materials:

Asbestos: a limited asbestos survey was conducted in 2006. Owner will update the survey and provide a mitigation schedule to the contractor. Contractor shall dispose of asbestos in an approved manner in accordance with all applicable federal, state, and local laws, rules, regulations and policies, including but not limited to daily licensed observation/testing of abatement process.

Recycling/recapture/deconstruction:

The owner desires to keep the time capsule located in the corner stone of the building.

The owner desires to salvage and keep a minimum of 500 whole façade bricks. These will need stacked and stored in a location approved by the City.

Owner desires to keep several architectural treatments that exist above the doors and windows (aka 'zig-zags') as well as above and around the main entrance.

The owner also desires to salvage the three (3) dedication plaques located on the west, south, and east sides of the building.

The owner also desires to keep two (2) signs that identify the building: the "Taylor Fire Department" sign on the east side of the building and the "1935 City hall" sign on the west side of the building.

The contractor is encouraged to recycle as much of the materials as possible and to deconstruct the building as much as is feasible.

Backfill: Contractor shall provide an alternate bid to backfill the site

PROJECT #2 - WEST END SCHOOL

Location/Address: 1301 Ferguson Street, Taylor Texas. Adjacent to the Taylor Headstart School

See Attachment "D" - Site Plan

Attachment "E" – Terracon Asbestos Survey

Year constructed: 1920

Type of Construction: Concrete with brick veneer; wood floors, window trim. No active HVAC, electrical, or plumbing.

Machinery and equipment: None

Previous use: school building, fire training facility

Current Use/Existing conditions: vacant

Current general condition: weakened floors, compromised foundation, leaking roof, water rot/damage, cracked walls.

Over all Size: 9,022 SF

Floors: Two

First floor: 4,511 SF

First floor: 4,511 SF

Topography: flat.

Utilities: Will be disconnected by owner.

Protective Fencing: provided by owner

Protected features: trees, playground, basketball court and light, existing fencing

Erosion Control: provided by contractor, approved by owner

Noise: This building is located in a residential area and next to a school for young children.

Contractor will ensure that work will commence during normal and customary working hours only, from 7 am to 7 pm. Monday through Saturday. Extended hours may be approved by owner.

No work shall occur on Sundays.

Dust: Contractor will ensure that dust will be contained on the site.

Vibration: Contractor will ensure that vibrations will be kept to a minimum

Safety: Contractor will ensure that all necessary precautions will be taken to ensure the safety of the public, the City, and personnel retained by the contractor

Scheduling: Contractor shall submit a schedule to the owner for owner approval upon award of Work and prior to work commencing.

Work sequence: Contractor shall submit to the owner a work sequence schedule of events for owner approval prior to work commencing

Hazardous materials

Asbestos: see attachment "E"

Recycling/recapture/deconstruction: N/A

Backfill: Contractor shall provide an alternate bid to backfill the site

GENERAL REQUIREMENTS

Experience of the contractor: Contractor shall demonstrate sufficient experience to demonstrate a competency to do this work. Submit at least three references.

Reference:

West Hardin ISD, 39227 Hwy 105, Saratoga, TX 77585. This was a complete remediation for the school, superintendent's office, and grounds. The Superintendent has retired but Mildred Budro who is over maintenance, and can be located at 936/274-5061, is still there and you can speak with her as Les Bailey and I

did the complete refurbish of the school after the aftermath of Hurricane IKE in September 2008. I lived there six (6) months until this project was finished. This project was \$4.3 Million.

Reference:

Joint Reserve Naval Base, 1510 Chennault Avenue, Fort Worth, Texas 76127. This was a Mold Remediation and rebuild which Les and I did for the Navy Base. I also had a contract for six (6) years for the vent-a-hood cleaning which Marvin Bry at 817/782-7634 ofs or 817/825-4107 cell, supervised. This project was \$150K

Reference:

15777 Quorum, Fairfield Residential located at 15777 Quorum Drive, Addison, Texas 75001. Kathy Angel at ERNet is our reference and can be located at 615/451-0200 Ext. 1436. This contract was in excess of \$200K

Contractor shall submit the names and experience of the primary staff responsible for the project.

Name: Jackie Hall-Owner

Experience: 10 Years

Name: Les Bailey

Experience: 20+ years

Name: Gary Coldwell

Experience: 20+ years

Payment: the Contractor will be paid in full upon completion of the work and subject to the satisfaction and approval of the City. [Reference Payment Terms herein]

Payment Terms: duration of project [subject to acceptance of acceptance of listed Alternates]: ACM notification 10 days; ACM Abatement & Clearance 20 days; Demolition 20 days; Backfill and Compaction/Grading 10 days; Sod [site prep and installation] 10 days: 70 days +/- Payment Terms: Payment Application submitted to City on/before 25th day of month; Payment Due Contractor on/before 10th of following month.

Complete the attached Proposal Form.

Incomplete proposals will be rejected.

The City reserves the right to reject any and all proposals.

PRICING.

Contractor name: SERVPRO of Lake Arlington & SW Fort Worth

Contractor Address: 3108 Pleasant Valley Lane, Arlington, Texas

Contractor Phone and email address: 817-460-7766

Jackiehall@servprooflakearlington.com

Contractor EIN: 202-162-0333

PROJECT #1 - 1935 CITY HALL PROJECT

Demolition/deconstruction & ACM Abatement price: \$134,586

Alternate price: Backfill Site: \$ 22,692

Alternate price #1: Back fill the jail area only: \$8,361

Alternate price #2: Sod the affected area price: (type and method subject to owner approval) \$9,865

PROJECT #2 - WEST END SCHOOL

Demolition/deconstruction & ACM Abatement price : \$75,633

Alternate price #1: Backfill Site price: \$4,392

Alternate price #2: Sod the affected area price: (type and method subject to owner approval) \$4,656

Attachments to the bid form:

Evidence of liability insurance in the amount of \$1,000,000 per occurrence. Add the City as additionally insured if awarded the project.

Performance bond in the amount of the bid. [Cost of Bond: 3% of Contract Award; to be added to Contract Amount]

Time commitment to complete the job from the award date. Sixty (60) days following required notification with regard to ACM Abatement.

Attach a Safety Plan: specifics to be determined between Owner and Contractor during "pre-construction" meeting; following Contract Award

Access/egress plan: to be determined between Owner and Contractor during "pre-construction" meeting; following Contract Award

Schedule of equipment: contractor shall submit a schedule of equipment and when they will be used on the site. Reference Exhibits/Clarifications included within proposal regarding equipment to be used during demolition, backfill operations and sod installation.

SERVPRO of Lake Arlington, SW Fort Worth

Jackie Hall

Printed name of Responder

Jackie Hall
Signature of Responder.

Date: 11/12/13

1935
10
15
25
4
29 + 2 = 31 + 3 = 34

Exhibit(s) / Clarifications:

Demolition: work may commence within ten (10) days of receiving "clearance" from Environmental Consultant with regard to ACM Abatement. City Hall Demolition duration – two (2) weeks [excavators, skid steer type machinery, water truck, haul trucks, necessary personnel. West End School Demolition to immediately follow City Hall Demolition – two (2) weeks [excavators, skid steer type machinery, water truck, haul trucks, necessary personnel.

Backfill: City Hall: Site – four (4) days [excavator, skid steer type machinery, haul trucks, necessary personnel. Jail Area only – two (2) days [excavator, skid steer type machinery haul trucks, necessary personnel. West End School: two (2) days [excavator, skid steer type machinery, haul trucks, necessary personnel.

Sod: City Hall: three (3) days West End School: two (2) days

ACM Abatement: Scope of Work based upon information provided in Terracon Surveys. Specifications from a consultant were not provided. Should specifications be provided in the future this proposal is subject to revision.

Scope of Work: remove and properly dispose of contaminated materials

- City Hall Building
- Chalkboards 64 ea +/-
- Flooring and Mastic 2235 sf +/-
- Sheetrock 2200 sf +/-
- Sink Undercoats 6 sf +/-
- Roofing Materials 3700 sf +/-
- Caulks / Sealants 190 lf +/-
- West End School
- Chalkboards 56 ea +/-
- Sheetrock 480 sf +/-
- Flooring and Mastic 200 sf +/-
- Windows 15 ea +/-
- TSI Debris 100 sf +/-

Clarifications & General Methods of Removal:

- "REQUIRED" 3rd party consulting services are NOT included in this Scope of Work. Owner should contract directly for such services.
- Scope of Work to be performed in accordance with TDSHS & NESHP

1920
10
15 25
2
2
29

- Double bag, contain, collect, store, transport and dispose of any waste generated as ACM at an approved landfill. Provide copies of disposal manifests to Owner / Client.
- TDSHS fee for notification is NOT included; Fee will be billed directly to Owner
- Lead Based Paint Abatement is NOT included as NO information regarding Lead Paint was provided

DURATION:

City Hall: ten (10) work days

West End School: five (5) work days

ACORD™

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

11/04/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER		CONTACT NAME:	
BB&T Insurance Services, Inc.		PHONE (A/C, No, Ext): 919 716-9777	
3605 Glenwood Ave		FAX (A/C, No):	
Raleigh, NC 27612		E-MAIL	
919 716-9777		ADDRESS:	
		INSURER(S) AFFORDING COVERAGE	NAIC #
		INSURER A : Restoration Risk Retention Grou	12209
		INSURER B :	
		INSURER C :	
		INSURER D :	
		INSURER E :	
		INSURER F :	
INSURED			
J & K Professional Services, Inc.			
Suite 124, PMB#204			
Fort Worth, TX 76109			

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY ☒ COMMERCIAL GENERAL LIABILITY ☐ CLAIMS-MADE ☒ OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: ☒ POLICY ☐ PRO-JECT ☐ LOC			RGL070845	02/21/2013	02/21/2014	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
	AUTOMOBILE LIABILITY ☐ ANY AUTO ☐ ALL OWNED AUTOS ☐ HIRED AUTOS ☐ SCHEDULED AUTOS ☐ NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB ☐ OCCUR EXCESS LIAB ☐ CLAIMS-MADE ☐ DED ☐ RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? ☐ Y ☒ N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			N/A			WC STATUTORY LIMITS ☐ OTHER ☐ E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Pollution			RPU070556	02/21/2013	02/21/2014	\$1,000,000/2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)	
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**** Supplemental Name ****

J & K Professional Services, Inc.

DBA Servpro of Lake Arlington/SW Fort Worth

CERTIFICATE HOLDER	CANCELLATION
City of Taylor, Texas 400 Porter Street Taylor, TX 76574	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Theresa V. Siegrist</i>

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SURETY DOCUMENT

Surety Bond Source / HFG Sureties

November 12, 2013

City of Taylor, Texas
Planning and Development
400 Porter Street
Taylor, Texas 76574

Re: J&K Professional Services, Inc.dba Servpro of Lake Arlington/Southwest Fort Worth
(herein referred to as Contractor)

HFG Sureties is the acting surety for Contractor. At this time, we are writing to recommend Contractor as a potential bidder for upcoming projects. We understand that this prequalification letter would include projects between \$50,000 and \$500,000 and we would give favorable consideration to projects of that value. While Contractor's available bond capacity depends to a large extent on the total of awarded contracts at any given time, their current bond capacity is at least \$2,500,000.00.

HFG Sureties is a Texas admitted surety and we comply with the Government Code of State and Local Contracts and Fund Management, Title 10, Subtitle F, Section 2253. Please be advised that prior to a final decision on providing any bond, we reserve the right to review the contract proposal and any other specific underwriting factors that may be present at the time. Arrangement for Performance bond(s) is a matter between Contractor and ourselves and we assume no liability to third parties or to you, if for any reason we do not execute said bond or bonds.

Sincerely,


Gregory Stanley
Senior Bond Underwriter
Bond Department

100 N. Broadway St., Suite 100A, Tyler, Texas 75701
903-324-4811 T. 903-324-4711 F.



City Council Meeting December 12, 2013 Agenda Item Transmittal

Agenda Item #: 16

Agenda Title: Consider appointments to the Taylor Economic Development Corporation Board of Directors.

Council Action to be taken: Make appointments and/or reappointments as needed

Initiating Department: City Administration

Staff Contact: Jeff Straub, Assistant City Manager

1. INTRODUCTION/PURPOSE

The Taylor Economic Development Corporation Board was established by Resolution on April 26, 1994. The By Laws state in Article II, Section 2.1 that the Board of Directors shall consist of five (5) persons who shall each be appointed by the City Council. Any vacancy occurring on the Board of Directors shall be filled by appointment by majority vote of the City Council.

2. DESCRIPTION/ JUSTIFICATION

There are currently two positions that need to be filled and one person has submitted an application for reappointment (Kelly Cmerek).

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

6. REFERENCE FILES

16a. [Board applications received](#)

16b. [Current Roster](#)

16c. [Bylaws](#)



City of Taylor Boards and Committee Application

RECEIVED

JUL 26 2013

PLEASE TYPE OR PRINT CLEARLY:

Name Cecil Bowen _____

Address (Residence and Mailing)

2207 Lark Lane _____

How long at this residence? 6 months _____

Phone (Home) _____

Cell Phone 512-913-2984 _____

Fax _____

Email cbowen@cnbanktexas.com _____

Occupation Banker _____

Employer Citizens National Bank _____

Address 316 N. Main, Taylor _____

Work Phone 512-352-7641 _____

Business owner? ☐ Yes ☒ No

Additional information? I have served on EDC
boards in Uvalde and Dumas. _____

List the Board or Commission you are applying for. A person may not be appointed by the City Council to serve on more than one board or commission simultaneously. (Does not apply to the Comprehensive Plan Implementation Committee.) If more than one, please list in order of priority for which you wish to be considered.) : Economic Development Commission Board

Please consider attending a committee meeting of interest to you prior to submitting your application. Check the website at <http://www.taylortx.gov> for a complete roster of committee appointees.

List experience, training, skills or interests which you believe you could bring to this position. (Attach resume or additional pages if needed.)

Previous experience on EDC board. Long time banker who understands economics and lending as well as city government.

Previously elected to serve on city council.

APPLICANTS FOR ZONING BOARD OF ADJUSTMENTS, PLANNING AND ZONING, BUILDING AND STANDARDS COMMISSION, AND PARKS AND RECREATION BOARD MUST BE A LEGAL RESIDENT OF THE UNITED STATES AND A VOTING RESIDENT WHO LIVES AND RESIDES* IN THE CITY OF TAYLOR. (*Effective 12/16/08. Residency requirement does not apply to the Moody Museum Board, Library Board, Main Street Advisory Board,

Airport Board, or the TEDC. Change in residency status during term can result in termination of appointment.)

I hereby swear and affirm that the information provided above is true and correct

Signature Cecil Bowen

7/26/2013

Date



City of Taylor
Boards and Committee
Application

RECEIVED

JUL 25 2013

PLEASE TYPE OR PRINT CLEARLY:

Name <u>DAVID SCOTT GREEN</u>	Occupation <u>PROD ENG</u>
Address (Residence and Mailing) <u>120 SPEEGLE</u>	Employer <u>ORACLE</u>
How long at this residence? <u>10 yrs</u>	Address
Phone (Home) <u>512-365-7392</u>	Work Phone <u>512-401-1415</u>
Cell Phone <u>512-413-1446</u>	Business owner? ☐ Yes ☒ No
Fax	Additional information?
Email <u>SCOTT.GREEN@EMAIL.COM</u>	

List the Board or Commission you are applying for. A person may not be appointed by the City Council to serve on more than one board or commission simultaneously. (Does not apply to the Comprehensive Plan Implementation Committee.) If more than one, please list in order of priority for which you wish to be considered.) :

TEDC

Please consider attending a committee meeting of interest to you prior to submitting your application. Check the website at <http://www.taylortx.gov> for a complete roster of committee appointees.

List experience, training, skills or interests which you believe you could bring to this position. (Attach resume or additional pages if needed.)

CITY COUNCIL DISTRICT 4 REP

PRIOR SELF EMPLOYMENT, ~~FROM~~ STARTUP AND OPERATIONS

CURRENT JOB INCLUDES COST AND BUSINESS ANALYSIS

APPLICANTS FOR ZONING BOARD OF ADJUSTMENTS, PLANNING AND ZONING, BUILDING AND STANDARDS COMMISSION, AND PARKS AND RECREATION BOARD MUST BE A LEGAL RESIDENT OF THE UNITED STATES AND A VOTING RESIDENT WHO LIVES AND RESIDES* IN THE CITY OF TAYLOR. (*Effective 12/16/08. Residency requirement does not apply to the Moody Museum Board, Library Board, Main Street Advisory Board, Airport Board, or the TEDC. Change in residency status during term can result in termination of appointment.)

I hereby swear and affirm that the information provided above is true and correct

Signature

Date

07-25-13



City of Taylor
Boards and Committee
Application



PLEASE TYPE OR PRINT CLEARLY:

Name Ronnie Robinson

Address (Residence and Mailing)

2206 Gladnell St.

Taylor Tx 76574

How long at this residence? 26 years

Phone (Home) 512-352-6197

Cell Phone 512-948-9329

Fax _____

Email Drobinson46@austin.rr.com

Occupation Retired

Employer Durcon Inc

Address Allison Dr.

Taylor Tx

Work Phone _____

Business owner? ☐ Yes ☒ No

Additional information? _____

List the Board or Commission you are applying for. A person may not be appointed by the City Council to serve on more than one board or commission simultaneously. (Does not apply to the Comprehensive Plan Implementation Committee.) If more than one, please list in order of priority for which you wish to be considered.) :

TEDC

Please consider attending a committee meeting of interest to you prior to submitting your application. Check the website at <http://www.taylortx.gov> for a complete roster of committee appointees.

List experience, training, skills or interests which you believe you could bring to this position. (Attach resume or additional pages if needed.)

APPLICANTS FOR ZONING BOARD OF ADJUSTMENTS, PLANNING AND ZONING, BUILDING AND STANDARDS COMMISSION, AND PARKS AND RECREATION BOARD MUST BE A LEGAL RESIDENT OF THE UNITED STATES AND A VOTING RESIDENT WHO LIVES AND RESIDES* IN THE CITY OF TAYLOR. (*Effective 12/16/08. Residency requirement does not apply to the Moody Museum Board, Library Board, Main Street Advisory Board, Airport Board, or the TEDC. Change in residency status during term can result in termination of appointment.)

I hereby swear and affirm that the information provided above is true and correct

Signature

Roni Rabin

Date

2/8/2013



City of Taylor
Boards and Committee
Application

RECEIVED

FEB 01 2011

PLEASE TYPE OR PRINT CLEARLY:

Name Holly VanScoy, Ph.D.

Address (Residence and Mailing)

1606 Meadow Lane _____

Taylor 76574 _____

How long at this residence? 3 years _____

Phone (Home) 512-309-4190 _____

Cell Phone _____

Fax 512-857-0330 _____

Email academres@aol.com _____

Occupation Evaluator and grant writer

Employer Academic Research Associates _____

Address 1606 Meadow Lane _____

City Taylor TX 76574 _____

Work Phone 512-252-0985 _____

Business owner? ☒ Yes ☐ No

Additional information? Former professor _____

A list of Boards and Commissions and their meeting dates and times is included on the back of this form. Please consider attending a committee meeting of interest to you prior to submitting your application. Check the website at <http://www.ci.taylor.tx.us> for a complete roster of committee appointees.

List the Board or Commission you are applying for: Main Street Advisory, TEDC, Planning and Zoning. List experience, training, skills or interests which you believe you could bring to this position. (Attach resume or additional pages if needed.) Former chair City of Grand Rapids (MI) Environmental Board; Historic Preservation Commission; former chair Fairmount Square Historic Preservation Nomination Committee; Former City of Pflugerville (TX) Architectural Review Board; _____

APPLICANTS FOR ZONING BOARD OF ADJUSTMENTS, PLANNING AND ZONING, BUILDING AND STANDARDS COMMISSION, AND PARKS AND RECREATION BOARD MUST BE A LEGAL RESIDENT OF THE UNITED STATES AND A VOTING RESIDENT WHO LIVES AND RESIDES* IN THE CITY OF TAYLOR. (*Effective 12/16/08. Residency requirement does not apply to the Moody Museum Board, Library Board, Main Street Advisory Board, Airport Board, or the TEDC. Change in residency status during term can result in termination of appointment.)

I hereby swear and affirm that the information provided above is true and correct

Signature

Date

January 22, 2011



City of Taylor Boards and Committee Application

PLEASE TYPE OR PRINT CLEARLY:

Name David Wofford _____

Address (Residence and Mailing)
3106 Davis St. _____
Taylor, TX 76574 _____

How long at this residence? 7 months _____

Phone (Home) 512-365-1150 _____

Cell Phone 512-277-9017 _____

Fax _____

Email woffdad@gmail.com _____

Occupation Retired _____

Employer _____

Address _____

City _____

Work Phone _____

Business owner? ☐ Yes ☐ No

Additional information? _____

List the Board or Commission you are applying for (A person may not be appointed by the City Council to serve on more than one board or commission simultaneously. (Does not apply to the Comprehensive Plan Implementation Committee.) If more than one, please list in order of priority for which you wish to be considered.) : Taylor Economic Development Corporation (TEDC) _____

Please consider attending a committee meeting of interest to you prior to submitting your application. Check the website at <http://www.taylortx.gov> for a complete roster of committee appointees.

List experience, training, skills or interests which you believe you could bring to this position. (Attach resume or additional pages if needed.) Please see attached _____

APPLICANTS FOR ZONING BOARD OF ADJUSTMENTS, PLANNING AND ZONING, BUILDING AND STANDARDS COMMISSION, AND PARKS AND RECREATION BOARD MUST BE A LEGAL RESIDENT OF THE UNITED STATES AND A VOTING RESIDENT WHO LIVES AND RESIDES* IN THE CITY OF TAYLOR. (**Effective 12/16/08. Residency requirement does not apply to the Moody Museum Board, Library Board, Main Street Advisory Board, Airport Board, or the TEDC. Change in residency status during term can result in termination of appointment.*)

I hereby swear and affirm that the information provided above is true and correct

Signature

Date

2/8/2013

James David Wofford

3106 Davis St., Taylor, TX 76574

woffdad@gmail.com 512-365-1150

Experience

Southwestern Bell Telephone, SBC, AT&T

1969-1999

Lineman, Cable Splicer, Construction Foreman, Cable Splicing Foreman, Repair Supervisor, Design Engineer, Scheduling Engineer, Long Range Planner, Staff Specialist – Damage Prevention

- Built, Maintained and Designed Outside Plant Facilities
- Coordinate with developers and contractors
- Coordinated all construction work in the Fort Worth Metroplex
- Conduct studies for 2 to 20 year growth
- Design and implement Damage Prevention Program that resulted in 50% reduction in damages in North Texas

Wofford Enterprises

1999 - 2002

Engineering Consultant

- Taught Basic Engineering to AT&T Engineers
- Taught Engineering Economics to AT&T Engineers
- Redesign curriculum for AT&T engineering courses

Texas Excavation Safety System

2002 - 2012

Director of Marketing

- Established Marketing Program that increase membership from 600 to over 1300 member companies
- Increased membership that resulted in growth of outgoing locate requests from 6.5 million to over 11.5 million.

Director of Damage Prevention and Marketing

- Develop Damage Prevention organization that created 23 Damage Prevention Councils across Texas
- Developed outreach program to spread the "Call Before You Dig!" message
- Worked with underground facility owners across the United States to enhance Damage Prevention efforts

Associations

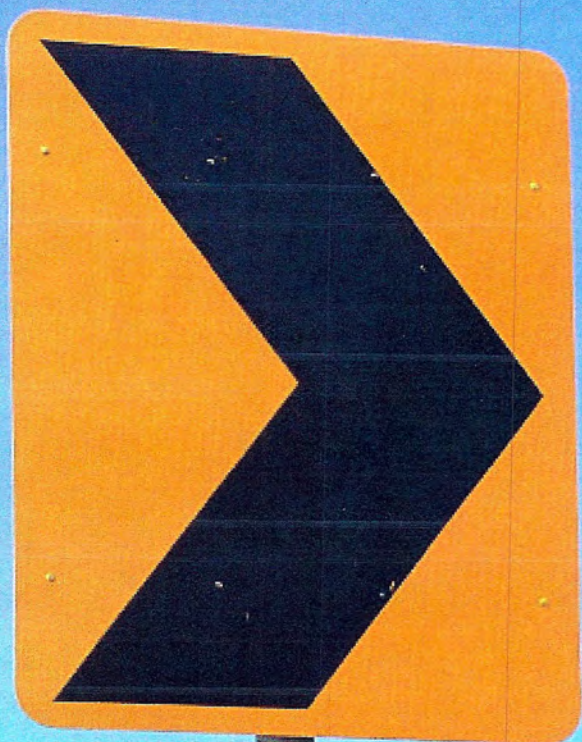
Texas Excavation Safety System Board of Directors from 1996 – 1999

Texas Gas Association Board of Directors from 2005 – 2012

Participated in all Associations involved with underground facilities across Texas

Education

Bachelor of Science in Business Management, LeTourneau University



Changing Directions in Damage Prevention

By Justine Lines

At the end of 2012, David Wofford will retire from his job as Director of Damage Prevention at Texas811, a position he has held for the last 11 years. His thirty years of experience at Southwestern Bell, many of those in the area of damage prevention in North Texas, made him a prime candidate for the Directorship at Texas811 in 2001. During his first year in the North Texas program, David reduced damages to Southwestern Bell facilities by 50 percent. This combined with his passion for the concept of shared responsibility prompted Lee Marrs, President and CEO of Texas811, to call and ask David if he wouldn't leave semi-retirement as an engineering consultant to Southwestern Bell and take a full time position at Texas811. David was impressed by the difference joining Texas811 had made in the reduction of damage to Southwestern Bell facilities, and appreciative of the positivity and cooperative spirit of what is now Texas811, so he accepted the position.

David recollects, "It was very rewarding to be working with a group of people all pulling in the same direction. When Lee called me, that's really what I thought of – how nice it was when we'd worked together before, when I worked in damage prevention for North Texas at Southwestern Bell. Here was a group of professionals from all parts of the industry, all working toward a common goal."

Lee says, "I think David realized the need for communication and cooperation when he worked at Southwestern Bell. It's commonplace, now, in the industry to talk about shared responsibility and working together, but in decades past, that was not the case. David recognized that need for shared responsibility long before many in the industry. He was truly a visionary. He went against the current of the prevailing attitude of the time – a punitive and distrustful relationship between excavators and utilities – and created ways for everyone to communicate and collaborate toward one goal – the safety of the community and the preservation of facilities. It is a testament to David's ability to see different sides of an issue that we have an unprecedented amount of stakeholder involvement in damage prevention in Texas today."

When David started with Texas811, there were only three or four regional Damage Prevention Councils in the whole state; there are now 23. Everyone in Texas is now less than two hours away from a Damage Prevention Council meeting and several of these councils have now become regional partners with the National Common Ground Alliance. That is pretty significant progress in creating communication and networking among regional stakeholders in a state as large as Texas.

David's vision was that all stakeholders – regulatory, excavators, one-call systems, locators, surveyors, facility operators, designers, engineers, contractors, absolutely everyone involved in underground facility construction, public safety and damage prevention – could meet face to face and come up with solutions to common challenges and forge relationships.

"I feel that he and his team really

fulfilled that vision," said Lee.

When asked to describe the creation of local Damage Prevention Councils, David said, "When you're dealing with Texas and the issue of damage prevention, you better recognize your adversary, which is not the people in the industry, but the state of Texas itself. If Texas were a country, it would be the 15th largest economy in the world. So, what you're tackling there is a beast. But, I am a true believer in the saying, 'You can eat a whale, but you have to do it a bite at a time.' And that's what our team did. We took Texas, divided it into 23 different areas and went after it. The guys, our team, did a remarkable job. Once we decided to do this, we laid it out and worked very hard for each success and got most of it done in a three year period. We were supported by our stakeholders, which was a huge achievement. This is a huge state – you can drive 16 hours and not leave it, but the best way to handle damage prevention issues is on a local level. The problems they have in El Paso are not the same problems they have in Beaumont or Texarkana or Houston. Realizing that we needed to divide the Texas concern for damage prevention into these local councils really gave these communities the resources and networking to work together to solve their special issues. The local stakeholders really understand their issues better than anyone, and now they are empowered to come up with reasonable solutions."

When asked if the creation of these local councils was his proudest achievement at Texas811, David said "Well, I am very proud of the work our team has done, but I am proud of everyone I ever worked with at Texas811. We all worked together to improve our services. When I came to work there in 2002, we had 600 member companies. We currently have 1300 member companies. In 2001, we sent out 6.5 million notifications. This year, we'll have sent out 11.5 million notifications. And that is due to the fine work of all the people in the notification center, our excellent management and outreach folks. It speaks to the professionalism of everyone

who works at Texas811. I was honored to work there."

In his retirement, David said he'll be playing some golf, but he's also looking forward to spending time with his family. "Taking on a project the size of Texas has meant a lot of traveling. I might have driven 30,000 miles a year. That much traveling means that you are giving up a lot of your family time. My beautiful wife of 36 years, Mindy, and I moved to Taylor, Texas, to be closer to my children and my grandchild."

David and Mindy's son, also named David, just finished his Master's degree in Psychology and is opening a counseling and mindfulness practice in Austin. His lovely wife, Ladye Anne, gave the Woffords their wonderful grandson, Charlie, who is a joy in their lives. Their daughter, Molly, got her Master's degree in Business Administration from the University of Manchester in England last year and is now the Executive Director of the non-profit Texas Partnership for Out of School Time, which provides services for children.

"We are so proud of them and really look forward to spending time with them. I also hope to spend some time giving back to the community in some way."

When Lee was asked what he would miss about the departing Director of Damage Prevention, he said, "I will miss David's sage counsel and his unique take on things, but I suspect that if David feels I need his advice, he'll let me know. What can I say about David? It has just been an honor and a pleasure to work with him all these years." ■





City of Taylor Boards and Committee Application

PLEASE TYPE OR PRINT CLEARLY:

Name KELLY CMERCK
Address (Residence and Mailing)
1406 SAGEWOOD DR
TAYLOR, TX 76574
How long at this residence? 6 YRS
Phone (Home) 512-365-8450
Cell Phone 512-468-4231
Fax _____
Email Kelly.Cmerck@bbva.compass.com

Occupation SBA LOAN OFFICER
Employer BBVA COMPASS BANK
Address 1703 W. 5TH ST.
AUSTIN, TX 78703
Work Phone 512-421-5875
Business owner? ☐ Yes ☒ No
Additional information? _____

List the Board or Commission you are applying for. A person may not be appointed by the City Council to serve on more than one board or commission simultaneously. (Does not apply to the Comprehensive Plan Implementation Committee.) If more than one, please list in order of priority for which you wish to be considered.) : TAYLOR EDC BOARD

Please consider attending a committee meeting of interest to you prior to submitting your application. Check the website at <http://www.taylortx.gov> for a complete roster of committee appointees.

List experience, training, skills or interests which you believe you could bring to this position. (Attach resume or additional pages if needed.)

- UNIVERSITY OF TEXAS AT AUSTIN, 1995 - BBA - FINANCE (MINOR IN ACCOUNTING)
- 18 YEARS EXPERIENCE IN BANKING / LENDING
- TAYLOR EDC BOARD MEMBER FOR LAST 3 YEARS

APPLICANTS FOR ZONING BOARD OF ADJUSTMENTS, PLANNING AND ZONING, BUILDING AND STANDARDS COMMISSION, AND PARKS AND RECREATION BOARD MUST BE A LEGAL RESIDENT OF THE UNITED STATES AND A VOTING RESIDENT WHO LIVES AND RESIDES* IN THE CITY OF TAYLOR. (*Effective 12/16/08. Residency requirement does not apply to the Moody Museum Board, Library Board, Main Street Advisory Board, Airport Board, or the TEDC. Change in residency status during term can result in termination of appointment.)

I hereby swear and affirm that the information provided above is true and correct

Signature

Kelly Cmerck

Date

11/12/13

BOARD	TERM (Yrs)	MEMBER	APPOINTE D	EXPIRES
Taylor Economic Development Corp (TEDC)	3	Cordell Bennigson 9100 Westminster Glen Ave Austin 78730 512-294-2909 (C) 512-818-5400 cbennigson@durcon.com	2-2011	1-2014
Not reapplying				
Resigned	3	Chris Osborn 1019 Cecelia (H) 275-6593 christopherdavidosborn@gmail.com	2-2013	1-2016
	3	Kelly Cmerek 1406 Sagewood Dr 512-365-8450 (C) 512-468-4231 kelly.cmerek@bbvacompass.com	2-2011	1-2014
	3	Christine Lopez 2400 Cherrylawn Dr (C) 517-4857 (H) 365-1651 (Fax) 365-7984 cg4lopez@mindspring.com	1-2012	1-2015
	3	Clark Jackson 1804 Lexington (O) 352-5543 (H) 365-3574 (Fax) 352-7670 Clarkljackson@sbcglobal.net	1-2012	1-2015

BY-LAWS
(AS AMENDED ON FEBRUARY 22, 2008)

THE TAYLOR ECONOMIC DEVELOPMENT CORPORATION

ARTICLE I

POWERS AND PURPOSES

SECTION 1.1 Corporate Identity; Offices. The name of the Non-Profit Corporation is The Taylor Economic Development Corporation, (the "Corporation"). The principle office of the Corporation shall initially be at the City Hall, 400 Porter Street, Taylor, Texas. The Corporation may relocate such principle office and have such other offices as the Board of Directors shall determine.

SECTION 1.2 Powers, Purposes, and Authority. In order to implement the purposes for which the Corporation was formed, as set forth in its Articles of Incorporation, the Corporation shall have all the authority and powers of every nature and kind whatsoever, both expressed and implied, which are authorized or permitted by the terms of the Development Corporation Act of 1979, Article 5190.6, Tex. Rev. Civ. Stat., as amended (the " Act"). The Corporation shall have and may exercise each power and authority enumerated in the Act as if such power and authority were specifically set forth herein; provided that the Corporation shall be governed by § 4A of the Act and to the extent of any conflict between § 4A and any other term or provision of the Act, § 4A shall govern and prevail. The Corporation shall have the power and authority to undertake any lawful action not inconsistent with the Act and it shall undertake the promotion of economic development to promote and encourage employment and the public welfare in the City of Taylor (the "City"). The powers of the Corporation shall include the authority to contract and be contracted with and, absent a conflict with § 4A, the power to purchase, lease, sell and mortgage real estate, and to issue obligations for or otherwise finance all or part of the cost of one or more Projects as defined in the Act.

SECTION 1.3 Annual Corporate Budget. At least 30 days prior to the commencement of each fiscal year of the Corporation, the Board shall adopt a proposed budget of anticipated revenues and proposed expenditures for the next ensuing fiscal year. The budget shall contain such classifications and shall be in such form as may be prescribed from time to time by the City Council. The budget shall not be effective until same has been approved by the City Council.

SECTION 1.4 Books and Records: Review of Financial Statements. The Corporation shall keep correct and complete books and records of accounts and shall also keep minutes of the proceedings of its Board of Directors and committees having any of the authority of the Board of Directors. All books and records of the Corporation may be inspected by any director or his or her agent or attorney at any reasonable time; and at all times the City Council of the City (the " City Council ") will have access to the books, records and financial statements of the Corporation. At the direction of the City Council, the books, records, accounts, and financial statements may be maintained for the Corporation by the staff of the City. In such event, the Corporation shall pay to the City reasonable compensation for such services.

SECTION 1.5 Powers in General. The Corporation may exercise all powers granted under the Act consistent with its Articles of Incorporation, these By-laws and the resolutions, orders and ordinances of the City Council .

ARTICLE II

BOARD OF DIRECTORS

SECTION 2.1 Appointment, Powers, Number, and Term of Office.

The Board of Directors shall exercise all of the powers of the Corporation, subject to the restrictions imposed by law, the Articles of Incorporation and these By-Laws.

The Board of Directors shall consist of five (5) persons who shall each be appointed by the City Council. Term of each appointment of the initial directors shall be determined by lot and then recorded in the minutes of the organizational meeting of the Corporation. Two of the initial directors shall serve an initial term of three (3) years, two shall serve a term of (2) years, and one shall serve an initial term of one (1) year. Thereafter the term of each directorship shall be for three (3) years. The directors constituting the initial Board of Directors shall be those persons named in the Articles of Incorporation, each of whom, as well as any subsequent directors, shall serve for the term to which he or she is selected or appointed or until his or her successor is appointed by the City Council.

Any director, or all directors, may be removed from office at any time by the City Council, for cause or at will. Any vacancy occurring on the Board of Directors shall be filled by appointment by majority vote of the City Council.

SECTION 2.2 Meetings of Directors in General.

The Board of Directors may hold its meetings at any place authorized by the Act and as the Board of Directors may from time to time determine; provided that, in the absence of any such determination by the Board of Directors, the meetings shall be held at the principle office of the Corporation or at the City Council Chambers of the City. The Board of Directors shall conduct its meetings in accordance with the requirements of the Act and Art. 6252-17, Tex. Rev. Civ. Stat. as amended.

SECTION 2.3 Regular Meetings.

Regular meetings of the Board of Directors shall be held at such times and places as shall be designated, from time to time, by resolution of the Board of Directors. Notice of regular meetings need not be given to each of the Directors but public notice of each meeting shall be given in the manner prescribed by law.

SECTION 2.4 Special Meetings.

Special meetings of the Board of Directors shall be held whenever called by the chair, by the secretary or by a majority of the directors then in office, or upon advice of or request by the City Council.

The secretary or his/her designee shall give or cause public notice to be given of each special meeting. Special notice of each special meeting shall also be given to each director either by mail, telephone, telegraph or in person, at least two hours before the meeting. Notice required by law to be given to any other person or entity shall be given in the manner prescribed by law. Except as otherwise provided by law or unless otherwise indicated in the notice thereof, any and all matters pertaining to the purposes of the Corporation may be considered and acted upon at a special meeting. At any meeting at which every director is present, even though with any notice, any matter pertaining to the purposes of the Corporation may be considered and acted upon.

SECTION 2.5 Quorum.

A majority of the directors fixed by these By-Laws shall constitute a quorum for the consideration of matters pertaining to the purposes of the Corporation. The act of a majority of the directors present at a meeting at which a quorum is in attendance shall constitute the act of the Board of Directors, unless the act of a greater number is required by law.

SECTION 2.6 Conduct of Business. At the meetings of the Board of Directors, matters pertaining to the purposes of the Corporation shall be considered in such order as from time to time the Board of Directors may determine.

SECTION 2.7 Compensation of Directors. Directors shall not receive any compensation for their services as directors except that they shall be reimbursed for their actual expenses incurred in the performance of their official duties.

ARTICLE III

OFFICERS

SECTION 3.1 Titles and Term of Office. The officers of the Corporation shall be a chair, a vice chair, a secretary, and a treasurer, and such other officers as the Board of Directors may from time to time elect or appoint. One person may hold more than one office, except the chair shall not hold the office of secretary. Each officer shall be appointed by a majority vote of the directors then in office and shall hold office for a term of three years or until his or her successor is elected or appointed.

All officers shall be subject to removal from office with or without cause at any time by a majority vote of the directors then in office.

A vacancy in any office shall be filled by appointment by a majority vote of the directors then in office.

SECTION 3.2 Chair. The chair shall be the chief officer of the Corporation, and, subject to the control of the Board of Directors, the chair shall be in general charge of the properties and affairs of the Corporation; the chair shall preside at all meetings of the Board of Directors; in furtherance of the purposes of this Corporation, the chair may sign and execute all contracts, conveyances, franchises, bonds, deeds, assignments, mortgages, notes and other instruments in the name of the Corporation.

SECTION 3.3 Vice Chair. The vice chair shall have such powers and duties as may be assigned by the Board of Directors and shall exercise the powers of the chair during the chair's absence or inability to act. Any action taken by the vice chair in the performance of the duties of the chair shall be conclusive evidence of the absence or inability of the chair to act at the time such action was taken.

SECTION 3.4 Treasurer. The treasurer shall have custody of all the funds and securities of the Corporation that come into his or her hands. When necessary, or proper, the treasurer may sign or endorse, on behalf of the Corporation, for collection or payment, checks, notes and other obligations and shall deposit any funds received to the credit of the Corporation in such bank or banks or depositories as shall be designated by the Board of Directors; whenever required by the Board of Directors, the treasurer shall enter or cause to be entered regularly in the books of the Corporation to be kept by the treasurer for that purpose full and accurate amounts of all monies received and paid out on account of the Corporation, the treasurer shall perform all acts incident to the position of treasurer subject to the control of the Board of Directors; the treasurer, if required by the Board of Directors, shall give such bond for the faithful discharge of his/her duties in such form as the Board of Directors may require.

SECTION 3.5 Secretary. The secretary shall keep the minutes of all meetings or the Board or Directors in books provided for that purpose; the secretary shall attend to giving and serving notices; in furtherance of the corporate purposes, the secretary may attest or sign with the chair, in the Corporation's name, all contracts, conveyances, franchises, bonds, deeds, assignments, mortgages, notes and other instruments of the Corporation; the secretary shall have charge of the corporate books, records, and all records of the securities of which the treasurer shall have custody, and such other books and papers as the Board of Directors may direct, all of which shall during business hours be open to inspection at the office of the Corporation; and the secretary shall in general perform all duties incident to the office of secretary subject to the control of the Board of Directors.

In the absence of the secretary, the chair may appoint any other person to act as secretary during such absence.

SECTION 3.6 Compensation. Officers shall not receive any compensation for their services as officers except that they may be reimbursed for their actual expenses incurred in the performance of their official duties.

ARTICLE IV

PROVISIONS REGARDING BY-LAWS

SECTION 4.1 Effective Date. These By-Laws shall become effective only upon the occurrence of the following events:

- (1) the approval of these By-Laws by the City Commission, which approval may be granted prior to creation of the Corporation; and
- (2) the adoption of these By-Laws by the Board of Directors.

SECTION 4.2 Amendments to By-Laws. These By-Laws may be amended at any time and from time to time by majority vote of the directors then in office, with prior approval of the City Council.

SECTION 4.3 Interpretation of By-Laws. These By-Laws shall be liberally construed to effectuate the purposes set forth herein. If any word, phrase, clause, sentence, paragraph, section or other part of these By-Laws, or the application thereof to any person or circumstance, shall ever be held to be invalid or unconstitutional by any court of competent jurisdiction, the remainder of these By-Laws and the application of such word, phrase, clause, sentence, paragraph, section or other part of these By-Laws to any other person or circumstance shall not be affected thereby.

ARTICLE V

GENERAL PROVISIONS

SECTION 5.1 Principal Office. The principal office of the Corporation shall be at 400 Porter, Taylor, Texas.

SECTION 5.2 Fiscal Year. The fiscal year of the Corporation shall be as determined by the Board of Directors.

SECTION 5.3 Seal. The seal of the Corporation shall be as determined by the Board of Directors.

SECTION 5.4 Notice and Waiver of Notice. Whenever any notice whatsoever is required to be given to the Board of Directors under the Act, the Articles of Incorporation or these By-Laws, such notice shall be deemed to be sufficient if given by depositing it for mailing in a post office box in a sealed postpaid wrapper addressed to the person entitled thereto at his or her post office address, as it appears on the books of the Corporation, and such notice shall be deemed given on the day of such mailing.

Attendance of a director at a meeting shall constitute a waiver of notice of such meeting, except where a director attends a meeting for the sole purpose of objecting to the transaction of any business on the grounds that the meeting is not lawfully called or convened. A written waiver of notice, signed by the person or persons entitled to notice, whether before or after the time stated therein, shall be deemed equivalent to the giving of such notice.

Neither the business to be transacted nor the purpose of any regular or special meeting of the Board of Directors need be set forth in any notice to a director of such meeting, unless required by the Board of Directors.

Any notice whatsoever that may be required to be given to the public by law, shall be given in the manner prescribed by law.

SECTION 5.5 Resignations. Any director or officer may resign at any time. Any such resignation shall be made in writing and shall take effect at the time specified therein, or, if no time be specified, at the time of its receipt by the chair or the secretary. Absent a written notice of the resignation the City Council of the City shall cause a notice of the resignation to be provided. The acceptance of a resignation shall not be necessary to make it effective, unless expressly so provided in the resignation. Notwithstanding the effective date, a resigning director shall serve until such time as his or her successor takes office.

SECTION 5.6 Approval of the City Council. To the extent these By-Laws refer to any approval or action to be taken by the City, such shall be evidenced by a certified copy of a resolution, ordinance, order or motion duly adopted by the City Council.

SECTION 5.7 Action Without a Meeting of Directors. To the extent permitted by and not inconsistent with law, any action that may be taken at a meeting of the Board of Directors may be taken without a meeting if a consent in writing, setting forth the action to be taken, is signed by all of the directors then in office. Such consent shall have the same force and effect as a unanimous vote and may be stated as such in any articles or document filed with the Secretary of State or any other person.

SECTION 5.8 Organizational Control. The City Council may, in its sole discretion and at any time, alter or change the structure, organization or activities of the Corporation (including the termination of the Corporation), subject to the Act and any limitations on the impairment of contracts.

SECTION 5.9 Dissolution of the Corporation. Upon dissolution of the Corporation, title to or other interests in any real or personal property then owned by the Corporation shall vest in the City except and unless as authorized by the City Council..



***City Council Meeting
December 12, 2013
Agenda Item Transmittal***

Agenda Item #: 17

Agenda Title: Discuss and consider search mechanism and process for recruitment and selection of a City Manager.

Council Action to be taken: Discuss RFP for Search Firms; Provide direction to Staff

Initiating Department: City Council

Staff Contact: Jesse Ancira, Jr., Mayor

1. INTRODUCTION/PURPOSE

This item has been added to your agenda to continue discussion on a mechanism to select a search firm to assist Council in conducting the search for candidates for the position of city manager. Included in your packet is an RFP that could be utilized to solicit formal proposal and aid in the selection of a search firm. This RFP was developed by benchmarking off of other cities' recently utilized RFPs.

2. DESCRIPTION/ JUSTIFICATION

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

6. REFERENCE FILES

17a. [RFP for Executive Search Firms](#)

City of Taylor

City Manager

Executive Search Firm Services

Request for Proposals



www.taylortx.gov

I. Introduction

The City of Taylor, Texas is seeking proposals from qualified firms/providers to perform executive search services for the position of City Manager. The current City Manager has announced his retirement to be effective December 31, 2013 after serving the City for 8 years. The City of Taylor will accept proposals from firms/providers interested in providing the requested services.

Proposals must be received by no later than 3:00 P.M. local time on _____, 2014, at City Hall, Office of the City Clerk, 400 Porter Street, Taylor, Texas 76574. Proposal documents are available by accessing the City's website at www.taylortx.gov or by contacting the City Clerk at 512-352-3676.

II. General Information

The City of Taylor is located in central Texas and has a population of just over 16,000 residents. The City of Taylor was established in 1876 and its current form of government is Home Rule. The City operates under a Council-Manager form of government. The City Council is composed of a five (5) Councilmembers, four who are elected within their single member district and one at large. The Mayor is elected from the five Councilmembers for a term of one (1) year, and the Councilmembers are elected for regular terms of three (3) years.

III. Scope of Work

Assist the Mayor and members of the City Council with developing a candidate profile; advertise the position; directly solicit candidates; review initial candidates with the Mayor and City Council members; present a written report on background, strengths, and accomplishments; provide reference lists on each recommended finalist; facilitate final interview process with some suggested interview questions; coordinate psychological assessments; assist the City with negotiating a contract; coordinate all correspondence, travel arrangements, and recordkeeping; and conduct detailed background and professional reference checks on recommended finalists, if requested.

During proposal development, respondent's questions regarding the RFP or the process should be directed to Starla Hall, Director of Human Resources, 400 Porter Street, Taylor, Texas 76574 or call (512) 352-5993 ext. 22 or via email at Starla.hall@taylortx.gov

The City of Taylor requests that respondents to the Request for Proposal do not contact the City Staff or any member of the City Council or the Mayor during the proposal process and evaluation phase.

IV. Experience Requirements

Respondents are encouraged to provide the number of City Manager/Administrator placements the firm has successfully completed in similar sized municipalities including demonstration of the firm's experience with seeking a diversity of applicants, including female and minority candidates.

V. Response Form and Content

- A. *Title Page:* Indicate the proposal subject, name of firm, local address, telephone number, name of contact person, and date of submittal.

- B. *Introduction:* Briefly, introduce your firm, indicating whether the firm is local, regional, national or international. Provide a profile of the firm including, but not limited to, the approximate number of professional staff employed, how long your firm has been in business and how long the firm has been conducting City Manager/Administrator searches. Indicate the name of the person(s) who will be authorized to make representation for and to bind the firm, their titles, and telephone numbers.

- C. *Information Included in Response:*
 - 1. Briefly state your understanding of the work to be performed. Include, but do not limit your statement to, the specific items requested in the Scope of Work.
 - 2. Describe your proposed strategy to complete the recruitment, including a general statement of the philosophy of the firm and how the firm will tailor the process for Taylor's search. Indicate any additional information for consideration of your firm's qualifications for conducting this project.
 - 3. Provide a list of the respondent's City Manager/Administrator successful placements in the past thirty-six (36) months, including the size of the municipality.

Provide contact names, telephone numbers and email addresses of these clients. The City reserves the right to contact any additional individuals or firms to obtain information about the respondent. If the firm has done no such searches, details should be provided as to how the firm would proceed with the search.

4. Indicate the names, titles, placement experience, and include resumes, of the person(s) who will be assigned to this project. A response to this requirement should include all contact information such as telephone number, fax number, e-mail address and web address.
5. Provide a detailed description of how the recruitment is to be conducted.
6. Discuss the general nature and extent of benefits the City of Taylor is reasonably likely to experience as a result of these services.
7. Provide a copy of a previous City Manager/Administrator position profile your firm has completed which has similarities to the position with the City of Taylor.
8. Provide a copy of a previous City Manager/Administrator search report your firm has completed for another client similar to the City of Taylor.
9. Provide a non-binding general indication (or range) of the cost of the services proposed.
10. Provide a complete description of the fee structure of the firm
11. Indicate the degree of participation by qualified minorities within the firm and/or sub-contracts with minority or women-owned business enterprises.

VI. Submission of Responses

A. Acceptance/Rejection/Modification to Responses:

The City of Taylor reserves the right to negotiate modifications to proposals that it deems acceptable, reject any and all proposals, and to waive informalities or irregularities in a proposal or in the proposal process.

A. Economy of Preparation:

Proposals should be prepared simply and economically, providing a straightforward, concise description of the respondent's ability to fulfill the requirements of the project.

B. Cost of Preparation:

The City shall not be liable for any costs incurred by a respondent in preparing or submitting a proposal.

D. Ownership:

Submitted materials become the property of the City and will not be returned.

E. Public Records:

Until award of contract is made, per section 252.049(b) of the Texas Local Government Code, there will be no disclosure of contents to competing respondents. All proposals will be kept confidential during the negotiation process. Except for the trade secrets and confidential information, which the respondent identifies as proprietary, all proposals will be open for public inspection after the contract is awarded.

VII. Due Date

Sealed proposal and ten (10) complete copies must be received at the Office of the City Clerk no later than 5:00 p.m., _____, __, 2014. Proposals will not be accepted after this time. Proposals shall be addressed as follows:

ATTENTION CITY CLERK, Susan Brock

400 Porter Street, Taylor, TX 76574

RFP EXECUTIVE SEARCH FIRM ENCLOSED

Each response shall be submitted in a sealed envelope prior to the time established for opening, and the envelope shall be marked with the title of the proposal and the proposal opening date. If submitted by mail, this envelope shall be enclosed in another envelope addressed to the City Clerk at the address specified above. If submitted other than by mail, it shall be delivered to the Office of the City Clerk. Proposals submitted by mail must be received in the Office of the City Clerk by the time specified herein for the opening thereof.

VIII. Withdrawal from Consideration

A respondent may withdraw its proposal at any time prior to the submission deadline by submitting a written request for withdrawal to Susan Brock, City Clerk, 400 Porter Street, Taylor, Texas 76574. The request for withdrawal shall be signed by the respondent or an authorized agent. Modifications offered in any manner, oral or written, will not be considered after the deadline.

IX. Selection Process

A. Evaluation:

1. The Mayor and Members of the City Council shall review all proposals and evaluate them based upon the requirements given in this Request for Proposal including, but not limited to, the following criteria:
 - a. Responsiveness of the proposal.
 - b. Ability, capacity, and skill of the respondent to perform the services.
 - c. Responses of the respondent's references.
 - d. Methodology for conducting the recruitment.
 - e. Experience of the respondent and individual members of the respondent's professional staff in performing similar services for similar sized municipalities.
 - f. Experience with diverse candidates and placements, including female and minority candidates.
 - g. The sufficiency of financial resources and ability of the respondent in performing the contract.
 - h. The degrees of participation by qualified minorities within the firm and/or sub-contracts with minority or women-owned business enterprises.
 - i. The firm's capability to meet the Scope of Work.
 - j. The qualifications of the professional staff proposed for the project.
 - k. Cost to provide the service requested.
 - l. Other information as may be required or secured.
2. The Mayor and Members of the City Council shall review and evaluate all responses submitted to this Request for

Proposals. They shall conduct a preliminary evaluation process of all proposals on the basis of information provided and other evaluation criteria as set forth in this Request for Proposals or as reasonably determined by the Mayor and Members of the City Council.

3. The Mayor and Members of the City Council will first review each proposal for compliance with the minimum qualifications and mandatory requirements for the Request for Proposals. Failure to comply with any mandatory requirements may disqualify a proposal. They may request one or more respondents to interview by telephone or in person.
4. The Mayor and Members of the City Council may require selected firms to be available to engage in a conference telephone call or attend a City Council meeting, or both, to respond to questions from the Mayor and Members of the City Council.

X. Conditions of Responses

A. Completeness:

All information required by the Request for Proposals must be supplied to constitute a legitimate proposal.

B. Request for Proposals Clarification Request:

During the period of evaluation, the City shall have the right to request clarification from the respondents. If any such respondent fails to respond to such a request within five (5) business days from the date of the request, the City shall have the right to reject the proposal.

C. Oral Presentations:

After all responses have been evaluated, the Mayor and Members of the City Council may require representatives of one or more of the respondents to appear and present before the Mayor and Members of the City Council, at the respondents' expense, for the purpose of making a final evaluation and award.

D. Award Presentation:

Subject to agreement negotiation, the Mayor and Members of the City Council shall select one of the proposals, or will reject all proposals within ninety (90) calendar days from the date of _____, 2014.

E. Completion of Project:

It is the City's goal to have this project completed within three (3) to six (6) months.

F. Contract Development:

If the City selects a firm, the Mayor and Members of the City Council will conduct contract discussions and negotiations with the apparent successful respondent with the assistance of the City Attorney.



***City Council Meeting
December 12, 2013
Agenda Item Transmittal***

Agenda Item #: 18

Agenda Title: Discuss future agenda items.

Council Action to be taken: No action can be taken on this item

Initiating Department: City Council

Staff Contact: Jesse Ancira, Jr., Mayor

1. INTRODUCTION/PURPOSE

Under this item, we will be receiving input regarding future agenda items from you. This agenda item will be added as a routine matter on each of your upcoming agendas and will not be an action item since no specific items are listed for consideration. Staff will also be bringing potential agenda items before you at this time.

2. DESCRIPTION/ JUSTIFICATION

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

6. REFERENCE FILES



***City Council Meeting
December 12, 2013
Agenda Item Transmittal***

Agenda Item #: 19

Agenda Title: Executive Session: Sec. 551.074; Personnel

Council Action to be taken: Discuss personnel issues regarding the Interim City Manager

Initiating Department: City Council

Staff Contact: Jesse Ancira, Jr., Mayor

1. INTRODUCTION/PURPOSE

2. DESCRIPTION/ JUSTIFICATION

The Taylor City Council will conduct a closed meeting under Section 551.074 of the Texas Government Code in order to discuss issues relating to the position of the Interim City Manager.

3. FINANCIAL/BUDGET

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

6. REFERENCE FILES

19a. [Executive Session form](#)

**TAYLOR CITY COUNCIL
CERTIFIED AGENDA - EXECUTIVE SESSION**

1. OPEN MEETING ANNOUNCEMENT

The City of Taylor City Council convened in Open Session, declared a quorum on December 12, 2013 and has posted an Official Agenda indicating the possible need for an Executive Session. The Council will now adjourn into Executive Session pursuant to the Texas Open Meetings Act, Government Code Section:

- | | | |
|-------------------------------------|---------|--|
| ☐ | 551.071 | To consult with its attorney regarding a matter in which the duty of the attorney to the City conflicts with the Open Meetings Act. |
| ☐ | 551.072 | To conduct deliberations regarding the purchase, exchange, lease, or value of real property. |
| ☒ | 551.074 | Regarding personnel matters |
| ☐ | 551.087 | Regarding economic development negotiations and considering financial or other incentives to a business prospect that the City seeks to have locate in or near the City of Taylor. |

Any action resulting from the Executive Session will be taken in Open Session immediately following the Executive Session.

2. BACK TO OPEN SESSION

The time is now _____ and we will reconvene into Open Session. No action or vote was taken on any matter discussed in Executive Session.

CERTIFICATION

I, Jesse Ancira, Jr., Mayor of the City of Taylor, do hereby certify that this Agenda of an Executive Session of the City Council is a true and correct record of the proceedings.

WITNESS my hand this the _____ day of _____, 2013.

Jesse Ancira, Jr., Mayor